



MAYOR
Bert L. Cottle

CITY PLANNER
Tina Crawford

WASILLA PLANNING COMMISSION
Claudia Pinard, Seat A
Daniel Kelly Jr., Seat B
Jessica Dean, Seat C
Loren Means III, Seat D
Glenda Ledford, Seat E

**CITY OF WASILLA
PLANNING COMMISSION MEETING AGENDA
WASILLA CITY COUNCIL CHAMBERS**

Wasilla City Hall, 290 E. Herning Avenue, Wasilla, AK 99654 / 907-373-9020 phone

REGULAR MEETING

6 P.M.

November 18, 2014

- I. CALL TO ORDER
- II. ROLL CALL
- III. PLEDGE OF ALLEGIANCE
- IV. APPROVAL OF AGENDA
- V. REPORTS
 - A. City Deputy Administrator
 - B. City Public Works Director
 - C. City Attorney
 - D. City Planner
- VI. PUBLIC PARTICIPATION *(three minutes per person, for items not scheduled for public hearing)*
- VII. CONSENT AGENDA
 - A. Minutes of October 14, 2014 regular meeting
- VIII. NEW BUSINESS *(five minutes per person)*
 - A. Public Hearing
 - 1. Item: **Conditional Use Permit #14-10** (Reso. #14-25)
Request: Approval to construct a new 23,500 square foot City of Wasilla Library.
Applicant: Wende Wilber, ECI/Hyer Architects
Owner: City of Wasilla
Total Area: 4.03± acres
Location: Northwest corner of Crusey Street and Swanson Avenue Tract B-1B, Wasilla Middle School S/D

Zoning: Commercial

- a. City Staff
- b. Applicant
- c. Private person supporting or opposing the proposal
- d. Applicant

2. **Resolution Serial No. 14-23:** Supporting the goals and initiatives for the annual Capital Improvement Program.
3. **Resolution Serial No. 14-24:** Expressing appreciation to Commissioner Daniel Kelly, Jr. for the years of service provided to the City of Wasilla as a Planning Commissioner.

B. Committee of the Whole

1. Draft Downtown Overlay District discussion.

IX. UNFINISHED BUSINESS

X. COMMUNICATIONS

- A. Permit Information
- B. Enforcement Log

XI. AUDIENCE COMMENTS (*three minutes per person*)

XII. STAFF COMMENTS

XIII. COMMISSION COMMENTS

XIV. ADJOURNMENT

REGULAR MEETING

I. CALL TO ORDER

The regular meeting of the Wasilla Planning Commission was called to order at 6:08 PM on Tuesday, October 14, 2014, in Council Chambers of City Hall, Wasilla, Alaska by Glenda Ledford, Chairman.

II. ROLL CALL

Commissioners present and establishing a quorum were:

Claudia Pinard, Seat A
Daniel Kelly Jr., Seat B
Jessica Dean, Seat C
Loren Means, Seat D
Glenda Ledford, Seat E

Staff in attendance were:

Mr. Archie Giddings, Public Works Director
Ms. Tina Crawford, City Planner
Ms. Sandi Connolly, Public Works Clerk

III. PLEDGE OF ALLEGIANCE

A. Commissioner Kelly led the Pledge of Allegiance.

IV. APPROVAL OF AGENDA

GENERAL CONSENT: The agenda was approved as presented.

V. REPORTS

A. City Deputy Administrator
No report given.

B. City Public Works Director
Mr. Giddings stated that the Mayor's last day will be October 20, 2014 and there is a farewell reception on October 16, 2014 at 12:00 PM in the City Council Chambers.

C. City Attorney
No report given.

D. City Planner
No report given.

VI. PUBLIC PARTICIPATION *(Three minutes per person for items not on agenda)*

No one stepped forward to make a comment.

VII. CONSENT AGENDA

A. Minutes of September 23, 2014, regular meeting

GENERAL CONSENT: Minutes were approved as presented.

VIII. NEW BUSINESS (*five minutes per person*)

A. Committee of the Whole

MOTION: Commissioner Kelly moved to enter into the Committee of the whole at 6:11 PM.

Entered into the Committee of the Whole for the following items:

1. Discussion of other communities Downtown Districts.
2. Review of Comprehensive Plan Chapter 3 - Transportation

VOTE: Commissioner Dean moved to exit the Committee of the Whole at 8:00 PM.

IX. UNFINISHED BUSINESS

No unfinished business.

X. COMMUNICATIONS

No statements made regarding the following items.

- A. Permit Information
- B. Enforcement Log

XI. AUDIENCE COMMENTS (*three minutes per person*)

Ms. Gretchen O'Barr stated that she appreciated the Commissioners' statements they made and questions they asked during the transportation discussion.

Mr. Stu Graham stated that he is a resident of the City and asked about the enforcement log and permit log.

XII. STAFF COMMENTS

Mr. Giddings stated that the City will be meeting with MEA regarding running power lines from the Lazelle Substation to the Herning Substation.

Ms. Crawford stated that she appreciated all the input by the Commission and is looking forward to future meetings.

XIII. COMMISSION COMMENTS

Commissioner Kelly thanked everyone for support while he served on the Planning Commission and that he only has a few months left before his term is up.

Commissioner Pinard thanked Ms. Crawford for the information and discussion on the downtown area.

Commissioner Dean also thanked Ms. Crawford for the information regarding the downtown area and that she will not be at the next Planning Commission meeting but will be able to call in.

Commission Means asked whether it was legal for vehicles that are for sale to be parked in the right-of-way.

Chair Ledford stated that she appreciates everyone showing up for tonight's meeting and thanked Ms. Crawford for the information on other downtown areas.

XIV. ADJOURNMENT

The regular meeting adjourned at 8:10 PM.

GLENDAL LEDFORD, Chairman Date

ATTEST:

TAHIRIH REVET, Planning Clerk

Adopted by the Wasilla Planning Commission -, 2014.

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STAFF REPORT
Prepared by:
For the meeting of:

Case # CU 14-10
Planning Staff
November 18, 2014

I. SUMMARY FACTS:

Applicant: Wende Wilber, ECI/Hyer Architects
Owner: City of Wasilla
Proposal: Approval to construct a new 23,500 square foot City of Wasilla Library.
Location: Northwest corner of Crusey Street and Swanson Avenue
Tract B-1B, Wasilla Middle School Subdivision
Parcel Size: 4.03 acres±
Existing Zoning: Commercial
Future Land Use: Generally Commercial/Business
Surrounding Zoning: North: Commercial
South: Commercial
East: Commercial
West: Commercial

II. STAFF RECOMMENDATION:

Approval with conditions

III. COMPLIANCE WITH WMC 16.16.050 – GENERAL APPROVAL CRITERIA

16.16.050 *An administrative approval, use permit, elevated administrative approval, elevated use permit or conditional use may be granted if the following general approval criteria and any applicable specific approval criteria of Section 16.16.060 are complied with. The burden of proof is on the applicant to show that the proposed use meets these criteria and applicable specific criteria for approval. An approval shall include a written finding that the proposed use can occur consistent with the comprehensive plan, harmoniously with other activities allowed in the district and will not disrupt the character of the neighborhood. Such findings and conditions of approval shall be in writing and become part of the record and the case file.*

16.16.050(1)&(5) *Neighbors/Neighborhoods. Due deference has been given to the neighborhood plan or comments and recommendations from a neighborhood with an approved neighborhood plan.*

Staff Finding: This criterion is not applicable since this parcel is not part of an adopted neighborhood plan.

- 16.16.050(2) *Plans. The proposal is substantially consistent with the city comprehensive plan and other city adopted plans.***
- Staff Finding: The proposed library is consistent with Actions in Chapters 5, 6, and 7 of the Comprehensive Plan to develop a new library facility. It is also consistent with the *Expected Future Land Use Map* designation, “Generally Commercial/Business”, and the Commercial zoning district that implements the adopted Comprehensive Plan.
- 16.16.050(3) *Special Uses. The proposal is substantially consistent with the specific approval criteria of Section 16.16.060.***
- Staff Finding: The specific approval criteria under 16.16.060 are not applicable since a library is not one of the special uses with additional criteria.
- 16.16.050(4) *Reviewing Parties. Due deference has been given to the comments and recommendations of reviewing parties.***
- Staff Finding: The City mailed 67 notices to neighboring property owners within 1200’ and the 25 review agencies that are typically provided with the opportunity to comment. Three comments were received from MSB agencies – all had no comments or concerns. Copies of the comments received by staff are included in this packet. Any comments received after the compilation of the packet will be provided at the public hearing.
- 16.16.050(6) *Fire Safety and Emergency Access. The proposal shall not pose a fire danger as determined by the State Fire Marshal or the fire chief of the district in which the proposed use is located. Adequate access for emergency and police vehicles must be provided.***
- Staff Finding: The Borough Fire Chief’s office will review the proposed building for compliance with all applicable fire codes, building codes and emergency access as related to the public health, safety and welfare.
- 16.16.050(7) *Traffic. The proposed use shall not overload the street system with traffic or result in unsafe streets or dangers to pedestrians...***
- Staff Finding: The proposed library will not significantly impact the street system or create a danger to pedestrians.
- 16.16.050(8) *Dimensional Standards. The dimensional requirements of Section 16.24.010 are met.***
- Staff Finding: The attached site plan complies with the minimum setbacks and maximum height requirements of §16.24.010.

16.24.050(9) ***Parking. The parking, loading areas, and snow storage sites for the proposed development shall be adequate, safe and properly designed. The developer may be required to install acceptable lighting at pedestrian or vehicular access points.***

Staff Finding: WMC 16.24.040(E), Table of Parking Requirements, does not specifically list a library as a use with minimum parking spaces so it is subject to the “All others” use category, which requires 1 parking space per 200 square feet of gross floor area. This would require 118 parking spaces. However, based on typical parking plans for other libraries in Alaska, the request is to have the Planning Commission approve 93 parking spaces. As stated in the application, this is a reasonable request since an office or retail commercial building would only be required to provide 78 parking spaces for the same size building. Adequate snow storage is provided on site.

16.16.050(10) ***Utilities. The proposed use shall be adequately served by water, sewer, electricity, on-site water or sewer systems and other utilities.***

Staff Finding: Water, sewer, and other utilities are available in the area.

16.16.050(11) ***Drainage. The proposed use shall provide for the control of runoff during and after construction. All roads and parking areas shall be designed to alleviate runoff into public streets, adjoining lots and protect rivers lakes and streams from pollution. Uses may be required to provide for the conservation of natural features such as drainage basins and watersheds, and land stability.***

Staff Finding: The proposed site plan shows sufficient drainage control by directing flow to the drainage swales and low spots and retaining existing vegetation on the site.

16.16.050(12) ***Large Developments. Residential development of more than four units or non-residential development of more than ten thousand (10,000) square feet gross floor area may be required to provide a site plan showing measures to be taken for the preservation of open space, sensitive areas and other natural features; provision of common signage; provision for landscaping and provisions for safe and effective circulation of vehicles, pedestrians and bicycles. Nonresidential large developments must be located with frontage on one of the following class of streets: interstate, minor arterial, major collector or commercial.***

Staff Finding: The site plan indicates sufficient open space, vehicle and pedestrian circulation, and landscaping. Also, the site is located at the corner of Crusey Street and Swanson Avenue; both are

designated as a Major Collector roadway. Signage will be reviewed for consistency with Title 16 at time of submittal of sign permit.

16.16.050(13) *Peak Use. The proposed use shall not result in significantly different peak use characteristics than surrounding uses or other uses allowed in the district.*

Staff Finding: The proposed library will not result in significantly different peak use characteristics than the surrounding uses or area since the property is located in an area that is predominantly developed and zoned Commercial.

16.16.050(14) *Off-Site Impacts. The proposal shall not significantly impact surrounding properties with excessive noise, fumes or odors, glare, smoke, light, vibration, dust, litter, or interference in any radio or television receivers off the premises, or cause significant line voltage fluctuation off the premises. Radio transmitters and any electronic communications equipment regulated by the Federal Communications Commission is specifically excluded from regulation by this section. Welding, operation of electrical appliances or power tools, or similar activities that cause off site impacts as described above are specifically regulated by this subsection. Buffering may be required to ameliorate impacts between residential and nonresidential uses. The owner of the property upon which the buffer is constructed is responsible for the maintenance of the buffer in a condition that will meet the intent of these criteria.*

Staff Finding: The proposed library will not have any negative impacts on the surrounding area and no additional buffering is required since the subject parcel is surrounded by commercial uses and/or zoning.

16.16.050(15) *Landscaping. The proposed use shall be designed in a manner that minimizes the removal of trees and vegetative cover, and shall conform to the standards in this title concerning the provision and maintenance of landscaping, and any landscaping plan that is required for the proposed use under this title. The approval authority also may condition approval on the provision of the following:*

- a. *A fenced storage area for common use, adequate to store boats, trailers, snowmobiles, recreational vehicles and similar items.***
- b. *Adequately sized, located and screened trash receptacles and areas.***

Staff Finding: The attached site plan show the proposed landscaping and existing vegetation to remain on the site. As indicated in the application and on the landscape plan, 76% of the lot is proposed to be initially cleared of vegetation, which is inconsistent with the land clearing restrictions in Section 16, which is inconsistent with the land

clearing restrictions in Section 16.33.050(A)(2) that only allows 70% of the lot to be cleared for development. However, that section allows the Planning Commission to approve clearing of a larger amount. It is recommended that the Planning Commission approve the request to clear 76% of the lot since after installation of the new landscaping, 39% of the lot will contain landscaping that almost doubles the required number of trees and shrubs.

16.16.050(16) *Walkways, Sidewalks and Bike Paths. Pedestrian walkways or bicycle paths may be required where necessary to provide reasonable circulation or access to schools, playgrounds, shopping areas, transportation or other community facilities. Improvements must be constructed to standards adopted by the engineer.*

Staff Finding: Adequate pedestrian walkways are provided on-site and provide interconnectivity with Wasilla Middle School to the north and to the existing walkways along Crusey Street and Swanson Avenue.

16.16.050(17) *Water, Sewage and Drainage Systems. If a proposed use is within five hundred (500) feet of an existing, adequate public water system, the developer may be required to construct a distribution system and the connection to the public system. A developer may be required to increase the size of existing public water, sewer or drainage lines or to install a distribution system within the development. The commission may require any or all parts of such installation to be oversized. The developer must submit to the engineer an acceptable plan that shows that if within ten (10) years an increase in capacity will be required to serve other areas how these needs will be met by oversized facilities. When installation of oversized facilities is required, the developer shall install such facilities at their own expense. The developer shall be reimbursed the amount determined by the engineer to be the difference in cost between the installed cost of the oversized utility lines and the installed cost of the utility lines adequate to serve both the development concerned and all other land to be served by the lines which is owned or under the control of the developer, provided the developer may not be required to install facilities unless funds for such oversizing have been appropriated for the purpose by the city and there is a sufficient unencumbered balance in the balance in the appropriation. No reimbursement may be made unless the developer has entered into such agreement with the city, including conveyances of personal property including lines, lift stations and valves and conveyances of land or rights in land, as the city determines may be necessary to ensure complete control by the city of its sewer, drainage and water lines when they are extended to serve the property of the developer. Notwithstanding the requirement that the developer construct improvements to*

existing systems, the commission may elect to accomplish the design or construction, or both, of improvements to be made to existing public systems. In such a case, the commission may require advance payment to the city of the estimated cost of work to be accomplished by the city. The developer shall reimburse the city for all expenses of such design or construction not paid in advance. A public system is adequate if, in the judgment of the engineer, it is feasible for the developer to make improvements to the public system which will provide the increased capacity necessary to serve the existing users and the new development at the same level as is being provided to the existing users. Prior to approval of a use for which a community water system is required, the developer must submit evidence showing that there is available a satisfactory source of water. A source of water is satisfactory only if it can be shown that the proposed source will produce water sufficient in quality and quantity to supply the development. The water system and the connection between such distribution systems and the source must be sized and constructed to meet fire flow and hydrant requirements for fire protection and that the developer has obtained or can obtain a water appropriation permit or certificate for the water from the state. The system must be built to city specifications available from the engineer.

Staff Finding: Water and sewer is available for the site and the applicant will coordinate with the Public Works department to obtain any necessary City permits. Additionally, the site plan shows adequate on-site drainage.

16.16.050(18) Historic Resources. The proposed use shall not adversely impact any historic resource prior to the assessment of that resource by the city.

Staff Finding: The Mat-Su Borough Cultural Resources Office was notified of this application and provided the opportunity to comment but did not provide any objections.

16.16.050(19) Appearance. The proposed use may be required to blend in with the general neighborhood appearance and architecture. Building spacing, setbacks, lot coverage, and height must be designed to provide adequate provisions for natural light & air.

Staff Finding: As shown in the elevation drawings in the packet, the proposed building blends in with the general neighborhood appearance and architecture in the area.

16.16.050(20) Open Space and Facilities. The applicant may be required to dedicate land for open space drainage, utilities, access, parks or playgrounds. Any dedication required by the city must be

based on a written finding that the area is necessary for public use or safety and the dedication is in compliance with adopted municipal plans and policy. The city finding shall conclude that a direct connection exists between the development and the need for the provision of the dedication...

Staff Finding: No additional land is necessary for open space and facilities.

16.16.050(21) *Winter Hassles. The proposed use shall not significantly increase the impact on the surrounding area from glaciation or drifting snow.*

Staff Finding: There are no foreseeable problems anticipated from winter conditions.

IV. CONCLUSION AND RECOMMENDED CONDITIONS OF APPROVAL:

Staff recommends approval of this request with the following conditions:

1. The Matanuska-Susitna Borough Fire Chief's office shall review this proposal for compliance with all applicable fire codes, building codes and emergency access as related to the public health, safety and welfare prior to construction.
2. The applicant shall consult with DEC and follow the appropriate stormwater procedures and regulations.
3. The applicant must coordinate with the City Public Works Department to obtain the permit approvals needed for water and sewer connections.
4. Construction on the site must substantially comply with the site plan, landscape plans, and elevation drawings date stamped October 24, 2014, attached as Exhibit B to Resolution Serial No. 14-25. Any changes to the site plan must be submitted to the City Planner for review. Substantial modifications will require submittal of an amended conditional use permit application and Planning Commission review and approval.
5. An as-built survey must be submitted to the Planning Department after completion of the library.

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WASILLA PUBLIC LIBRARY
View from Swanson, Looking northeast

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OCT 24 2014

Planning Office
City of Wasilla



ECI/HYER, INC.

WASILLA PUBLIC LIBRARY
View from the corner of Swanson and Crusey, Looking northwest

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City of Wasilla



ECH/HYER, INC

WASILLA PUBLIC LIBRARY
View from Swanson, Looking North

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ECI/HYER, INC.

Wasilla
Public
Library

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Driveway entrance from Swanson

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WASILLA PUBLIC LIBRARY
Driveway entrance from Crusey

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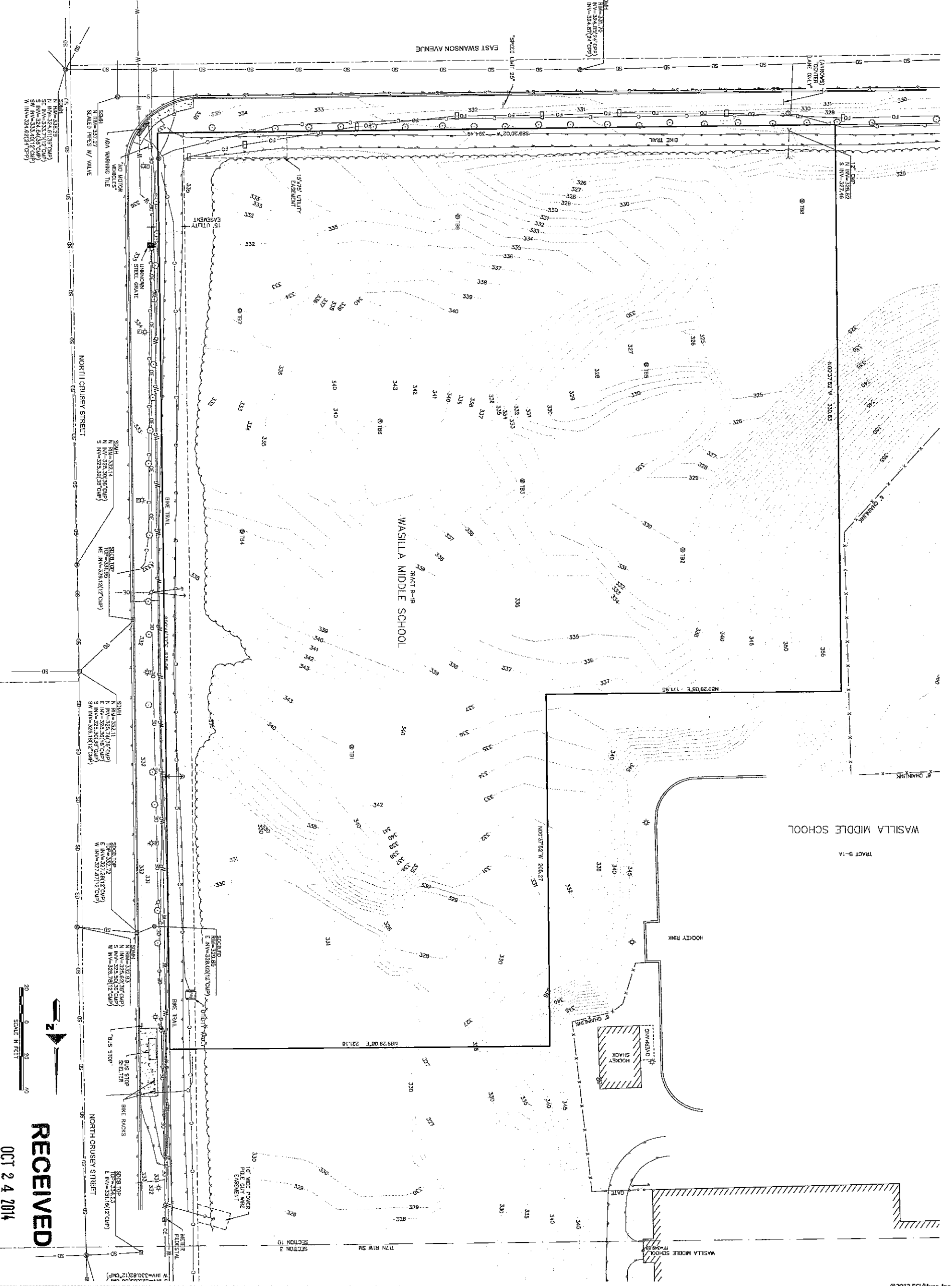
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View from Crusey, looking west

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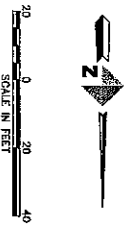
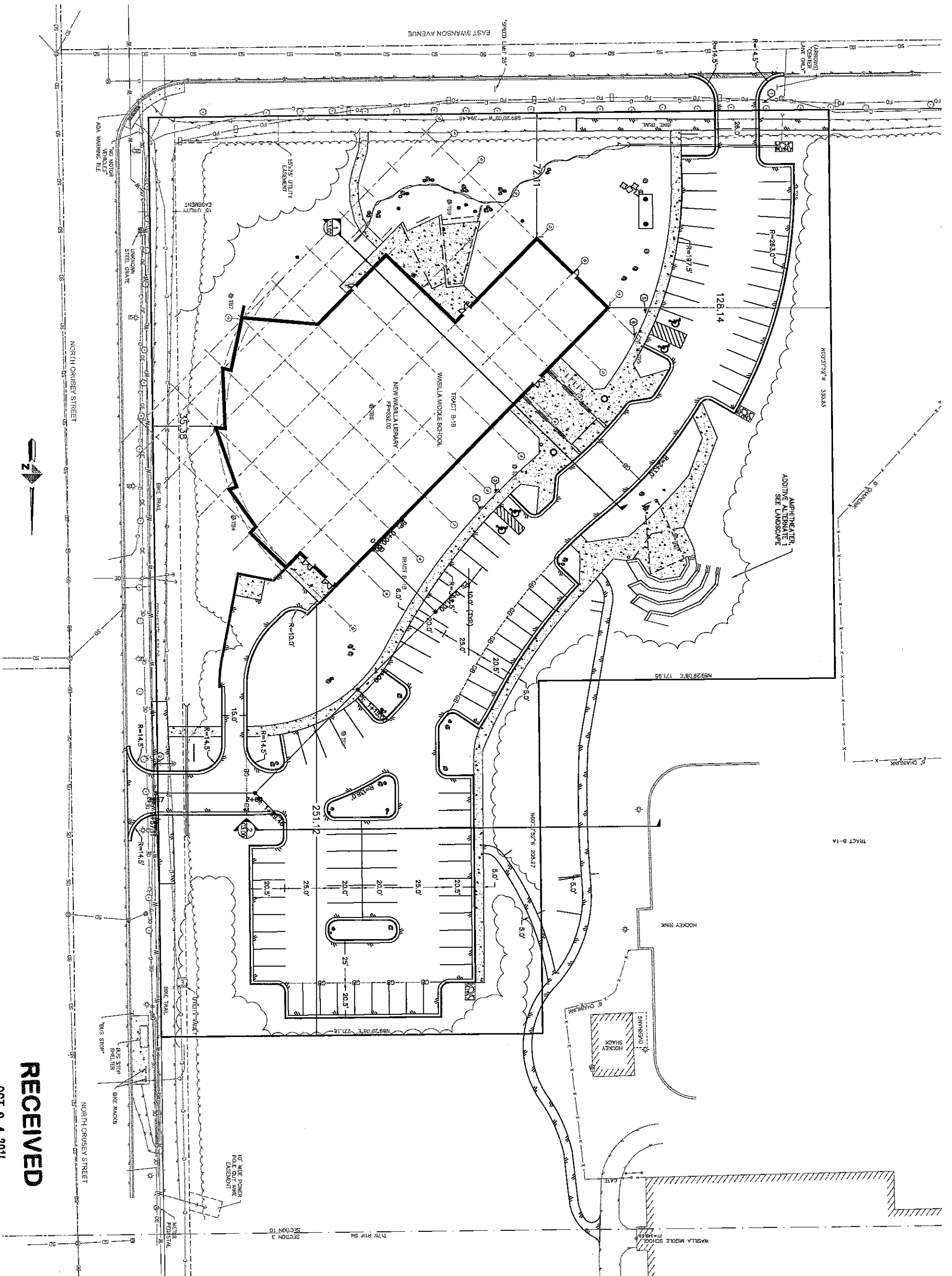
REV	DESCRIPTION	DATE

OVERALL EXISTING CONDITIONS
 AUTHOR: RDL CHECKED: KRH
 OWNER PROJECT #: 61381
 ISSUE DATE: 07.09.2014



City of Wasilla
WASILLA PUBLIC LIBRARY
 DESIGN DEVELOPMENT

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 101 WEST BENSON BOULEVARD, SUITE 306
 ANCHORAGE, ALASKA 99503 907.561.5543
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OVERALL SITE PLAN

AUTHOR: RPC CHECKED: KRH
OWNER PROJECT #: 61381
ISSUE DATE: 11.06.2014

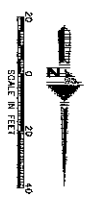
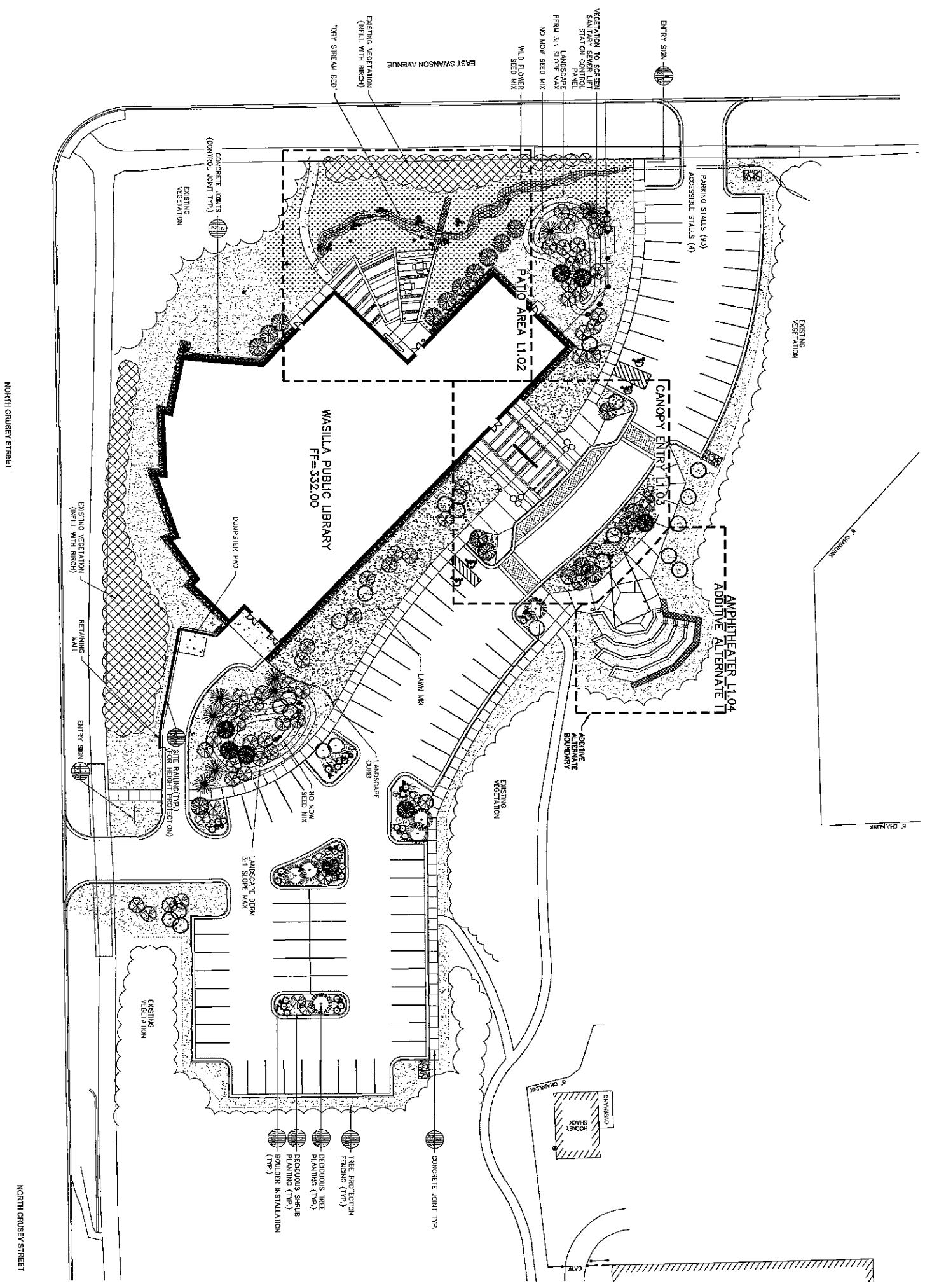


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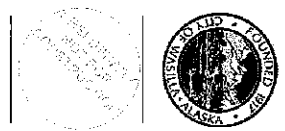
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LANDSCAPE PLAN
 AUTHOR: CJA & BRK CHECKED: TS
 OWNER PROJECT #: 61381
 ISSUE DATE: 09.29.2014

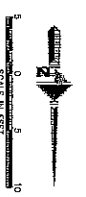
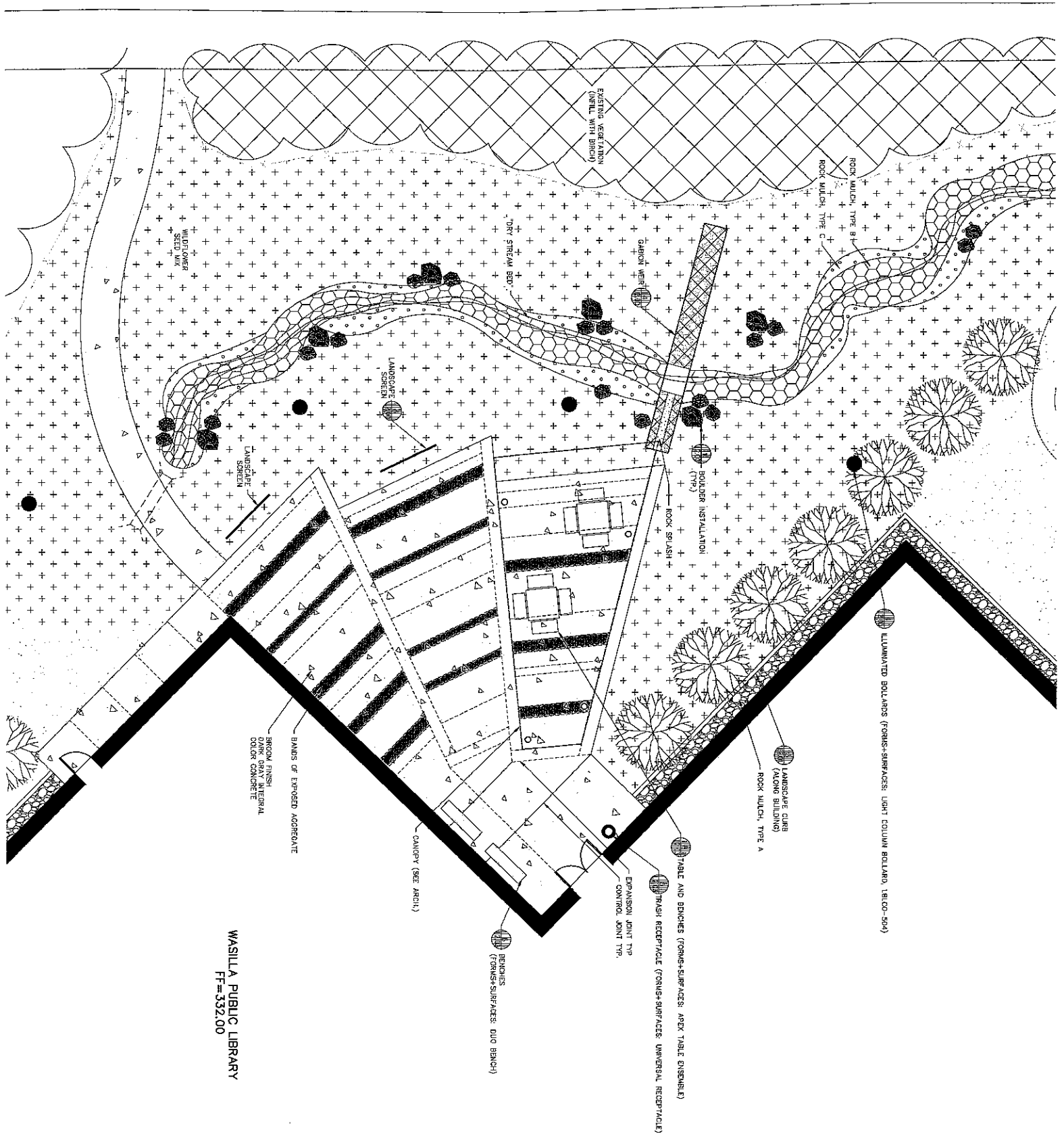
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 OWNER PROJECT #: 61381
 ISSUE DATE: 09.29.2014

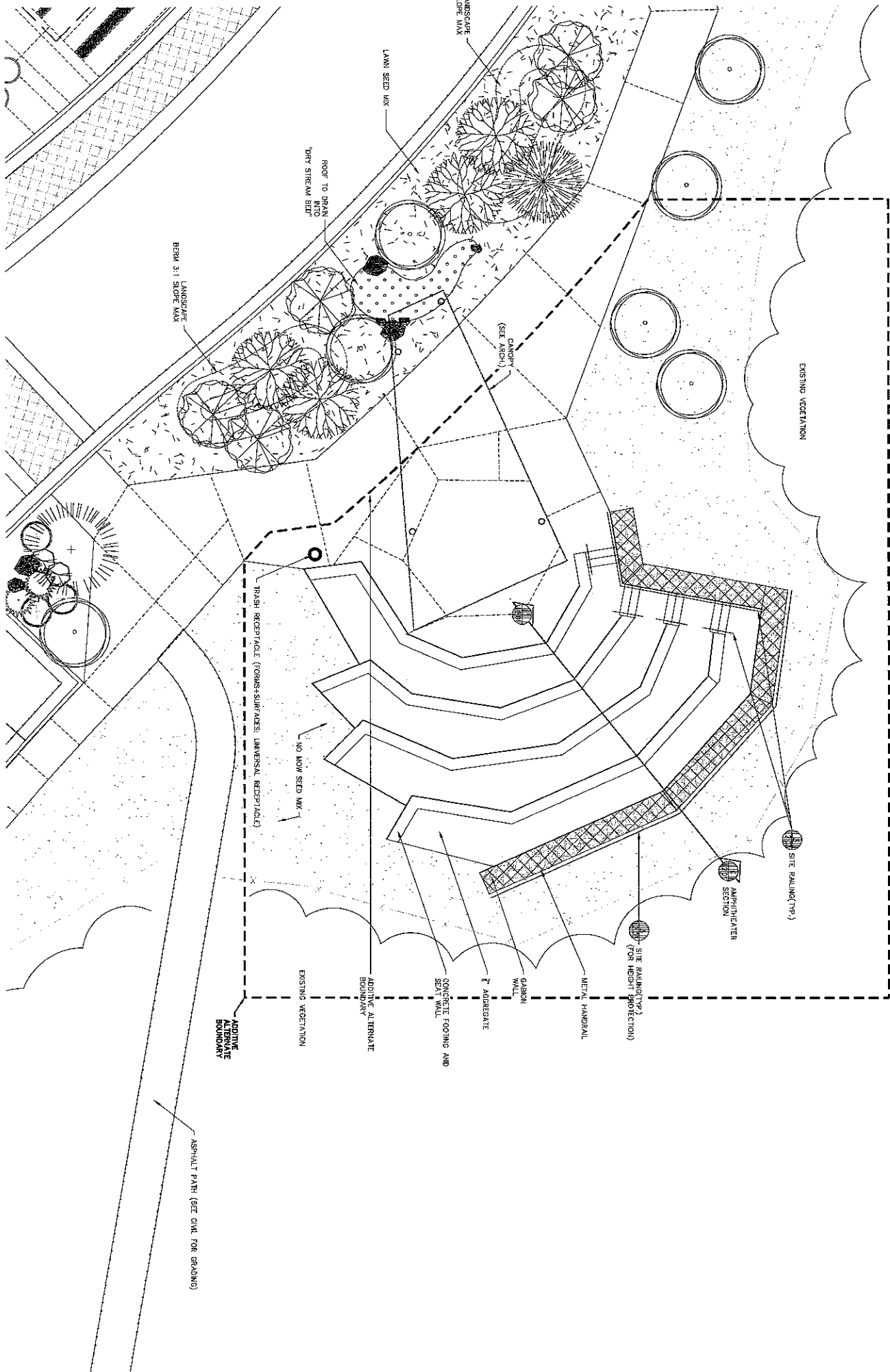
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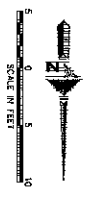
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 City of Wasilla



NOTES:

- THIS AMPHITHEATER IS AN ADDITIVE ALTERNATE. IF THE AMPHITHEATER IS NOT INCLUDED THIS AREA WILL BE GRADED AS NECESSARY AND SEEDED TO THE LIMITS OF DISTURBANCE.
- APPROXIMATELY 207 LINEAR FEET OF SEAT WALL PROVIDES 138 SEATS



REV	DATE	DESCRIPTION

AMPHITHEATER (ADDITIVE ALTERNATE)
 AUTHOR: CJA & BRK CHECKED: IS
 OWNER PROJECT #: 61381
 ISSUE DATE: 09-29-2014



City of Wasilla
WASILLA PUBLIC LIBRARY
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 PROJECT NO. 13-0015.00

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 City of Wasilla

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NOTIFICATION OF PUBLIC HEARING

DATE: October 24, 2014
APPLICANT (S)/
PROPERTY OWNER: City of Wasilla

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CASE: CU 14-10

OCT 27 2014

REQUEST:

PLATTING

Conditional use approval to construct a new 23,500 square feet City of Wasilla library on property located at 500 N. Crusey Street, Tract B-1B, Wasilla Middle School Subdivision. Generally located at the northwest corner of N. Crusey Street and E. Swanson Avenue.

You are being notified of this action as you are a property owner within 1,200' of the subject property, (WMC 16.16.040). A Planning Commission public hearing on this request is scheduled for **November 18, 2014 at 6:00 PM** in the City Council Chambers. Comments may be submitted in writing by filling in the spaces provided below and mailing to: City of Wasilla, Planning Office, 290 E. Herning Ave, Wasilla, AK 99654. If there is not enough room below please attach a separate piece of paper. Comments may also be faxed to (907) 373-9021 or emailed to planning@ci.wasilla.ak.us. Written comments on this request must reach the Planning Office on or before **November 10, 2014** in order to be included in the packet. Comments received after that date will be available at the public hearing.

Anyone wishing to review the application for this case is encouraged to contact the Planning Office for additional information.

Name _____

Address _____

Lot _____ Block _____ Subdivision _____

Comments:

*No apparent platting actions required
No comment*

Paul



CITY OF WASILLA
PLANNING OFFICE
290 E HERNING AVE
WASILLA, AK 99654
PHONE 373-9020 FAX 373-9021

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OCT 30 2014

Planning Office
City of Wasilla

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ZIP 99654
041L11222587

MSB Platting Division Officer
350 E. Dahlia Ave
Palmer, AK 99645

FIRST CLASS

Matanuska-Susitna Borough

OCT 27 2014

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NOTICE OF PUBLIC HEARING

NOTIFICATION OF PUBLIC HEARING

DATE: October 24, 2014
APPLICANT (S)/
PROPERTY OWNER: City of Wasilla

CASE: CU 14-10

REQUEST:

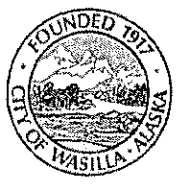
Conditional use approval to construct a new 23,500 square feet City of Wasilla library on property located at 500 N. Crusey Street, Tract B-1B, Wasilla Middle School Subdivision. Generally located at the northwest corner of N. Crusey Street and E. Swanson Avenue.

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Name Eileen Probasco, MSB Planning Director
Address _____
Lot _____ Block _____ Subdivision _____

Comments: No objection



CITY OF WASILLA
PLANNING OFFICE
290 E HERNING AVE
WASILLA, AK 99654
PHONE 373-9020 FAX 373-9021

MSB Planning Director
350 E. Dahlia Ave
Palmer, AK 99645

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NOTICE OF PUBLIC HEARING

NOTIFICATION OF PUBLIC HEARING

DATE: October 24, 2014
APPLICANT (S)/
PROPERTY OWNER: City of Wasilla

CASE: CU 14-10

REQUEST:

Conditional use approval to construct a new 23,500 square feet City of Wasilla library on property located at 500 N. Crusey Street, Tract B-1B, Wasilla Middle School Subdivision. Generally located at the northwest corner of N. Crusey Street and E. Swanson Avenue.

You are being notified of this action as you are a property owner within 1,200' of the subject property, (WMC 16.16.040). A Planning Commission public hearing on this request is scheduled for **November 18, 2014 at 6:00 PM** in the City Council Chambers. Comments may be submitted in writing by filling in the spaces provided below and mailing to: City of Wasilla, Planning Office, 290 E. Herning Ave, Wasilla, AK 99654. If there is not enough room below please attach a separate piece of paper. Comments may also be faxed to (907) 373-9021 or emailed to planning@ci.wasilla.ak.us. Written comments on this request must reach the Planning Office on or before November 10, 2014 in order to be included in the packet. Comments received after that date will be available at the public hearing.

Anyone wishing to review the application for this case is encouraged to contact the Planning Office for additional information.

Name Tax acct # 7143000700B-1B

Address _____

Lot _____ Block _____ Subdivision _____

Comments: Open Cases Y or N SpUD Y or N
City of Wasilla

FIRM # 8085 Zone X

Comments: _____

Date: 10/30/14 By: [Signature]

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Planning Office
City of Wasilla



CITY OF WASILLA
PLANNING OFFICE
290 E HERNING AVE
WASILLA, AK 99654
PHONE 373-9020 FAX 373-9021

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MSB Chief of Code Compliance
350 E. Dahlia Ave
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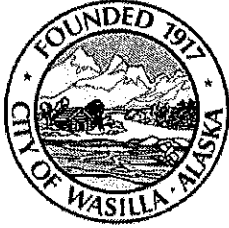
NOTICE OF PUBLIC HEARING

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CITY OF WASILLA
 • Planning Office •
 290 East Herring Avenue • Wasilla • Alaska • 99654-7091
 • Telephone 907-373-9020 •

APPLICATION FOR CONDITIONAL USE CU# 14-10

PROPERTY OWNER*	OWNER'S REPRESENTATIVE (If Any)
Name: City of Wasilla Public Library	Name: Wende Wilber (ECI/Hyer Architects)
Mailing Address: 290 E. Herring Avenue Wasilla AK 99654	Mailing Address: 101 West Benson, Suite 306 Anchorage AK 99503
Contact Phone: Day Night (907) 373-9010	Contact Phone: Day Night (907) 561-5543 (907) 903-8461
FAX: (907) 373-9011	FAX: (907) 562-3213
E-mail: agiddings@ci.wasilla.ak.us	E-mail: wwilber@ecihyer.com

*Attach list of additional owners if any.

PROPERTY INFORMATION
Size of property: 4.03 acres
Property tax # 71430000T00B-1B (Parcel ID 517497)
Street Address: Corner of Crusey and Swanson
Legal Description: Lot(s) _____ Block _____ Subdivision _____
OR Tract B-1B, Wasilla Parcel/Tract <u>Middle School</u> Section _____ Township _____ Range _____
[Attach additional page if necessary.]
Zoning: RR Residential <input type="checkbox"/> R1 Single-family Residential <input type="checkbox"/> R2 Residential <input type="checkbox"/> RM Multi-family <input type="checkbox"/> C Commercial <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Public <input type="checkbox"/>
Requested Use: City of Wasilla Public Library


AUTHORITY TO APPLY FOR CONDITIONAL USE :

I hereby certify that I am (I am authorized to act for the) owner of the property and that I am applying for a Conditional Use in conformance with Title 16 of the Wasilla Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the conditional use.

DATE:

10/21/14

SIGNATURE:



Comprehensive Plan Information			
Expected Future Land Use Map shows property as :			
Generally Residential	<input type="checkbox"/>	Parks	<input type="checkbox"/>
		Mixed Use Area	<input type="checkbox"/>
Generally Commercial/Business	<input type="checkbox"/>	Generally Industrial	<input type="checkbox"/>
		Public/Institutional	<input checked="" type="checkbox"/>

Land Use
Describe current use of property covered by this application: The parcel is undeveloped.
Surrounding property: (Describe how land adjacent to the property is currently being used.) North: Zoned Commercial. Existing uses: Wasilla Middle School and the Brett Memorial Ice Arena
South: Zoned Commercial. Existing Uses: Commercial - CarQuest Auto Parts, Mr. Lube. Laundry/Cleaners
East: Zoned Commercial Existing Uses: Commercial - Alaska USA Mortgage Co, Dynamic Properties (real estate)
West: Zoned: Commercial Existing Uses: Wasilla Middle School

Attach a written narrative addressing the following Criteria
16.16.050
A. An administrative approval, use permit, elevated administrative approval, elevated use permit or conditional use may be granted if the following general approval criteria and any applicable specific approval criteria of Section 16.16.060 are complied with. The burden of proof is on the applicant to show that the proposed use meets these criteria and applicable specific criteria for approval. An approval shall include a written finding that the proposed use can occur consistent with the comprehensive plan, harmoniously with other activities allowed in the district and will not disrupt the character of the neighborhood. Such findings and conditions of approval shall be in writing and become part of the record and the case file.
1. Neighbors. Due deference has been given to the neighborhood plan or comments and recommendations from a neighborhood with an approved neighborhood plan.
2. Plans. The proposal is substantially consistent with the city comprehensive plan and other city adopted plans.
3. Special Uses. The proposal is substantially consistent with the specific approval criteria of Section 16.16.060.
4. Reviewing Parties. Due deference has been given to the comments and recommendations of reviewing parties.
5. Neighborhoods. Due deference has been given to the neighborhood plan or comments and recommendations from a neighborhood with an approved neighborhood plan.
6. Fire Safety and Emergency Access. The proposal shall not pose a fire danger as determined by the State Fire Marshal or the fire chief of the district in which the proposed use is located. Adequate access for emergency and police vehicles must be provided.
7. Traffic. The proposed use shall not overload the street system with traffic or result in unsafe streets or dangers to pedestrians.
8. Dimensional Standards. The dimensional requirements of Section 16.24.010 are met.
9. Parking. The parking, loading areas and snow storage sites for the proposal shall be adequate, safe and properly designed. The developer may be required to install acceptable lighting at pedestrian or vehicular access points.

10. Utilities. The proposed use shall be adequately served by water, sewer, electricity, on-site water or sewer systems and other utilities.
11. Drainage. The proposed use shall provide for the control of runoff during and after construction. All roads and parking areas shall be designed to alleviate runoff into public streets, adjoining lots and protect rivers, lakes and streams from pollution. Uses may be required to provide for the conservation of natural features such as drainage basins, watersheds, and land stability.
12. Large Developments. Residential development of more than four units or nonresidential development of more than ten thousand (10,000) square feet gross floor area may be required to provide a site plan showing measures to be taken for the preservation of open space, sensitive areas and other natural features; provision of common signage; provision for landscaping and provisions for safe and effective circulation of vehicles, pedestrians and bicycles. Nonresidential large developments must be located with frontage on one of the following classes of streets: interstate, minor arterial, major collector or commercial.
13. Peak Use. The proposed use shall not result in significantly different peak use characteristics than surrounding uses or other uses allowed in the district.
14. Off-Site Impacts. The proposal shall not significantly impact surrounding properties with excessive noise, fumes or odors, glare, smoke, light, vibration, dust, litter, or interference in any radio or television receivers off the premises, or cause significant line voltage fluctuation off the premises. Radio transmitters and any electronic communications equipment regulated by the Federal Communications Commission is specifically excluded from regulation by this section. Welding, operation of electrical appliances or power tools, or similar activities that cause off-site impacts as described above are specifically regulated by this subsection. Buffering may be required to ameliorate impacts between residential and nonresidential uses. The owner of the property upon which the buffer is constructed is responsible for the maintenance of the buffer in a condition that will meet the intent of this criteria.
15. Landscaping. The proposed use shall be designed in a manner that minimizes the removal of trees and vegetative cover, and shall conform to the standards in this title concerning the provision and maintenance of landscaping, and any landscaping plan that is required for the proposed use under this title. The approval authority also may condition approval on the provision of the following: a. A fenced storage area for common use, adequate to store boats, trailers, snowmobiles, recreational vehicles and similar items. b. Adequately sized, located and screened trash receptacles and areas.
16. Walkways, Sidewalks and Bike Paths. Pedestrian walkways or bicycle paths may be required where necessary to provide reasonable circulation or access to schools, playgrounds, shopping areas, transportation or other community facilities. Improvements must be constructed to standards adopted by the engineer.
17. Water, Sewage and Drainage Systems. If a proposed use is within five hundred (500) feet of an existing, adequate public water system, the developer may be required to construct a distribution system and the connection to the public system. A developer may be required to increase the size of existing public water, sewer or drainage lines or to install a distribution system within the development. The commission may require any or all parts of such installation to be oversized. The developer must submit to the engineer an acceptable plan that shows that if within ten (10) years an increase in capacity will be required to serve other areas, how these needs will be met by oversized facilities. When installation of oversized facilities is required, the developer shall install such facilities at their own expense. The developer shall be reimbursed the amount determined by the engineer to be the difference in cost between the installed cost of the oversized utility lines and the installed cost of the utility lines adequate to serve both the development concerned and all other land to be served by the lines which is owned or under the control of the developer, provided the developer may not be required to install facilities unless funds for such oversizing have been appropriated for the purpose by the city and there is a sufficient unencumbered balance in the balance in the appropriation. No reimbursement may be made unless the

developer has entered into such agreement with the city, including conveyances of personal property including lines, lift stations and valves and conveyances of land or rights in land, as the city determines may be necessary to ensure complete control by the city of its sewer, drainage and water lines when they are extended to serve the property of the developer. Notwithstanding the requirement that the developer construct improvements to existing systems, the commission may elect to accomplish the design or construction, or both, of improvements to be made to existing public systems. In such a case, the commission may require advance payment to the city of the estimated cost of work to be accomplished by the city. The developer shall reimburse the city for all expenses of such design or construction not paid in advance. A public system is adequate if, in the judgment of the engineer, it is feasible for the developer to make improvements to the public system which will provide the increased capacity necessary to serve the existing users and the new development at the same level as is being provided to the existing users. Prior to approval of a use for which a community water system is required, the developer must submit evidence showing that there is available a satisfactory source of water. A source of water is satisfactory only if it can be shown that the proposed source will produce water sufficient in quality and quantity to supply the development. The water system and the connection between such distribution systems and the source must be sized and constructed to meet fire flow and hydrant requirements for fire protection and that the developer has obtained or can obtain a water appropriation permit or certificate for the water from the state. The system must be built to city specifications available from the engineer.

18. Historic Resources. The proposed use shall not adversely impact any historic resource prior to the assessment of that resource by the city.

19. Appearance. The proposed use may be required to blend in with the general neighborhood appearance and architecture. Building spacing, setbacks, lot coverage, and height must be designed to provide adequate provisions for natural light and air.

20. Open Space and Facilities. The applicant may be required to dedicate land for open space drainage, utilities, access, parks or playgrounds. Any dedication required by the city must be based on a written finding that the area is necessary for public use or safety and the dedication is in compliance with adopted municipal plans and policy. The city finding shall conclude that a direct connection exists between the development and the need for the provision of the dedication. No land may be accepted by the city unless:

- a. The location, shape, size and character of the area is suitable for the planned use;
- b. The uses authorized for an area are appropriate to the scale and character of the uses considering its size, density, expected population, topography, and the number and type of dwellings and uses to be conducted;
- c. The area must be suitably improved for its intended use, but common open space containing natural features worthy of preservation may be left unimproved;
- d. If the final development plan provides for buildings, landscaping or other improvements in the dedicated area, the developer must provide a bond or other adequate assurance that such improvements will be completed. The city shall release the bond or other assurance when the buildings, structures or improvements have been completed according to the development plan;
- e. All land must be conveyed under one of the following options:
 - i. It may be conveyed to an agency that will agree to maintain in perpetuity the area and any buildings, structures, or improvements which have been placed on it.
 - ii. When no maintenance of the area is required, it may be conveyed to all new owners in undivided joint ownership.
 - iii. When the land is not dedicated to a public agency and maintenance of the common space is required, an association for maintenance of the area must be established. Covenants establishing the association must be approved as to form by the city attorney, and by the commission as to whether the covenants provide for maintenance of the area in a manner which

assures its continuing use for its intended purpose.
 iv. Conveyance of an area must be consistent with AS 34.07 the Horizontal Property Regime Act.
 21. Winter Hassles. The proposed use shall not significantly increase the impact on the surrounding area from glaciation or drifting snow. (Ord. 06-47(AM) § 4, 2006; prior code § 16.43.508)

Application Check list:

- Applicant has owner's authorization to submit application.
- Narrative addressing criterion is attached.
- Application fee.
- Legal description.

Accepted by:	Representative Affidavit: N/A <input type="checkbox"/> Attached <input type="checkbox"/>	Fee:	Tentative WPC Hearing Date:
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City Planner Approval:
This Land Use Permit is valid beginning _____, 20____, unless an appeal is filed, upon which all activity must cease on this property.
Approval of City Planner: _____ Date: _____

Notice of Right to Appeal: All decisions of the City Planner are appealable per WMC Title 16.

Wasilla Public Library

City of Wasilla Application for a Conditional Use

Narrative Response to Criteria

PROJECT OVERVIEW

The City of Wasilla Public Library (Library) has been serving the residents of Wasilla and the surrounding area for over 75 years; 35 of those years from its current location in the heart of Wasilla. The Library has one of the state's largest service populations and is located in the fastest growing region of the state. The outdated 8,247 square foot (SF), two-story facility with its 14 parking spaces has not been able to keep up with current demand, let alone the projected increase in service population.

The City of Wasilla (City) and Library supporters have been actively working towards a new library since 1990. In 2013, the City completed the Foraker Group Pre-Development Program to receive technical planning assistance. Through this process, it was determined that a new 23,500 SF library would adequately serve the population of Wasilla and the surrounding region in the years to come. In December 2012, a four-acre parcel at the northwest corner of Swanson Avenue and North Crusey Street, adjacent to the Wasilla Middle School, was transferred from the Mat-Su Borough to the City for the library. In October 1, 2013, city residents voted in favor of a one percent sales tax to fund the construction. The design of the new Wasilla Library honors the previous planning work and reflects the on-going dialogue with library stakeholders including:

- City of Wasilla
- New Wasilla Library Building Committee
- Library Staff
- Friends of the Library
- Wasilla City Council
- Wasilla Middle School
- Mat-Su Central Fire Department
- Dedicated community members and the general public

The following overall guiding principles emerged from the stakeholder engagement process.

- Community gathering space - A welcoming civic space to facilitate literacy and community engagement.
- Accessibility - Ease of navigation and intuitive wayfinding for patrons of all ages and abilities.
- Alaskan – A contemporary facility with a nod towards the rustic and connectivity to nature.
- Flexible and forward thinking – A building for the future with the flexibility to accommodate shifting user expectations.
- Diversity in spaces – Quiet, collaborative, and active –spaces to celebrate all learning styles.

- Sustainable design - A facility that is affordable to manage, maintain and operate with consideration given to durable materials and energy efficiency.

The placement of the building responds to the strong desire to have a “library in the woods,” and preserve the natural vegetation to the extent practicable while allowing for new plantings. The building orientation also has a prominent view to both North Crusey Street and Swanson Avenue and provides for southern exposure. It provides an iconic presence and connectivity to the Downtown District of Wasilla. By following the natural topography and curve along the existing vegetated slope to the north, vehicular circulation and parking does not dominate the site or views and provides access to both North Crusey Street and East Swanson Avenue. Sidewalks also link the library to existing pedestrian facilities on North Crusey Street and East Swanson Avenue. A new lighted pathway links the Wasilla Middle School to the library front entrance, creating synergies between the two public facilities.

Space planning has been greatly influenced by the functional needs of the library staff and two key factors: 1) the desire to promote literacy and intergenerational contact while still providing special places for adults, teens, and children; and 2) the need to have maximum visual control of spaces by a minimal number of staff members. The main entrance along the northwest side of the library draws visitors into a welcoming lobby and public use space. Two multi-purpose rooms provide much needed space for library programs and community meetings. The rooms are designed to be used individually for smaller programs or together to accommodate a single large group (approximately 80 persons). The main library can be secured allowing access to the lobby and multi-purpose rooms after hours.

The circulation desk is positioned to facilitate visual supervision of the entire main library. The staff area is directly behind the circulation desk and is designed to maximize efficiency in library operations with easy access to the circulation desk, book drop, storage, and communal work areas. Windows on the north side of the staff areas provide natural light as well as oversight of the parking lot and front entrance.

A mix of large open spaces, reading nooks, study tables, group study rooms, and computer stations give patrons a variety of spaces so each can use the Library in their own unique way. Active and quiet reading and study zones are concentrated along the edges to take advantage of natural light and views to the outside. The Children’s Library greets patrons with an inviting presence near the main library doors to immediately draw the youngest patrons into an active space. The space is defined with strategically placed glass walls to provide acoustic separation from the main library area while still allowing for connectivity to the teen area. Book stacks are centered in the main library and radiate out towards the library perimeters. Concentrating book stacks in clearly definable areas allows for lower shelving, which in turn improves sight lines and makes books more accessible. The result is a vibrant, cohesive place that provides something special for every person from middle school students to college students and from child to grandparent.

APPLICATION RESPONSES

The four-acre parcel is zoned as Commercial.

1. **Neighbors.** *Due deference has been given to the neighborhood plan or comments and recommendations from a neighborhood with an approved neighborhood plan.* The subject property is not part of a neighborhood plan.
2. **Plans.** *The proposal is substantially consistent with the city comprehensive plan and other city adopted plans.* The Wasilla Public Library will further the following goals and objectives outlined in the Comprehensive Plan:

Downtown Study Area - Goal 1: Promote and encourage development and redevelopment within the Downtown Area. **Objective 1.2:** Identify opportunities to develop civic investments that revitalize the downtown area and reinforce its identity as an attractive civic center. **Action 1.2.1:** Support partnership approaches that leverage funding and community support to help build a new library...

Community Assets - Goal 2: Enhance educational opportunities. **Objective 4.2:** Enhance the City's Visual appearance and identify.

Economic Vitality – Goal 1: Continue to promote and enhance the City's future as the region's major center for commerce, services, visitor hospitality, culture and arts, transportation and industry. **Objective 1.3:** Encourage the development of new anchor developments, facilities, and attractions that generate economic activity. **Action 1.3.1:** Support community initiatives to strengthen the City as regional center of art, culture, and education (e.g. new Wasilla Library)

3. **Special Uses.** *The proposal is substantially consistent with the specific approval criteria of Section 16.16.060.* The library is not designated as a use subject to Section 16.16.060.
4. **Reviewing Parties.** *Due deference has been given to the comments and recommendations of reviewing parties.* To kick off the project, Discovery Workshops were held in September 2013 with City and Library staff, the Wasilla Library Building Committee, Friends of the Library, the Wasilla Middle School Principal and Transportation Director, the Wasilla Planning Department, and the public. The goal of these workshops was to honor and build upon the considerable work done to date. Based on input from these meetings, three conceptual site and floor plans were developed that addressed stakeholder goals and objectives. They were presented in October 2013 to library staff, the Building Committee and the public for feedback. One concept was strongly favored over the others and was carried forward into the more detailed Schematic Design phase. Since October 2013, meetings have been held regularly (typically monthly) with the Library Staff and the Building Committee (these meetings are advertised and open to the public) to solicit feedback and tailor the site, building and interior spaces to the library and community needs. Individual meetings have also been held with the Wasilla Middle School Principal and Transportation Director, City of Wasilla Planner, and the Central Mat-Su Fire Department. Additionally, project updates have been given to the Wasilla City Council in

February and October 2014. The site, building and floor plans have evolved in response stakeholder input.

5. **Neighborhoods. Due deference has been given to the neighborhood plan or comments and recommendations from a neighborhood with an approved neighborhood plan.** The subject property is not part of a neighborhood plan.
6. **Fire Safety and Emergency Access. The proposal shall not pose a fire danger as determined by the State Fire Marshal or the fire chief of the district in which the proposed use is located. Adequate access for emergency and police vehicles must be provided.** An initial meeting was held on November 20, 2013 with the Central Mat-Su Fire Department to review fire access, the location of new fire hydrants to serve the building and the preferred location of the building connections. Based on this meeting, the building plan was revised and a pathway from East Swanson Avenue to the library was added to provide unimpeded access to the public right-of-way for emergency egress and fire access. Additional coordination occurred in July 2014 to conduct hydrant flow tests.
7. **Traffic. The proposed use shall not overload the street system with traffic or result in unsafe streets or dangers to pedestrians.** It is not anticipated that the new library will it overload the street system with traffic or result in unsafe streets or dangers to pedestrians for the following reasons:
 - While patronage will increase with new library, the use trends are expected to be consistent with the existing library; therefore, peak traffic volumes are projected to occur at:
 - AM Peak: 11:30 a.m. to 12:30 p.m.
 - PM Peak: 2:30 p.m. to 3:30 p.m.

Theses peak hours do not coincide with typical AM and PM peak traffic volumes (rush hours) that are related to employees traveling to and from work.
 - Library trip generation rates are not specifically listed in the in Subsection B under Title 16.16.050; however, "Civic Center" is listed.
 - A Civic Center is expected to generate 2.85 trips/1,000 SF of gross floor leasable area. This equates to approximately 64 vehicle trips going into and out of the library during the peak hour.
 - These 64 trips will be distributed between East Swanson and North Crusey Street.
 - The development of the library site and associated traffic volumes have been accounted for in recent local roadway improvements and studies.
 - Both North Crusey Street and East Swanson were recently upgraded (2011). As part of ADOT&PF upgrades, adjacent land uses and potential future development and associated traffic impacts are incorporated into the design.
 - North Crusey was expanded to a four lanes with a center turn lane. Recent traffic studies as part of the Wasilla Main Street Rehabilitation Project have included the library in their traffic projections. *Wasilla Main Street Rehabilitation Project Final Environmental Assessment, December 24, 2013 and Wasilla Main Street Traffic Study Update, 2012.*

- The afternoon Peak Hour coincides with the high school and middle school release times. “Pass-by trips” are expected as parents and students stop at the library on their way home; these are not new trips on the roadway, thus, further reducing impacts to the street system.
 - A new pedestrian pathway links the middle school directly to the library allowing students to safely walk to the library after school. Pedestrian facilities on the library site also link directly to existing pathways/sidewalks along both East Swanson and North Crusey Street.
- 8. Dimensional Standards.** The dimensional requirements of Section 16.24.010 are met. The code requires a front and rear setback of 25 feet and a side yard setback of 10 feet or 0, with a building height of 35 feet. The approximate setbacks are 80 feet from Swanson Street; 35 feet from Crusey Street; 128 feet from the west side yard boundary, and more than 270 feet from the rear lot line. The library does not exceed 35 feet in height.
- 9. Parking.** *The parking, loading areas and snow storage sites for the proposal shall be adequate, safe and properly designed. The developer may be required to install acceptable lighting at pedestrian or vehicular access points.* Title 16.24.040, Table of Parking Requirements, does not have specific parking requirements for a library and classifies it as “other use.” Other uses are required to provide 1 space per 200 SF of Gross Floor Area (GFA) or the parking requirement can be determined by the Commission.

Library Size	Title 16.24.040 Requirement	Number of spaces required by code	Number of stalls provided
24,451 SF	Other Use: 1 space/200 SF GFA	123	93
	Of the 76 to 100 spaces, 4 handicapped spaces are required, plus 1 for each additional 100 spaces.	5	4

We respectfully request that the Commission approve the parking plan as presented with 93 spaces, 4 of which are ADA accessible. Based on research of other municipal codes, the 93 spaces exceeds off-street parking requirements for libraries in the communities of Anchorage and Juneau. The proposed parking also exceeds the number of spaces required for offices and commercial/retail developments which would be expected to have significantly higher parking demands.

Representative Parking Codes Reviewed	Library Parking Requirement	Number of stalls required per Code	Number of stalls provided
Juneau	1 space/600 GFA	41	93
Anchorage	1 space/400 SF GFA	62	93
	Office, Commercial/Retail Parking Code Requirements		
Wasilla, Soldotna, Homer, Anchorage	1 space/300 SF GFA	81	93

- ***Each parking lot containing ten (10) or more parking spaces shall include around its perimeter a planting bed having a minimum width of ten (10) feet.*** The perimeter parking lot landscaping meets or exceeds this standard. See attached landscaping plan.
 - ***Each parking lot containing more than forty (40) parking spaces also shall include landscaped islands covering not less than fifteen (15) percent of the total area of the parking lot.*** The total area of the parking lot is 40,106 SF. Of this, 6,333 SF is dedicated to interior landscaping which equates to 15.8 percent. The parking area has also been divided into three small lots connected with drives to break up the visual expanse of asphalt.
 - ***Code requires one flood light per twenty-five (25) spaces for a total of 4 lights.*** The parking lot has 6 fixtures plus one for the service drive.
 - ***Nonresidential development over five thousand (5,000) square feet GFA must provide one loading space for each twenty thousand (20,000) square feet or less GFA.*** One loading space is provided and meets the required dimensions of 30 feet by 12 feet. There is no canopy or roof over the loading space.
 - ***Snow storage area of twenty-five (25) square feet for each parking space shall be provided for any use except single-family and duplex. Snow storage areas must be designed to minimize drainage and run off problems and not overload or impair the city storm drainage system. The required snow storage area may be reduced by the planner in consultation with the engineer.*** With 93 parking spaces, 2,325 SF of snow storage is required and is shown on the attached plan.
10. ***Utilities. The proposed use shall be adequately served by water, sewer, electricity, on-site water or sewer systems and other utilities.*** All utilities are readily available to site and have adequate capacity. Water will be provided from an existing water line in Crusey Street. The new library will be connected to city water, sewer and storm drain systems. The domestic water system for the building will be fed from the water service main and sized at six inches to ensure an adequate water supply and pressure for all domestic and fire protection needs. The existing city water supply is sufficient in both quantity and pressure so that neither a fire pump nor a water storage tank will be needed. Sanitary sewer will come from East Swanson Avenue. Because Wasilla uses a pressured main, the sewer connection requires a septic system and sewer lift station.

The Matanuska Electric Association will provide electrical service to the new library. An existing service line runs overhead north-south along the west side of North Crusey Street. A 3-phase underground line extension is required to serve the new library. This extension will serve a pad-mounted utility transformer located northwest of the service drive. The utility service will provide power to the building at 208Y/120 volts, 3 phase. The service will be sized to include a minimum of 25 percent spare capacity.

11. **Drainage.** *The proposed use shall provide for the control of runoff during and after construction. All roads and parking areas shall be designed to alleviate runoff into public streets, adjoining lots and protect rivers, lakes and streams from pollution. Uses may be required to provide for the conservation of natural features such as drainage basins, watersheds, and land stability.* Existing vegetation will be retained to the extent practicable which greatly reduces the quantity of surface water runoff. The vegetation also promotes infiltration, slows the velocity of runoff, and serves as a natural filtration for the stormwater. A drainage swale along the east and south sides of the building also allows for on-site storm water treatment and infiltration, reducing the runoff entering the city storm drain system. Surface runoff will generally be directed to low spots to the north and west of the site.

12. **Large Developments.** *Nonresidential large developments must be located with frontage on one of the following classes of streets: interstate, minor arterial, major collector or commercial.* The library is oriented to face the corner of East Swanson Avenue and North Crusey Street with a significant presence on both streets. Both roadways are owned and maintained by the City of Wasilla and are designated as Major Collectors in the Wasilla Official Streets and Highways Plan (OS&HP).

13. **Peak Use.** *The proposed use shall not result in significantly different peak use characteristics than surrounding uses or other uses allowed in the district.* The library site is zoned commercial as are surrounding properties. Adjacent land uses are as follows:

	Zoning	Existing Land Use
North	Commercial	Wasilla Middle School and Brett Memorial Ice Arena
West	Commercial	Wasilla Middle School
East across North Crusey Street	Commercial	Offices –Alaska USA Federal Credit Union and multiple realtors
South across East Swanson Street	Commercial	Retail and Offices- Mr. Lube and Car Wash, CarQuest Auto Parts, Carrs Safeway

The new library will not result in significantly different peak use characteristics. Library hours are as follows:

Mondays	2 pm to 6 pm
Tuesdays and Thursdays	10:30 am to 7 pm
Wednesdays and Fridays	10:30 am to 6 pm
Saturdays	1 pm to 5 pm
Sundays	Closed

14. **Off-Site Impacts.** *The proposal shall not significantly impact surrounding properties with excessive noise, fumes or odors, glare, smoke, light, vibration, dust, litter, or interference in any radio or television receivers off the premises, or cause significant line voltage fluctuation off the premises.* The library will not adversely impact adjacent properties.
15. **Landscaping.** *The proposed use shall be designed in a manner that minimizes the removal of trees and vegetative cover, and shall conform to the standards in this title concerning the provision and maintenance of landscaping, and any landscaping plan that is required for the proposed use under this title.* The steeper slopes on the site (north and west of the parking) are currently well vegetated and will be preserved. The area south and east of the parking will be disturbed and will rely on landscape rehabilitation. An existing birch grove near the intersection of Swanson Avenue and North Crusey Street is far enough removed from excavation and will be retained to the extent practicable. Within the immediate vicinity of the library itself, most plantings will have a formal order, supporting the very clean character building entrance. An exception to this would be naturalistic scattered plantings of Quaking Aspen on the proposed berms. For the area between the library and adjacent streets, the landscape will be natural. Areas will be seeded with unmown seed mix or a wildflower mix and many of the areas will be augmented with plantings of native perennials and decorative grasses.

Landscaping (Title 16.33)		Comments
Site	174,240 SF	(4 acres)
Existing vegetation to remain	41,889 SF	24%
Newly landscaped area	20,800 SF	Less interior parking lot landscaping
Interior parking lot	6,333 SF	
Percentage of Site Landscaping	39%	<i>Code: not less than 5% of total area</i>
Number of new plantings	227 trees 85 shrubs	Total site
New Plantings Per Acre	57 trees 21 shrubs	<i>Code: minimum 6 newly planted trees and 12 shrubs per acre</i>
Total parking lot area	40,106 SF	
Percentage of Interior Parking Lot Landscaping	15.8%	<i>Code: 15 %</i>

Trees consist of White Paper Birch, Siberian Larch, European Mountain Ash, Quaking Aspen, and Swedish Columnar Aspen. Shrubs consist of Silverberry, Eastern Ninebark, Goldmound Spirea, and Balsam Fir. Additional landscaping includes areas of mown lawn, no-mow grasses and wildflowers. Landscape plans are attached.

16. **Walkways, Sidewalks and Bike Paths.** *Pedestrian walkways or bicycle paths may be required where necessary to provide reasonable circulation or access to schools, playgrounds, shopping areas, transportation or other community facilities. Improvements must be constructed to standards adopted by the engineer.* There are existing pedestrian facilities along East Swanson Avenue and North Crusey Street. An on-site sidewalk follows the front of the library, along the east side of the parking lot, and connects to both streets and the nearby transit stop. There is also a sidewalk along

the west side of the parking lot near the main entrance of the library that connects to a lit pathway from the library to Wasilla Middle School. At the main entrance to the library, the driveway narrows to slow traffic where the pedestrian facilities converge and two designated crosswalks are provided.

17. ***Water, Sewage and Drainage Systems.*** See response to number 10.
18. ***Historic Resources. The proposed use shall not adversely impact any historic resource prior to the assessment of that resource by the city.*** The site is currently undeveloped and densely treed.
19. ***Appearance. The proposed use may be required to blend in with the general neighborhood appearance and architecture. Building spacing, setbacks, lot coverage, and height must be designed to provide adequate provisions for natural light and air.*** As stated previously, there is a strong desire to have a "library in the woods," and to preserve the natural vegetation to the extent practicable. At the same time, an iconic presence and connectivity to the Downtown District of Wasilla as defined in the 2011 Wasilla Comprehensive Plan is also important as a catalyst to vibrant downtown district. As a result, the library is oriented to, and setback from, the southeast corner of the site. This presents a prominent view to both North Crusey Street and Swanson Avenue while still providing opportunities to preserve trees and create spaces for new plantings to complement and enhance the natural environment. The curved plan invites changing views of the building by the passersby and responds to the arc of the sun to take advantage of natural lighting and southern exposure. The roof form responds directly to the needs of the interior spaces, giving the greatest volume to the main library reading area and multipurpose meeting rooms. Overall, the building is intended to hug the landscape and quietly reside within the wooded site. Building elevations are attached.
20. ***Open Space and Facilities. The applicant may be required to dedicate land for open space drainage, utilities, access, parks or playgrounds.*** The new library is a public facility sitting on a 4-acre site with a pedestrian connection to the adjacent Wasilla Middle School. Two formal outdoor spaces are included as additive alternates. The south facing terrace will provide gathering space for about 50 people for library and public events as well as an unstructured opportunity for patrons to simply go outside to read or socialize. On the west side, an amphitheater is carved from the existing grades along the west side of the site across from the library main entrance. It is designed to seat approximately 100 people.
21. ***Winter Hassles. The proposed use shall not significantly increase the impact on the surrounding area from glaciation or drifting snow. (Ord. 06-47(AM) § 4, 2006; prior code § 16.43.508).*** The new facility and associated infrastructure should have no impact on the surrounding area from drifting snow given its setback from the roadways, the preservation of existing vegetation and new landscaping. Additionally, surface water runoff will be managed on site and will not increase off-site glaciation.



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WASILLA PUBLIC LIBRARY
View from Swanson, Looking northeast

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WASILLA PUBLIC LIBRARY
View from the corner of Swanson and Crusey, Looking northwest

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WASILLA PUBLIC LIBRARY
View from Swanson, Looking North

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Wasilla
Public
Library

WASILLA PUBLIC LIBRARY
Driveway entrance from Swanson

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WASILLA PUBLIC LIBRARY
Driveway entrance from Crusey

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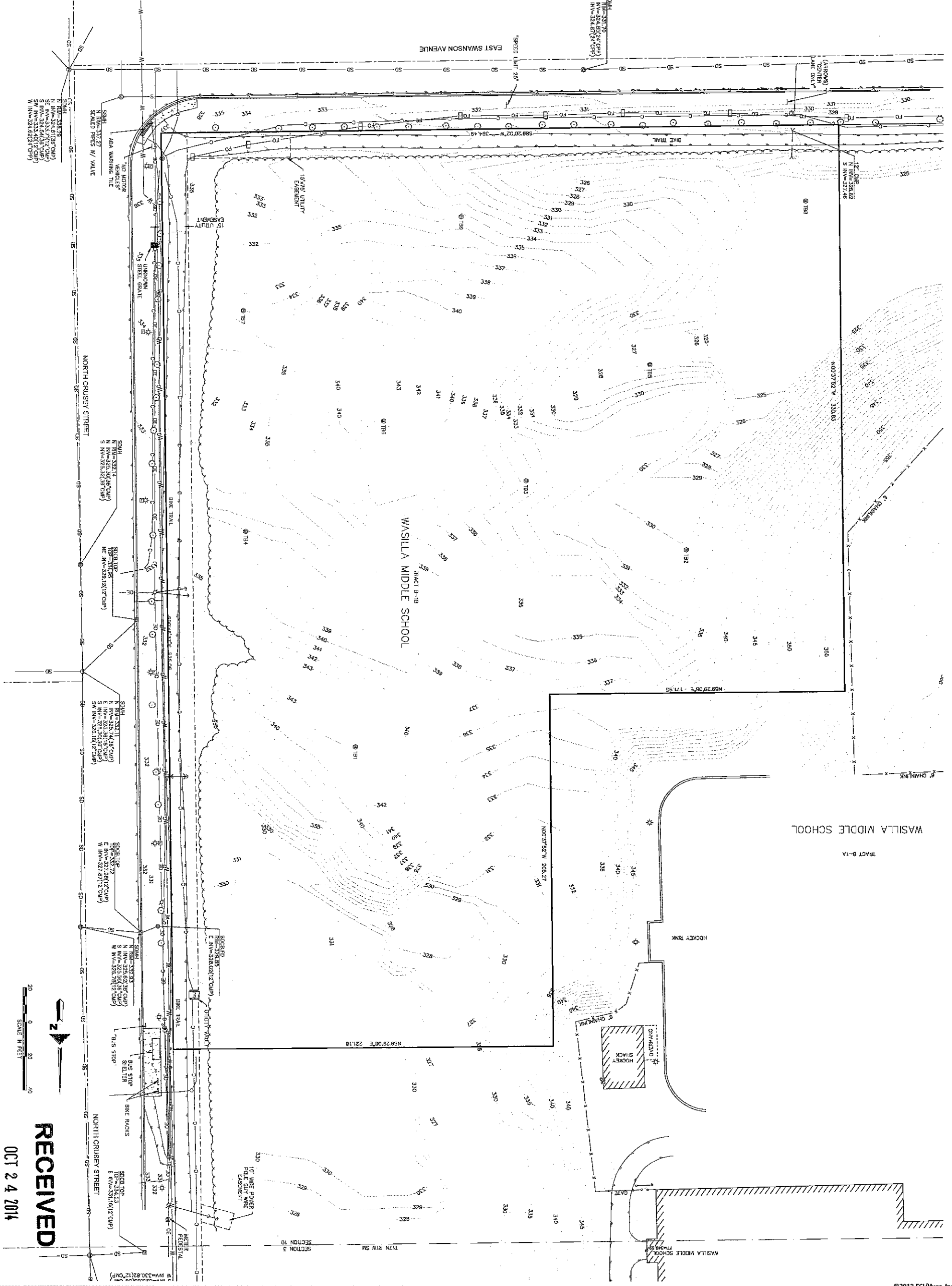
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View from Crusey, looking west

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OVERALL EXISTING CONDITIONS

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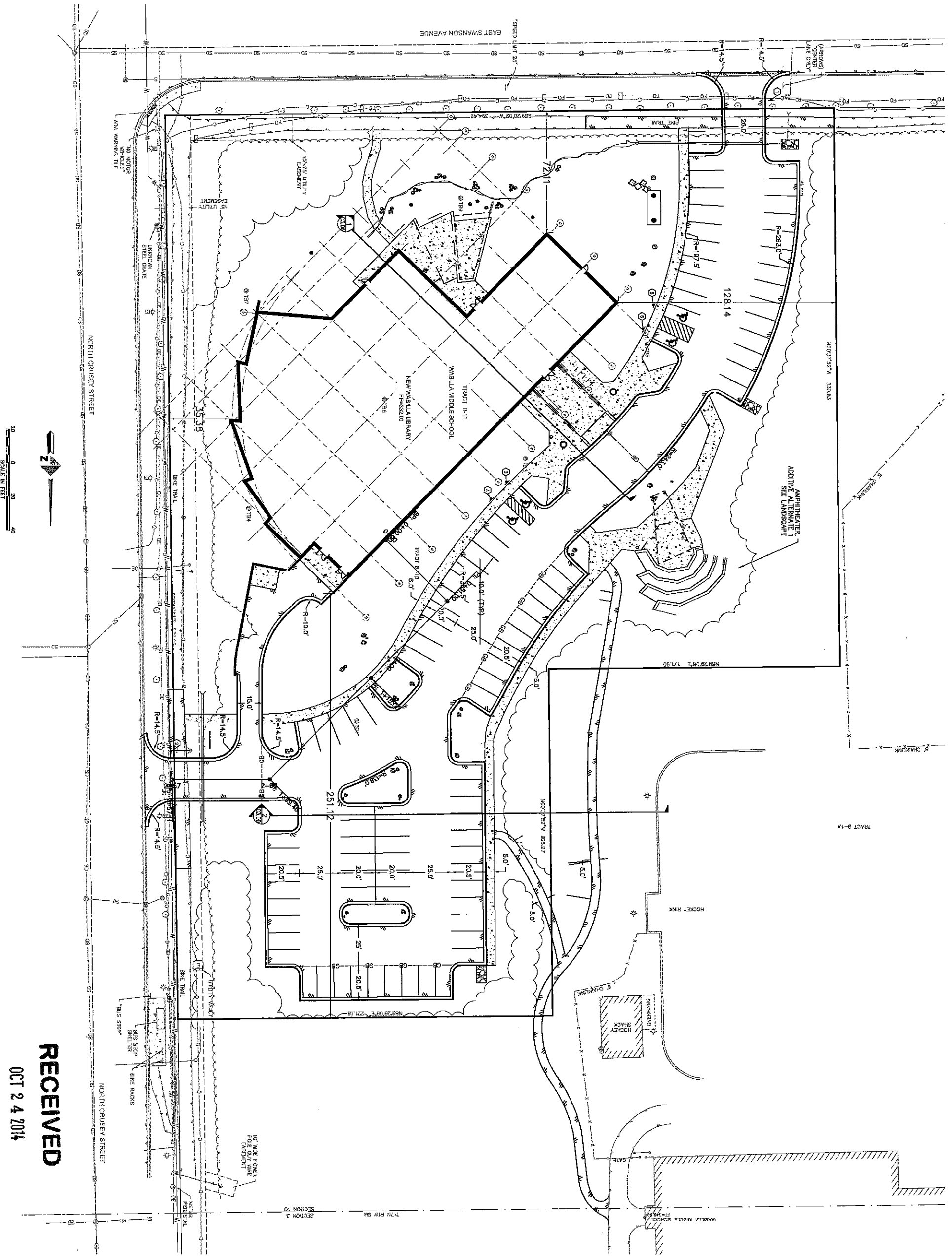
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OWNER PROJECT #: 61381
ISSUE DATE: 07.09.2014



City of Wasilla

WASILLA PUBLIC LIBRARY
DESIGN DEVELOPMENT

DOWL HKM
4041 B ST. ANCHORAGE, AK 99503
ECI/HYER ARCHITECTURE + INTERIORS
101 WEST BENSON BOULEVARD, SUITE 306
ANCHORAGE, ALASKA 99503 907.561.5543
PROJECT NO. 13-0015.00

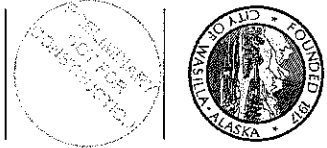


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OVERALL SITE PLAN

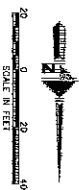
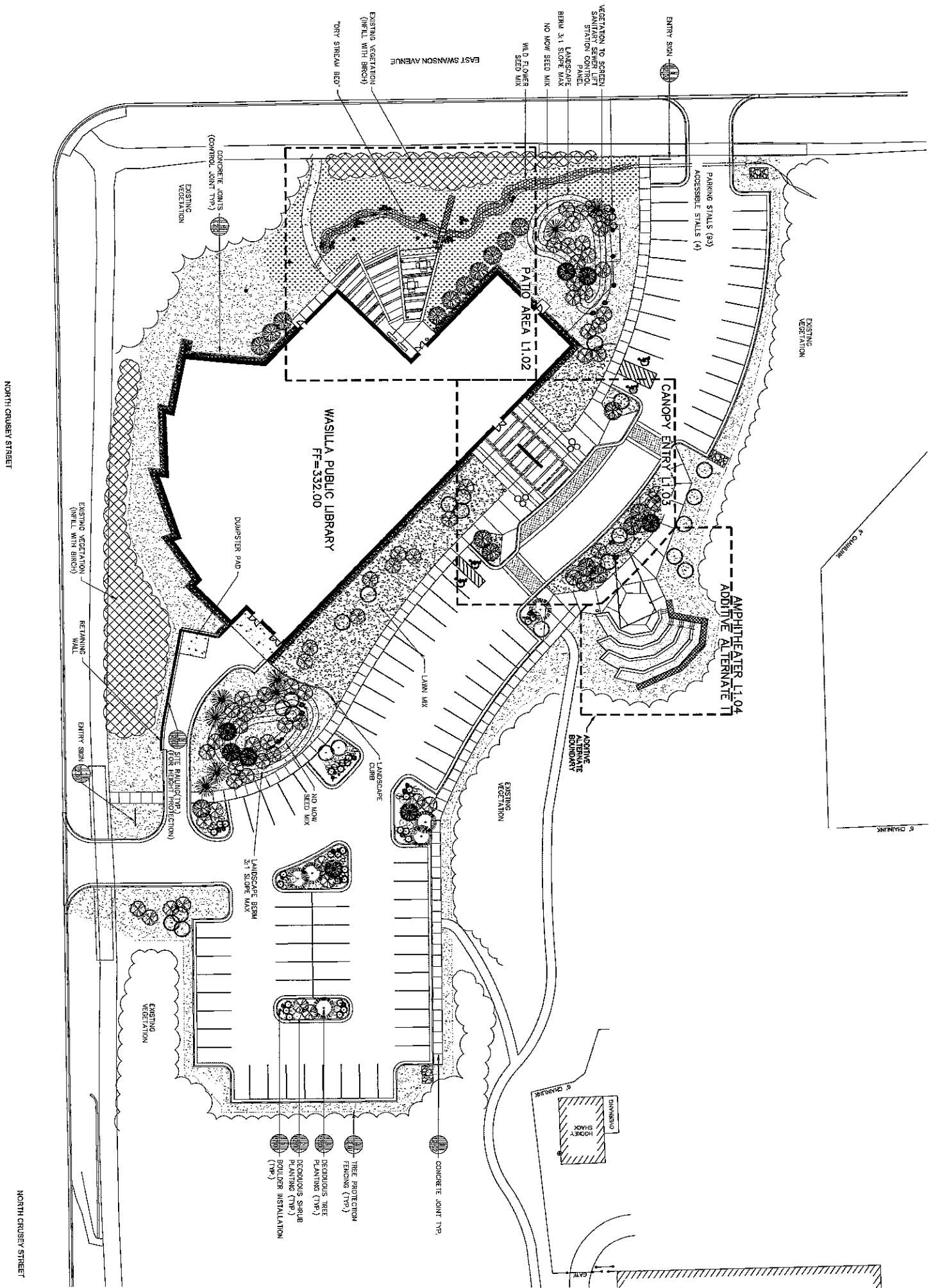
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AUTHOR: RPC CHECKED: KRH
 OWNER PROJECT #: 61381
 ISSUE DATE: 11.06.2014



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 ANCHORAGE, ALASKA 99503 907.561.5543
 PROJECT NO. 13-0015.00

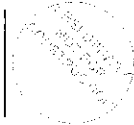


L1.01

NO.	REVISION	DATE

LANDSCAPE PLAN

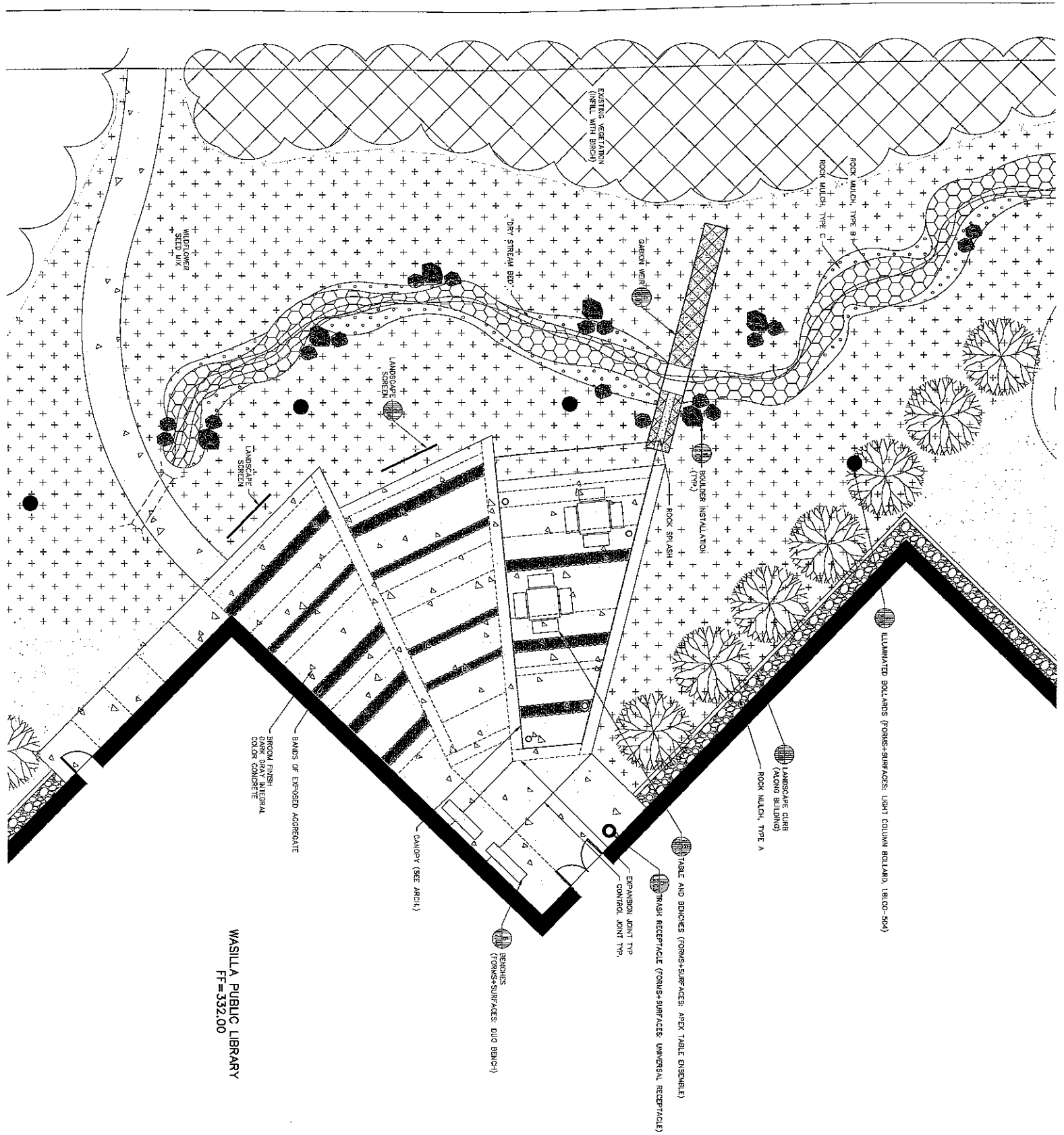
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 OWNER PROJECT #: 61381
 ISSUE DATE: 09.29.2014



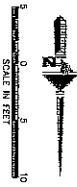
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FF=332.00



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PATIO AREA

AUTHOR: CJA & BRK CHECKED: TS
OWNER PROJECT #: 61381
ISSUE DATE: 09.29.2014

REV	DESCRIPTION	DATE

L1.02



City of Wasilla

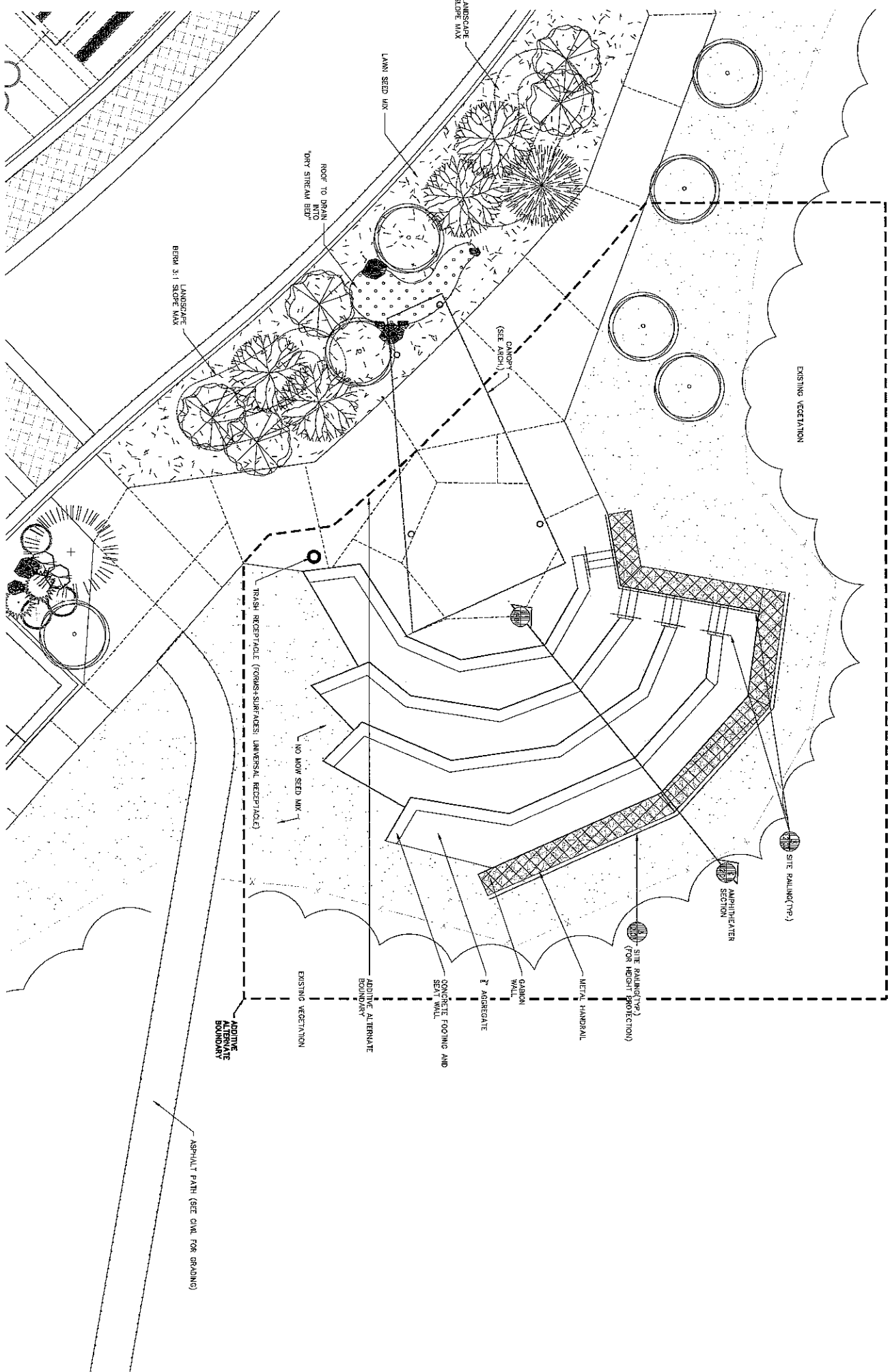
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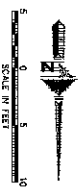
OCT 24 2014

Planning Office
City of Wasilla



NOTES:

- THIS AMPHITHEATER IS AN ADDITIVE ALTERNATE. IF THE AMPHITHEATER IS NOT INCLUDED THIS AREA WILL BE GRADED AS NECESSARY AND SEEDED TO THE LIMITS OF DISTURBANCE.
- APPROXIMATELY 207 LINEAR FEET OF SEAT WALL PROVIDES 138 SEATS



L1.04

NO.	REVISION	DATE

AMPHITHEATER (ADDITIVE ALTERNATE)

AUTHOR: CJA & BRK CHECKED: IS
OWNER PROJECT #: 61381
ISSUE DATE: 09-29-2014



City of Wasilla
WASILLA PUBLIC LIBRARY
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PROJECT NO. 13-0015.00

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City of Wasilla

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CERTIFICATE OF SERVICE

1. I am the Planning Clerk for the City of Wasilla.
2. I certify on this 24 day of October, 2014, I mailed 96 notices of: _____ via first class U.S. Mail and by hand delivery regarding the following:
Wasilla City Library
Land Use Permit # CU#14-10.

Residents within 1,200'	<u>167</u>
Review Agencies	<u>25</u>
Planning Commissioners & City Council Members	<u>11</u>
Total	<u>103</u>

DATED at Wasilla, Alaska, October 24, 2014.

CITY OF WASILLA

Tahirih Revet
TAHIRIH REVET
Planning Clerk

Attest:

TINA CRAWFORD
City Planner

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NOTIFICATION OF PUBLIC HEARING

DATE: October 24, 2014
APPLICANT (S)/
PROPERTY OWNER: City of Wasilla

CASE: CU 14-10

REQUEST:

Conditional use approval to construct a new 23,500 square feet City of Wasilla library on property located at 500 N. Crusey Street, Tract B-1B, Wasilla Middle School Subdivision. Generally located at the northwest corner of N. Crusey Street and E. Swanson Avenue.

You are being notified of this action as you are a property owner within 1,200' of the subject property, (WMC 16.16.040). A Planning Commission public hearing on this request is scheduled for **November 18, 2014 at 6:00 PM** in the City Council Chambers. Comments may be submitted in writing by filling in the spaces provided below and mailing to: City of Wasilla, Planning Office, 290 E. Herning Ave, Wasilla, AK 99654. If there is not enough room below please attach a separate piece of paper. Comments may also be faxed to (907) 373-9021 or emailed to planning@ci.wasilla.ak.us. Written comments on this request must reach the Planning Office on or before November 10, 2014 in order to be included in the packet. Comments received after that date will be available at the public hearing.

Anyone wishing to review the application for this case is encouraged to contact the Planning Office for additional information.

Name _____

Address _____

Lot _____ Block _____ Subdivision _____

Comments:



CITY OF WASILLA
PLANNING OFFICE
290 E HERNING AVE
WASILLA, AK 99654
PHONE 373-9020 FAX 373-9021

FIRST CLASS

NOTICE OF PUBLIC HEARING

3967000L009A
AKLESTAD GORDON L NON EXMT MARITAL
TR
AKLESTAD JANE L TR TRE
217 E ARCTIC AVE% JIM RUDA
PALMER, AK 99645-6257
3118B01L001
ALASKA USA FED CR UNION
PO BOX 196020ATTN: ACCTS PAYABLE
ANCHORAGE, AK 99519-6020

1570B02L064
BEUKERS DON I & MARY E
1922 CREEK DR
SAN JOSE, CA 95125

9014000U004
COLEGROVE S & S LVG TR
COLEGROVE S R & S A TRES COLEGROVE
SHANE
460 W BRIAR DR
WASILLA, AK 99654
5225B02L010
CULLEN GARY L & LOUISE F
PO BOX 871491
WASILLA, AK 99654-1491

5524B03L069A
DRATH JAS W & SHIRIE S
LAKESIDE TER TOWNHOUSES
PO BOX 2629
KENAI, AK 99611-2629

2479000T00A-1
FIRST NAT'L BANK ALASKA
PO BOX 100720ATTN: ACCOUNTING DEPT
ANCHORAGE, AK 99510-0720

17N01W03C015
GOOD SHEPHARD LUTHERAN
CHURCH OF WASILLA INC
501 BOGARD RD
WASILLA, AK 99654

3118B01T00B
HAYES JOE L
PO BOX 101821
ANCHORAGE, AK 99510-1821

2523B01L002A
HOLIDAY ALASKA INC
PO BOX 1224%KRISTI SCHWAKE # 650
MINNEAPOLIS, MN 55440-1224

6704000T00A
ALASKA RAILROAD CORP
PO BOX 107500
ANCHORAGE, AK 99501-7500

5524B03L067A
ALCINA JUAN
LAKESIDE TER TOWNHOUSES
1020 E SENECA AVE
WASILLA, AK 99654-7164

5524B03L066A
BOWEN ELOISE L
LAKESIDE TER TOWNHOUSES
3200 E WHISPERING WOODS DR
WASILLA, AK 99654-7462

5926B01L001
COOK INLET HOUSING AUTHORITY
3510 SPENARD RDSTE 100
ANCHORAGE, AK 99503

9014000U006
DE RU FERDINAND J & BRENDA J
PO BOX 2505
PALMER, AK 99645-2505

9009000U001
EDWARDS M DELON& GLENNA G
760 BARRA LOOP
WASILLA, AK 99654

5080000L007B
GEORGE-HERNANDEZ LLC
721 E WESTPOINT DR
WASILLA, AK 99654

5224B01L006
HARMAN JERRY M
PO BOX 874712
WASILLA, AK 99687-4712

2401000L008
HENDERSON ERIC & JULIA
PO BOX 2501
PALMER, AK 99645-2501

5224B01L015
HRONKIN PROPERTIES LLC
936 E WESTPOINT DR
WASILLA, AK 99654

6704000L001
ALASKA STATE OF
DEPT OF TRANS & PUB FAC
PO BOX 196900
ANCHORAGE, AK 99519-6900

2479000T00A-2
ALL AGES FAM RESTAURANTS III LLC
9418 AUTUMN RIDGE CIR
ANCHORAGE, AK 99507

5294B01L007-C
CENTENNIAL PLAZA LLC
PO BOX 92729% FRANK DANNER
ANCHORAGE, AK 99509-2729

2523B01L004A
COTTLE MARLENE M
3401 E COTTLE LOOP
WASILLA, AK 99654

2621B02L006A
DELWOOD PLAZA PTNRSHIP
PO BOX 871840
WASILLA, AK 99687-1840

2246B02L007
FERRIS KEVIN M
O'CONNOR-FERRIS SUE ELLEN
491 WESTCOVE DR
WASILLA, AK 99654

5225B02L009
GIELAROWSKI S J REV TR
1290 W WOODMEN RD
COLORADO SPGS, CO 80919-2727

9010000U201
HARREN RICHARD
CHAPELLE MAGALI S
851 E WESTPOINT DRSTE 202
WASILLA, AK 99654

5524B03L070A
HERMAN VICKI L
LAKESIDE TER TOWNHOUSES
1050 E SENECA AVE
WASILLA, AK 99654-7164

9014000U003
HUBBARD DON ANNA
PO BOX 871764
WASILLA, AK 99687-1764

5225B02L011
JOBSON ROBT M SR&AUDREY O
1201 E WESTPOINT DR
WASILLA, AK 99654

2523B01L001A
KWON THOMAS OJIN & BOK HEE
2133 KIMBERLY LYN CIR
ANCHORGE, AK 99515

5371000L004
LARUE TR THE
MARTIN ROBT J TRE MARTIN PAMELA S TRE
10756 GREEN VALLEY RD
GILROY, CA 95020

2095000LORP
MATANUSKA-SUSITNA BOROUGH
SCHOOL/WASILLA MIDDLE
350 E DAHLIA AVE
PALMER, AK 99645-6488

1024T0AL003
MCMULLIAN JAMES III & SUZANNE D
PO BOX 3451
PALMER, AK 99645-3451

5318000L001A
NATIONAL RETAIL PROPERTIES LP
450 S ORANGE AVE STE 900
ORLANDO, FL 32801

9014000U005
POIRIER HARLAN
PO BOX 870145
WASILLA, AK 99687-0145

3498000L00A
PRIOR LINDA L LVG TR
PRIOR LINDA L & PRIOR RUSSELL A TRES
1007 RIVERVIEW DR
FALLBROOK, CA 92028-1847

5524B03L068A
REYNOLDS CASEY
LAKESIDE TER TOWNHOUSES
6153 E 22ND AVE
ANCHORAGE, AK 99504-3213

5225B02L013
SHOWERS DONALD R
PO BOX 870757
WASILLA, AK 99687-0757

5524B03L065A
KENNEDY ANDREW C
LAKESIDE TER TOWNHOUSES
1000 E SENECA AVE
WASILLA, AK 99654

5524B03LCA01
LAKESIDE TER TOWNHOUSES
1365 E PARKS HWY STE 205% LEVALLEY
REALTY
WASILLA, AK 99654

9014000U007
LEE CARLA JANE
1072 E WESTPOINT DR# 7
WASILLA, AK 99654-7138

2095000T00B-2
MAT-SU VALLEY MEDICAL CTR
14400 METCALF AVE% PROPERTY
VALUATION SERVICES
OVERLAND PARK, KS 66223

2253B02L005B
MORAN ANDREW M M
2247 N FILLY CIR
WASILLA, AK 99654

5294B01L007-B
NORTHRIM BANK
3111 C ST
ANCHORAGE, AK 99503

3118B01L006
POON WM F T
POON ESTHER
1220 E 68TH#102
ANCHORAGE, AK 99518

5224B01L011
PURSCHE RAYMOND R
1000 E WESTPOINT DR
WASILLA, AK 99654-7138

9014000U002
RHODEN BETH A
1075 E WESTPOINT DR UNIT 2
WASILLA, AK 99654-7179

5225B02L012
SMITH RICHARD W
PO BOX 874761
WASILLA, AK 99687-4761

4574B01L016A
KURANI KURBAN
PO BOX 92413
ANCHORAGE, AK 99509-0413

1015B2EL007
LARSON JOAN E
LARSON MICHAEL S
500 E SWANSON AVE
WASILLA, AK 99654

9014000U001
LOGSDON BERTRAND M&ADRIENNE L
66751 N BAY RD
NORTH BEND, OR 97459

2842000L00B-2
MCDONALD'S CORP
PO BOX 182571# 51-0013
COLUMBUS, OH 43218-2571

1024T0AL005
NANEZ JOSE & LUCIA
16751 THEODORE DR
EAGLE RIVER, AK 99577-6702

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OH KAP BOK & SUN SOOK
990 E WESTPOINT DR
WASILLA, AK 99654

3537000L001A
PRESIDG BISHOP OF CHURCH
JESUS CHRIST LTR DAY SNTS
50 E NORTH TEMPLERE 520-0687
SALT LAKE CITY, UT 84150-3620

5224B01L013
RANEY DONALD S
918 W 14TH AVE
ANCHORAGE, AK 99501-4951

2499000T00A-5
ROMAR LLC
11039 E HARRIS HAWK TRL
SCOTTSDALE, AZ 85262-4547

5224B01L010
STENGRIM JON D
1018 E WESTPOINT DR
WASILLA, AK 99654-7138

5224B01L009
STOTT WM D & MARIA S
2015 BLUEBERRY ST
ANCHORAGE, AK 99503-1854

9101000U001
VALLEY CHARITIES INC
400 N YENLO ST% JOHN ROZZI
WASILLA, AK 99654

3118B01L004
VALLEY PROF CENTER LLC
1001 E USA CIR
WASILLA, AK 99654

6698B02L002B
VALLEY RESIDENTIAL SERVICES
1075 S CHECK STSTE 102
WASILLA, AK 99654-8067

9009000U002
WALLIS NANCY A
401 W IVORY WAY
WASILLA, AK 99654-1328

2959000T00B1
WASILLA LLC
4000 W DIMOND BLVD # 240% DENALI
COMMERCIAL MGMT
ANCHORAGE, AK 99502

6698B02L002A
YENLO SQUARE PHASE I LTD PRTNRSH
1075 S CHECK STSTE 102
WASILLA, AK 99654-8067

3118B01L003
ZIPPERER JOHN D JR
2955 N CHURCH RD
WASILLA, AK 99654

Tom Brooks
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PO Box 107500
Anchorage, AK 99501

Corps of Engineers
Regulatory Branch
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Elmendorf AFB, AK 99506-0898

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Fire Code Official Captain
101 W. Swanson Ave
Wasilla, AK 99654

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Anchorage, AK 99519-0288

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222 W. 7th Ave#14
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Kathy Wells
Friends of Mat-Su
PO Box 116
Palmer, AK 99645

Troy Scheuner
GCI
501 N. Main StSuite 130
Wasilla, AK 99654

MEA
PO Box 2929
Palmer, AK 99645

MSB Chief of Code Compliance
350 E. Dahlia Ave
Palmer, AK 99645

MSB Cultural Resources Specialist
350 E. Dahlia Ave
Palmer, AK 99645

MSB Fire Chief
101 S. Swanson Ave
Wasilla, AK 99654

MSB Planning Director
350 E. Dahlia Ave
Palmer, AK 99645

MSB Platting Division Officer
350 E. Dahlia Ave
Palmer, AK 99645

MSB Public Works Director
350 E. Dahlia Ave
Palmer, AK 99645

MTA
Real Estate Department
PO Box 3550
Palmer, AK 99645

NRCS
Soil & Water Conservation
1700 E. Bogard Rd#203
Wasilla, AK 99654

Oran Wooley
SOA/DEC
Waste Water RVW
1700 E. Bogard RdBldg B, #103
Wasilla, AK 99654

Roy Robertson
SOA/DEC
Waste Water RVW
1700 E. Bogard RdBldg B, #103
Wasilla, AK 99654

SOA/DNR
Commissioner's Office
550 W. 7th AveSuite 1400
Anchorage, AK 99501

SOA/DNR
WATER Resources
550 W. 7th AveSuite 1020
Anchorage, AK 99501

SOA/DFG/Habitat
1800 Glenn HwySuite 6
Palmer, AK 99645

SOA/DNR
Technical Services
550 W. 7th AveSuite 650
Anchorage, AK 99510-3577

SOA/DOTPF
Mat-Su Area Planner
PO Box 196900
Anchorage, AK 99519-6900

Superintendent
SOA/DOTPF
289 Inner Springer Loop
Palmer, AK 99645

Daniel Kelly, Jr
581 Briar Dr
Wasilla, AK 99654

Glenda Ledford
960 S. Century Drive
Wasilla, AK 99654

Jessica Dean
209 S. Vix Way
Wasilla, AK 99654

Loren Means III
1668 Pittman Road
Wasilla, AK 99687

Claudia Pinard
646 Peck Street
Wasilla, AK 99654

COW Public Works Director
Archie Giddings

City Council
Leone Harris

City Council
Gretchen O'Barr

City Council
Collen Sullivan-Leonard

City Council
Clark Buswell

City Council
Brandon Wall

City Council
David Wilson

**WASILLA PLANNING COMMISSION
RESOLUTION SERIAL NO. 14-25**

**A RESOLUTION OF THE WASILLA PLANNING COMMISSION APPROVING
CONDITIONAL USE PERMIT NUMBER CU 14-10 TO CONSTRUCT A NEW 23,500
SQUARE FOOT CITY OF WASILLA LIBRARY, LOCATED ON TRACT B-1B,
WASILLA MIDDLE SCHOOL SUBDIVISION, IN THE COMMERCIAL ZONING
DISTRICT.**

WHEREAS, ECI/Hyer Architects, Agent for the City of Wasilla, submitted Conditional Use Permit Number 14-10 requesting approval to construct a new 23,500 square foot city library on October 24, 2014; and

WHEREAS, the application included the required site plan and narrative that addresses the general approval criteria in Wasilla Municipal Code §16.16.050; and

WHEREAS, notice of the application was mailed to all property owners within a 1,200 feet radius, the appropriate review agencies, the Wasilla Planning Commission, and the Wasilla City Council as required by §16.16.040(A)(2) of the Wasilla Municipal Code; and

WHEREAS, a notice of the public hearing was published in the Frontiersman on November 11, 2014; and

WHEREAS, the Planning Commission held a public hearing on this request on November 18, 2014; and

WHEREAS, the Wasilla Planning Commission deliberated on this request taking into account the information submitted by the applicant, evaluation and recommendations of staff contained in the staff report, public testimony - both written and verbal comments, the applicable provisions of the Wasilla Land Development Code and Comprehensive Plan, and other pertinent information brought before them; and

WHEREAS, the Wasilla Planning Commission adopted Findings of Fact, attached as Exhibit A, summarizing basic facts and reasoning of the Commission; and

NOW, THEREFORE BE IT RESOLVED, that the Wasilla Planning Commission hereby approves this application with the Findings of Fact, attached as Exhibit A and incorporated herein, with the following conditions:

1. The Matanuska-Susitna Borough Fire Chief's office shall review this proposal for compliance with all applicable fire codes, building codes and emergency access as related to the public health, safety and welfare prior to construction.
2. The applicant shall consult with DEC and follow the appropriate stormwater procedures and regulations.
3. The applicant must coordinate with the City Public Works Department to obtain the permit approvals needed for water and sewer connections.
4. Construction on the site must substantially comply with the site plan, landscape plan, and elevation drawings date stamped October 24, 2014, attached as Exhibit B to Resolution Serial No. 14-25. Any changes to these plans must be submitted to the City Planner for review. Substantial modifications will require submittal of an amended conditional use permit application and Planning Commission review and approval.
5. An as-built survey must be submitted to the Planning Department after completion of the library.

ADOPTED by the Wasilla Planning Commission on --, 2014.

APPROVED:

ATTEST:

Glenda Ledford, Chairman

Date

Tina Crawford, AICP, City Planner

EXHIBIT A
Wasilla Planning Commission Resolution 14-25
FINDINGS OF FACT – Section 16.16.050, General Approval Criteria

An administrative approval, use permit, elevated administrative approval, elevated use permit or conditional use may be granted if the following general approval criteria and any applicable specific approval criteria of Section 16.16.060 are complied with. The burden of proof is on the applicant to show that the proposed use meets these criteria and applicable specific criteria for approval. An approval shall include a written finding that the proposed use can occur consistent with the comprehensive plan, harmoniously with other activities allowed in the district and will not disrupt the character of the neighborhood. Such findings and conditions of approval shall be in writing and become part of the record and the case file.

16.16.050(1)&(5) *Neighbors/Neighborhoods. Due deference has been given to the neighborhood plan or comments and recommendations from a neighborhood with an approved neighborhood plan.*

Finding: This criterion is not applicable since this parcel is not part of an adopted neighborhood plan.

16.16.050(2) *Plans. The proposal is substantially consistent with the city comprehensive plan and other city adopted plans.*

Finding: The proposed library is consistent with Actions in Chapters 5, 6, and 7 of the Comprehensive Plan to develop a new library facility. It is also consistent with the *Expected Future Land Use Map* designation, “Generally Commercial/Business”, and the Commercial zoning district that implements the adopted Comprehensive Plan.

16.16.050(3) *Special Uses. The proposal is substantially consistent with the specific approval criteria of Section 16.16.060.*

Finding: The specific approval criteria under 16.16.060 are not applicable since a library is not one of the special uses with additional criteria.

16.16.050(4) *Reviewing Parties. Due deference has been given to the comments and recommendations of reviewing parties.*

Finding: The City mailed 67 notices to neighboring property owners within 1200’ and the 25 review agencies that are typically provided with the opportunity to comment. Three comments were received from MSB agencies – all had no comments or concerns. Copies of the comments received by staff are included in this packet. Any comments received after the compilation of the packet will be provided at the public hearing.

16.16.050(6) *Fire Safety and Emergency Access. The proposal shall not pose a fire danger as determined by the State Fire Marshal or the fire chief of the district in which the proposed use is located. Adequate access for emergency and police vehicles must be provided.*

Finding: The Borough Fire Chief's office will review the proposed building for compliance with all applicable fire codes, building codes and emergency access as related to the public health, safety and welfare.

16.16.050(7) *Traffic. The proposed use shall not overload the street system with traffic or result in unsafe streets or dangers to pedestrians...*

Finding: The proposed use will not significantly impact the street system or create a danger to pedestrians.

16.16.050(8) *Dimensional Standards. The dimensional requirements of Section 16.24.010 are met.*

Finding: The attached site plan submitted by the applicant complies with the minimum setbacks and maximum height requirements of §16.24.010.

16.24.050(9) *Parking. The parking, loading areas, and snow storage sites for the proposed development shall be adequate, safe and properly designed. The developer may be required to install acceptable lighting at pedestrian or vehicular access points.*

Finding: WMC 16.24.040(E), Table of Parking Requirements, does not specifically list a library as a use with minimum parking spaces so it is subject to the "All others" use category, which requires 1 parking space per 200 square feet of gross floor area. This would require 118 parking spaces. However, based on typical parking plans for other libraries in Alaska, the request is to have the Planning Commission approve 93 parking spaces. As stated in the application, this is a reasonable request since an office or retail commercial building would only be required to provide 78 parking spaces for the same size building. Adequate snow storage is provided on site.

16.16.050(10) *Utilities. The proposed use shall be adequately served by water, sewer, electricity, on-site water or sewer systems and other utilities.*

Finding: Water, sewer, and other utilities are available in the area.

16.16.050(11) ***Drainage. The proposed use shall provide for the control of runoff during and after construction. All roads and parking areas shall be designed to alleviate runoff into public streets, adjoining lots and protect rivers lakes and streams from pollution. Uses may be required to provide for the conservation of natural features such as drainage basins and watersheds, and land stability.***

Finding: The proposed site plan shows sufficient drainage control by directing flow to the drainage swales and low spots and retaining existing vegetation on the site.

16.16.050(12) ***Large Developments. Residential development of more than four units or non-residential development of more than ten thousand (10,000) square feet gross floor area may be required to provide a site plan showing measures to be taken for the preservation of open space, sensitive areas and other natural features; provision of common signage; provision for landscaping and provisions for safe and effective circulation of vehicles, pedestrians and bicycles. Nonresidential large developments must be located with frontage on one of the following class of streets: interstate, minor arterial, major collector or commercial.***

Finding: The site plan indicates sufficient open space, vehicle and pedestrian circulation, and landscaping. Also, the site is located at the corner of Crusey Street and Swanson Avenue; both are designated as a Major Collector roadway. Signage will be reviewed for consistency with Title 16 at time of submittal of sign permit.

16.16.050(13) ***Peak Use. The proposed use shall not result in significantly different peak use characteristics than surrounding uses or other uses allowed in the district.***

Finding: The proposed library will not result in significantly different peak use characteristics than the surrounding uses or area since the property is located in an area that is predominantly developed and zoned Commercial.

16.16.050(14) ***Off-Site Impacts. The proposal shall not significantly impact surrounding properties with excessive noise, fumes or odors, glare, smoke, light, vibration, dust, litter, or interference in any radio or television receivers off the premises, or cause significant line voltage fluctuation off the premises. Radio transmitters and any electronic communications equipment regulated by the Federal Communications Commission is specifically excluded from regulation by this section. Welding, operation of electrical appliances or power tools, or similar activities that cause off site impacts as described above are***

specifically regulated by this subsection. Buffering may be required to ameliorate impacts between residential and nonresidential uses. The owner of the property upon which the buffer is constructed is responsible for the maintenance of the buffer in a condition that will meet the intent of these criteria.

Finding: The proposed library will not have any negative impacts on the surrounding area and no additional buffering is required since the subject parcel is surrounded by commercial uses and/or zoning.

16.16.050(15) Landscaping. The proposed use shall be designed in a manner that minimizes the removal of trees and vegetative cover, and shall conform to the standards in this title concerning the provision and maintenance of landscaping, and any landscaping plan that is required for the proposed use under this title. The approval authority also may condition approval on the provision of the following:

- a. A fenced storage area for common use, adequate to store boats, trailers, snowmobiles, recreational vehicles and similar items.**
- b. Adequately sized, located and screened trash receptacles and areas.**

Finding: The attached site plan show the proposed landscaping and existing vegetation to remain on the site. As indicated in the application and on the landscape plan, 76% of the lot is proposed to be initially cleared of vegetation, which is inconsistent with the land clearing restrictions in Section 16, which is inconsistent with the land clearing restrictions in Section 16.33.050(A)(2) that only allows 70% of the lot to be cleared for development. However, that section allows the Planning Commission to approve clearing of a larger amount. The Planning Commission approves the request to clear 76% of the lot since after installation of the new landscaping, 39% of the lot will contain landscaping that almost doubles the required number of trees and shrubs.

16.16.050(16) Walkways, Sidewalks and Bike Paths. Pedestrian walkways or bicycle paths may be required where necessary to provide reasonable circulation or access to schools, playgrounds, shopping areas, transportation or other community facilities. Improvements must be constructed to standards adopted by the engineer.

Finding: Adequate pedestrian walkways are provided on-site and provide interconnectivity with Wasilla Middle School to the north and to the existing walkways along Crusey Street and Swanson Avenue.

16.16.050(17) Water, Sewage and Drainage Systems. If a proposed use is within five hundred (500) feet of an existing, adequate public

water system, the developer may be required to construct a distribution system and the connection to the public system. A developer may be required to increase the size of existing public water, sewer or drainage lines or to install a distribution system within the development. The commission may require any or all parts of such installation to be oversized. The developer must submit to the engineer an acceptable plan that shows that if within ten (10) years an increase in capacity will be required to serve other areas how these needs will be met by oversized facilities. When installation of oversized facilities is required, the developer shall install such facilities at their own expense. The developer shall be reimbursed the amount determined by the engineer to be the difference in cost between the installed cost of the oversized utility lines and the installed cost of the utility lines adequate to serve both the development concerned and all other land to be served by the lines which is owned or under the control of the developer, provided the developer may not be required to install facilities unless funds for such oversizing have been appropriated for the purpose by the city and there is a sufficient unencumbered balance in the balance in the appropriation. No reimbursement may be made unless the developer has entered into such agreement with the city, including conveyances of personal property including lines, lift stations and valves and conveyances of land or rights in land, as the city determines may be necessary to ensure complete control by the city of its sewer, drainage and water lines when they are extended to serve the property of the developer. Notwithstanding the requirement that the developer construct improvements to existing systems, the commission may elect to accomplish the design or construction, or both, of improvements to be made to existing public systems. In such a case, the commission may require advance payment to the city of the estimated cost of work to be accomplished by the city. The developer shall reimburse the city for all expenses of such design or construction not paid in advance. A public system is adequate if, in the judgment of the engineer, it is feasible for the developer to make improvements to the public system which will provide the increased capacity necessary to serve the existing users and the new development at the same level as is being provided to the existing users. Prior to approval of a use for which a community water system is required, the developer must submit evidence showing that there is available a satisfactory source of water. A source of water is satisfactory only if it can be shown that the proposed source will produce water sufficient in quality and quantity to supply the development. The water system and the connection between such distribution systems and the source must be sized and constructed to meet fire flow and hydrant

requirements for fire protection and that the developer has obtained or can obtain a water appropriation permit or certificate for the water from the state. The system must be built to city specifications available from the engineer.

Finding: Water and sewer is available for the site and the applicant will coordinate with the Public Works department to obtain any necessary City permits. Additionally, the site plan shows adequate on-site drainage.

16.16.050(18) Historic Resources. The proposed use shall not adversely impact any historic resource prior to the assessment of that resource by the city.

Finding: The Mat-Su Borough Cultural Resources Office was notified of this application and provided the opportunity to comment but did not provide any objections.

16.16.050(19) Appearance. The proposed use may be required to blend in with the general neighborhood appearance and architecture. Building spacing, setbacks, lot coverage, and height must be designed to provide adequate provisions for natural light & air.

Finding: As shown in the elevation drawings in the packet, the proposed building blends in with the general neighborhood appearance and architecture in the area.

16.16.050(20) Open Space and Facilities. The applicant may be required to dedicate land for open space drainage, utilities, access, parks or playgrounds. Any dedication required by the city must be based on a written finding that the area is necessary for public use or safety and the dedication is in compliance with adopted municipal plans and policy. The city finding shall conclude that a direct connection exists between the development and the need for the provision of the dedication...

Finding: No additional land is necessary for open space and facilities.

16.16.050(21) Winter Hassles. The proposed use shall not significantly increase the impact on the surrounding area from glaciation or drifting snow.

Finding: There are no foreseeable problems anticipated from winter conditions.



EGHYER, INC.

WASILLA PUBLIC LIBRARY
View from Swanson, Looking northeast

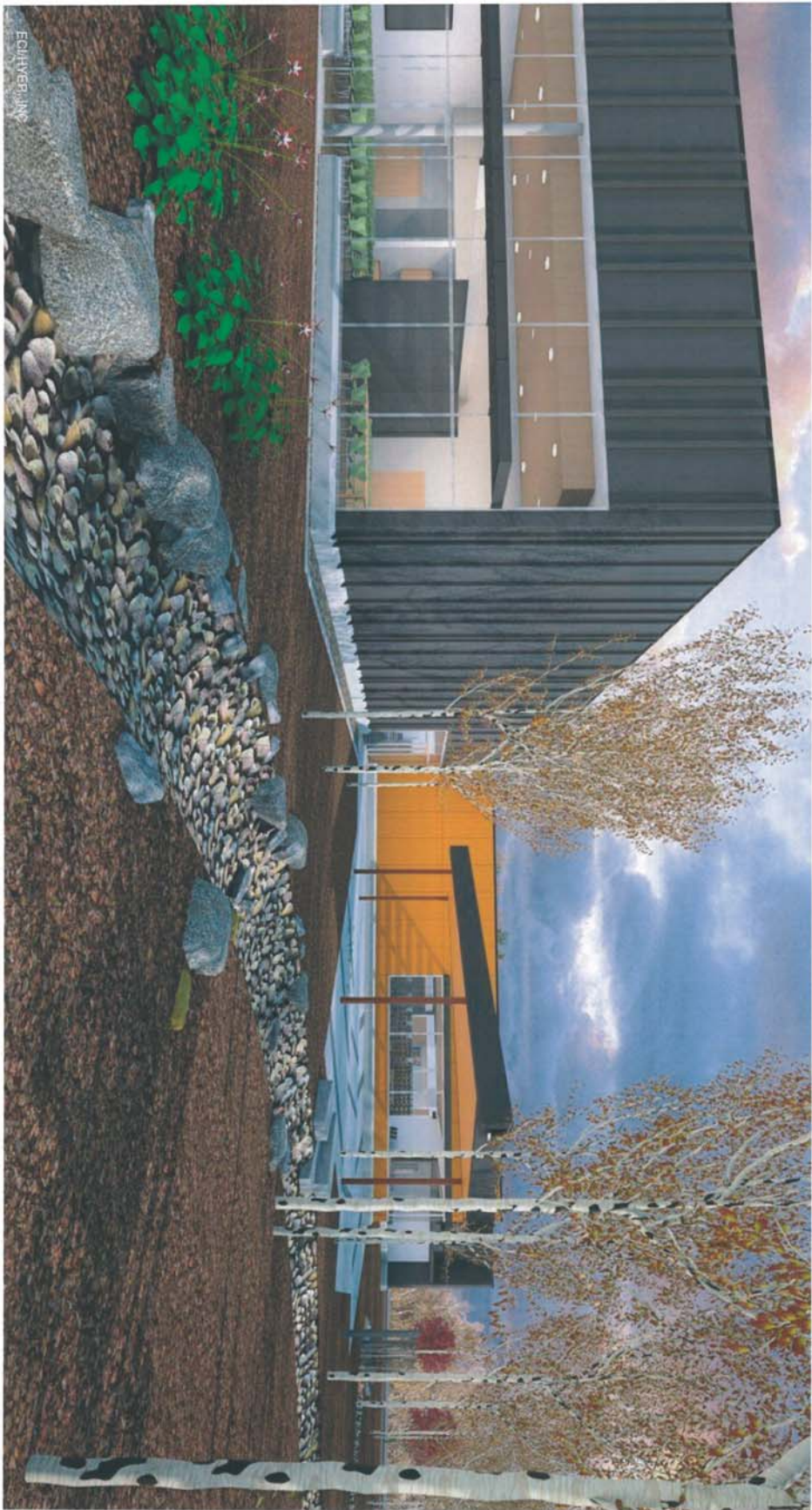
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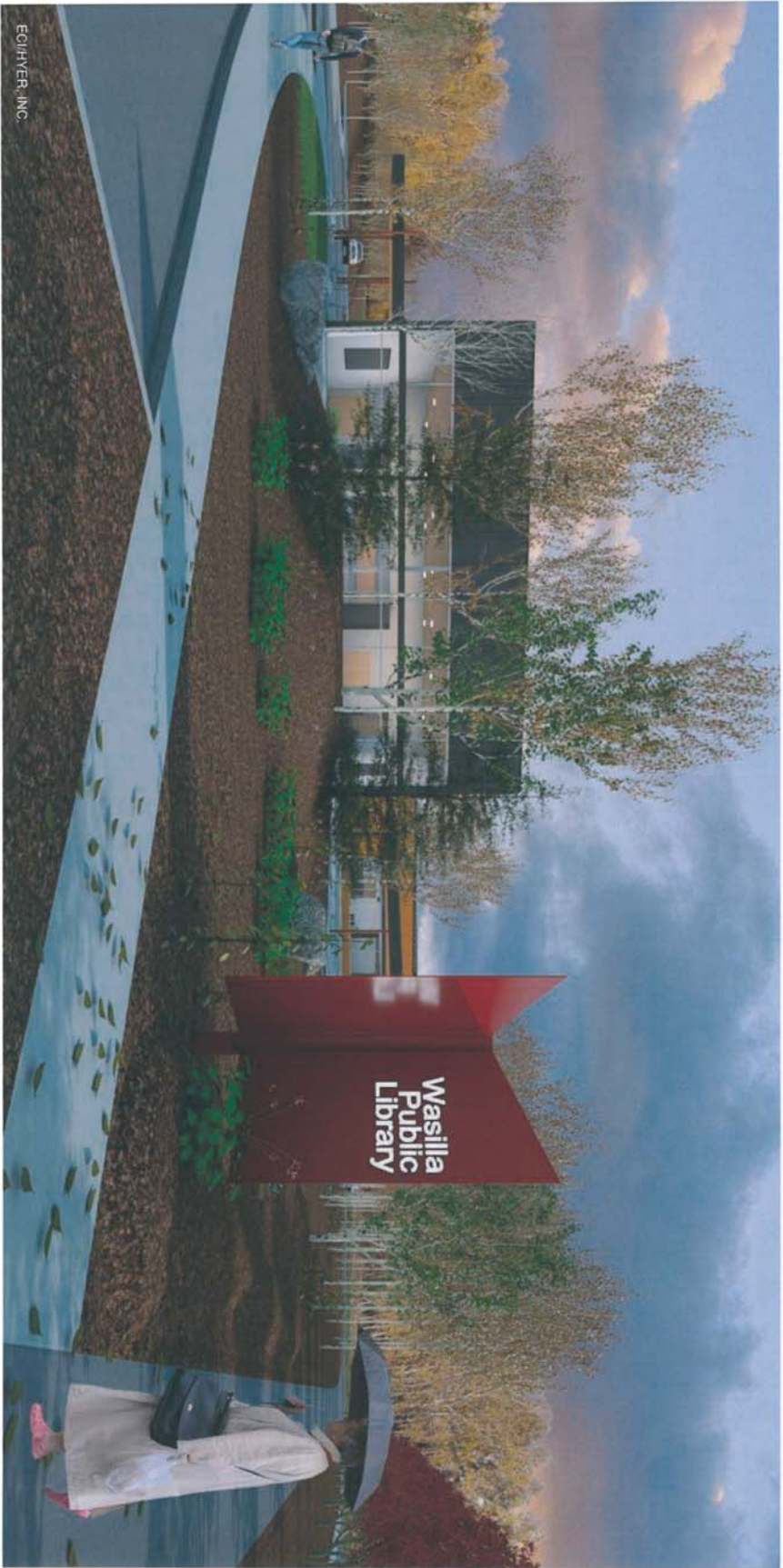
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View from the corner of Swanson and Crusey, Looking northwest

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WASILLA PUBLIC LIBRARY
View from Swanson, Looking North

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EQUIVER, INC.

WASILLA PUBLIC LIBRARY
Driveway entrance from Swanson

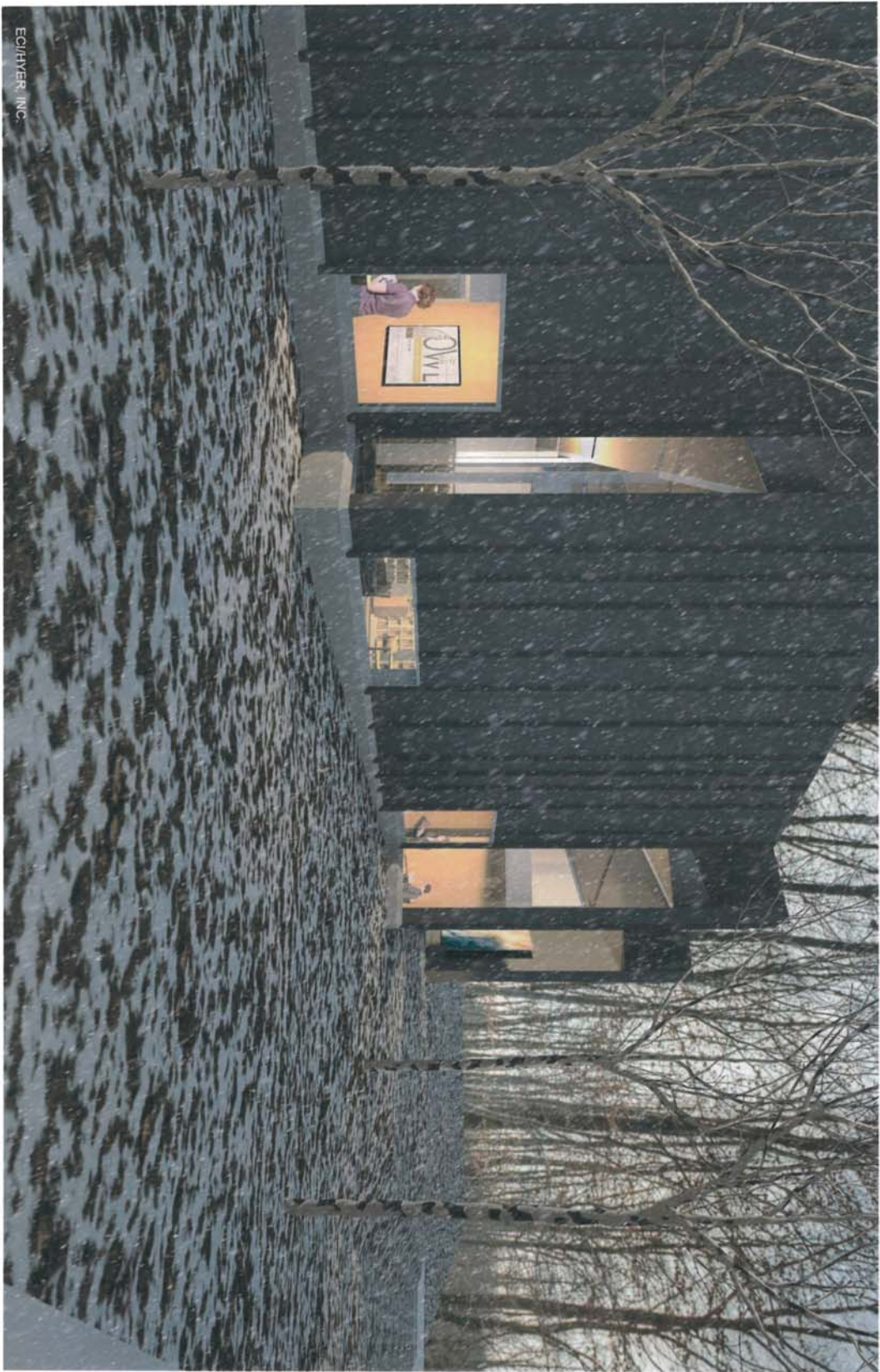
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Driveway entrance from Crusey

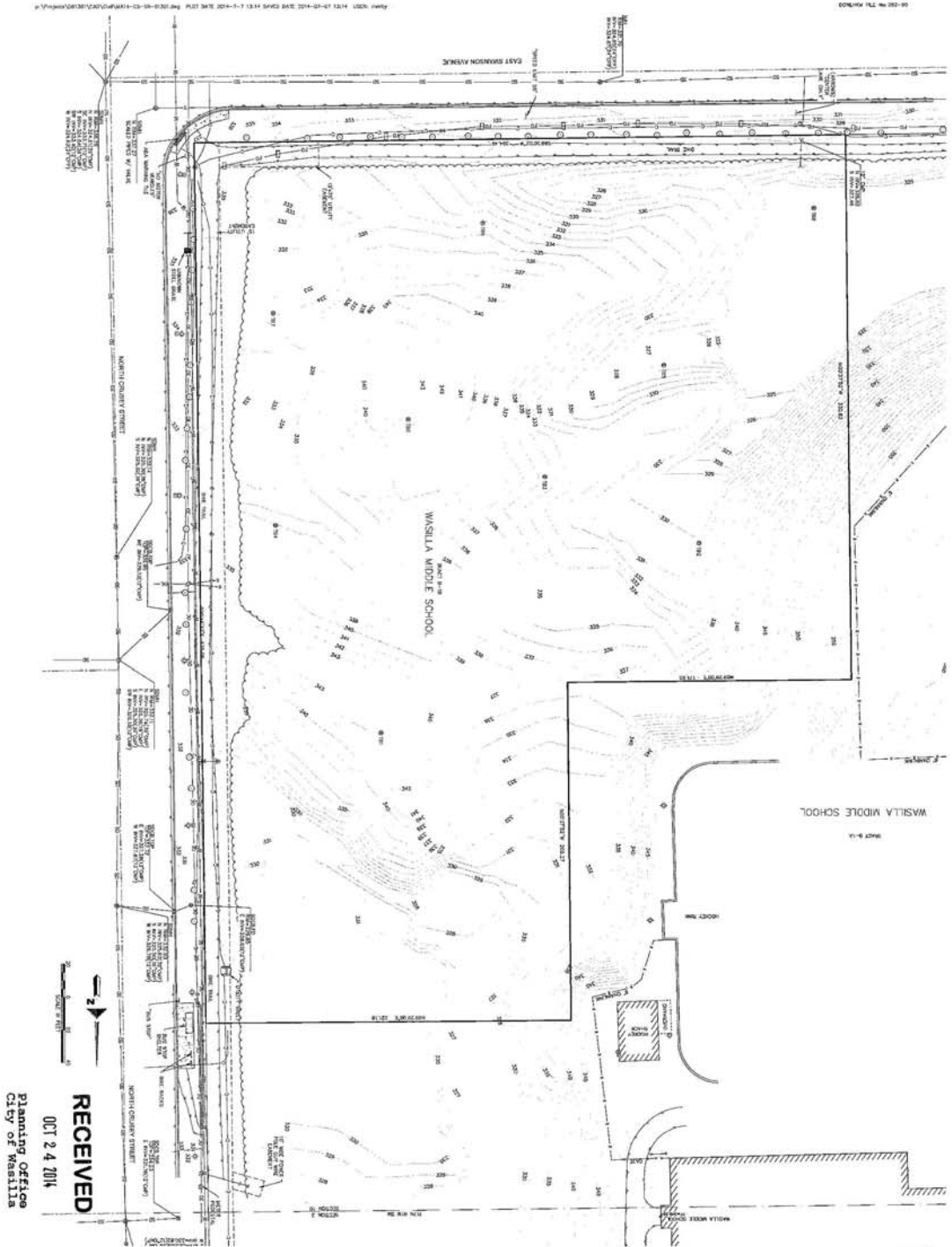
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View from Crusey, looking west

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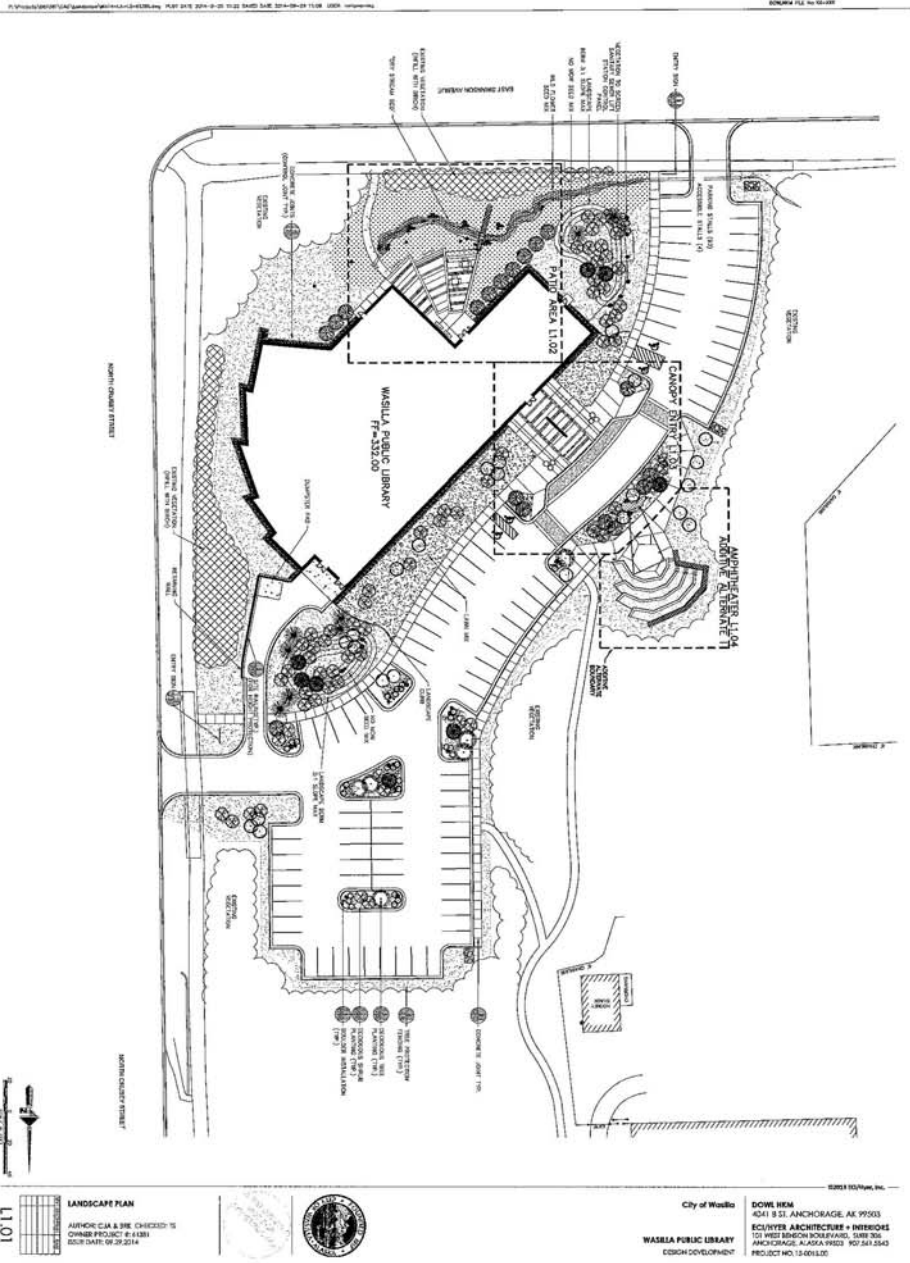
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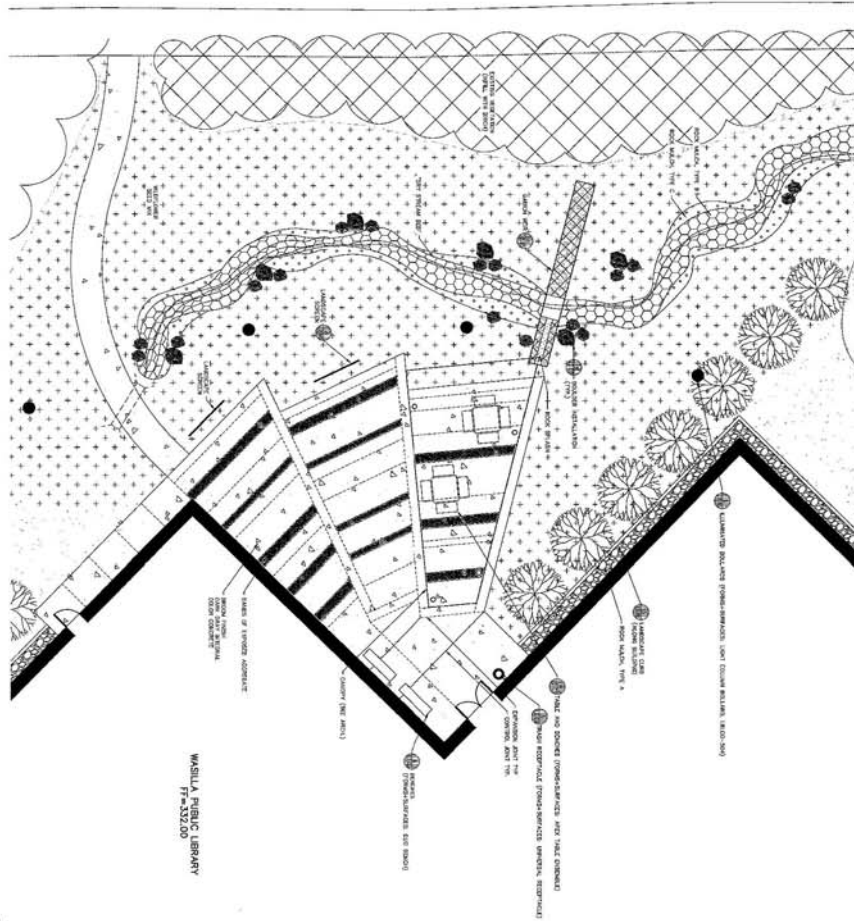


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 ECI/NER ARCHITECTURE + INTERIORS
 101 WEST SIMONSEN BOULEVARD, SUITE 305
 ANCHORAGE, ALASKA 99508 907.541.5543
 PROJ/CI NO. 13-0015.00



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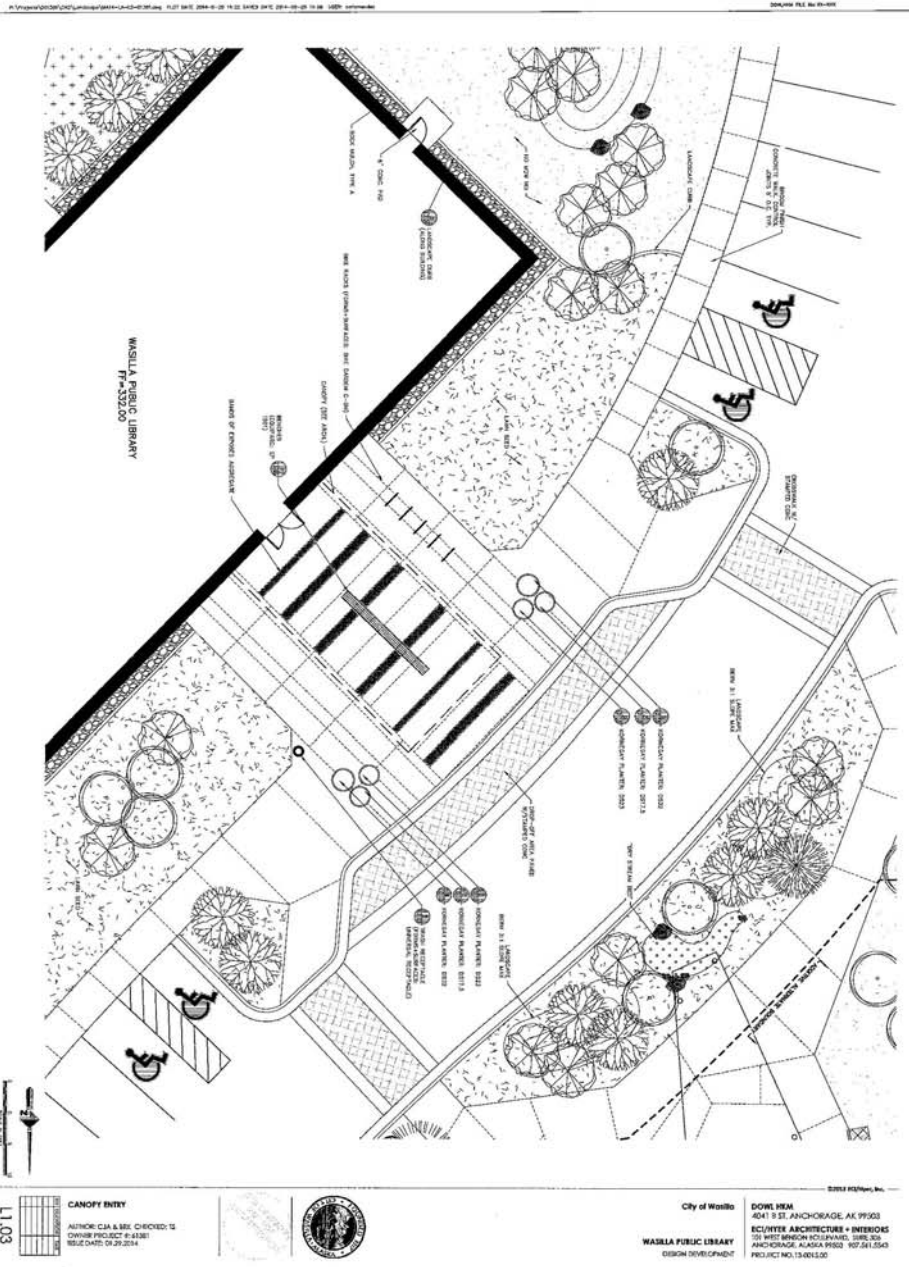
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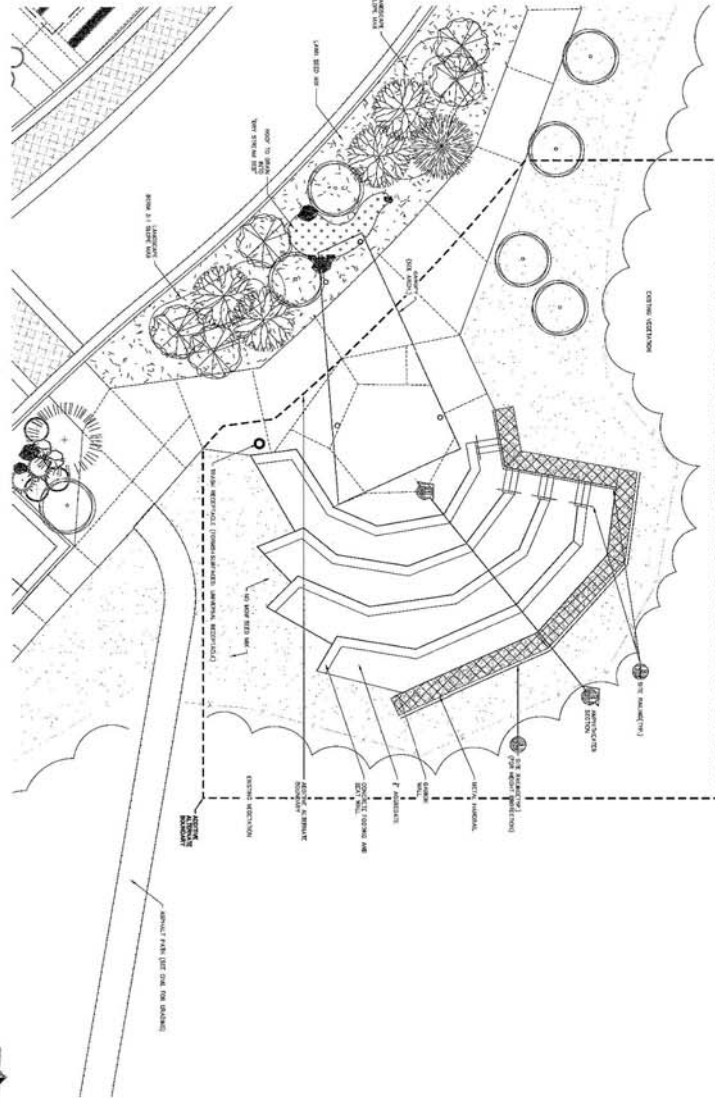
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 4041 8 ST. ANCHORAGE, AK 99503
ECLYPTIC ARCHITECTURE + INTERIORS
 30 WEEB BOCH BOULEVARD, 227E 204
 ANCHORAGE, ALASKA 99503 907.541.2543
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NOTES:
 - THIS AMPHITHEATER IS AN ADDITIVE ALTERNATE OF THE EXISTING THEATRE AND IS TO BE GRADED AS NECESSARY AND SEDED TO THE LIMITS OF APPROXIMATELY 207 LINEAR FEET OF SEAT WALL.
 - PROVIDES 138 SEATS

L1.04

AMPHITHEATER (ADDITIVE ALTERNATE)
 AUTHOR: CIA & BAC CHECKED: GS
 OWNER PROJECT #: 81381
 ISSUE DATE: 07.29.2014



City of Wasilla
 WASILLA PUBLIC LIBRARY
 DESIGN DEVELOPMENT

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 4041 S ST. ANCHORAGE, AK 99503
 EC/RYNE ANCHUTRE • INTERORS
 10 WEST BIRCH BOULEVARD, SUITE 204
 ANCHORAGE, ALASKA 99516 907.561.5545
 PROJECT NO. 13487/1348

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PLANNING COMMISSION STAFF REPORT

Resolution Serial No. 14-23: A resolution of the Wasilla Planning Commission supporting the goals and initiatives for the annual capital improvement program.

Agenda of: November 18, 2014
Originator: Archie Giddings
Public Works Director

Date: November 10, 2014

Attachments: none

SUMMARY STATEMENT:

Wasilla Municipal Code Subsection 2.60.010(B)(8) states that the Planning Commission shall investigate and prepare on an annual basis recommendations on a capital improvement program. Resolution Serial No. 14-23 identifies a list of recommendations for the upcoming year and for the five-year plan.

STAFF RECOMMENDATION: Approve Resolution Serial No. 14-23 providing recommendations to the City Council regarding the City's Capital Improvement Program in Fiscal Years 2016-2019.

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By: Planning
Public Hearing: 11/18/14
Adopted:

**WASILLA PLANNING COMMISSION
RESOLUTION SERIAL NO. 14-23**

A RESOLUTION OF THE WASILLA PLANNING COMMISSION SUPPORTING THE GOALS AND INITIATIVES FOR THE ANNUAL CAPITAL IMPROVEMENT PROGRAM.

WHEREAS, the City of Wasilla plans for many important road, water and sewer, parks and other facility improvement projects each fiscal year to promote the health, safety, economy and general welfare of this community; and

WHEREAS, the Wasilla City Council adopts a Capital Improvement Program each year as part of the budget process; and

WHEREAS, Section 2.60(A) of the Wasilla Municipal Code requires the Planning Commission to annually make recommendations to the City Council regarding a capital improvement program which will guide the development and funding of projects within the City of Wasilla.

NOW, THEREFORE, BE IT RESOLVED, that the Wasilla Planning Commission hereby recommends the following projects for FY2016 as the annual priorities:

- 1) Apron and Runway Expansion
\$5 million State Funding Request
- 2) New Wasilla Public Library Match
\$6.5 million State Funding Request
- 3) Gravel Road Paving
\$1 million State Funding Request
- 4) Railroad Transit Center Development
\$2 million State Funding Request
- 5) Lake Lucile Park Improvements
\$100,000 State Funding Request

- 6) Townsite Retoration
\$10,000 City Funds
- 7) Water and Sewer Utility
\$150,000 City Funds
- 8) Menard Sports Center
\$90,000 City Funds

BE IT FURTHER RESOLVED, that the Wasilla Planning Commission hereby recommends the following projects for FY2016 – FY2019 as the priorities for City funding:

- 1) Local Road Paving- \$100,000 annually
- 2) Public Works Maintenance Building- \$50,000 annually to complete in FY2019
- 3) Sewer Utility-
 - Septic Tank Replacement \$35,000 annually
 - Sewer Distribution Repairs \$25,000 annually
- 4) Water Utility-
 - Water Distribution Repairs \$65,000 annually
 - SCADA and GIS \$25,000 annually
- 5) Airport-
 - Match Funding for Apron Development \$125,000 annually
- 6) Menard Center-
 - Building and Grounds Improvements \$20,000 annually
- 7) Museum-
 - Improvements & Expansion \$250,000 FY16-FY19

APPROVED by the Wasilla Planning Commission on -, 2014.

APPROVED:

Glenda Ledford, Chairman Date

ATTEST:

Tina Crawford, AICP, City Planner

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**WASILLA PLANNING COMMISSION
RESOLUTION SERIAL NO. 14-24**

A RESOLUTION OF THE WASILLA CITY PLANNING COMMISSION EXPRESSING APPRECIATION TO COMMISSIONER DANIEL KELLY, JR FOR THE YEARS OF SERVICE PROVIDED TO THE CITY OF WASILLA AS A PLANNING COMMISSIONER.

WHEREAS, Commissioner Kelly has served on the Wasilla City Planning Commission from January 1992 through February 1998 and then again from January 2009 through December 2014; and

WHEREAS, Mr. Kelly has been a reliable and committed member of the Commission; and

WHEREAS, Commissioner Kelly has contributed in many ways to discussion of issues before the Planning Commission; and

WHEREAS, Mr. Kelly has demonstrated a conscientious and thorough review of commission packets, materials, and issues before the Planning Commission; and

WHEREAS, Commissioner Kelly has handled controversial issues fairly, professionally, and capably; and

WHEREAS, Mr. Kelly strove to balance the needs of individuals with the needs of the public; and

WHEREAS, Mr. Kelly has sought, through his work on the Commission, to improve the quality of life for City residents while protecting the public health, safety, and welfare; and

WHEREAS, the Commissioners and staff having served with Mr. Kelly as a fellow Commissioner and friend wish him well.

NOW THEREFORE BE IT RESOLVED that the Wasilla Planning Commission expresses its gratitude to Mr. Daniel Kelly, Jr. for having served as City Planning Commissioner.

ADOPTED by the Wasilla Planning Commission on -, 2014.

APPROVED:

Glenda Ledford, Chairman Date

ATTEST:

Tina Crawford, AICP, City Planner

16.20.040 **Downtown Overlay District.**

A. Findings.

The city council finds as a matter of public policy that the aesthetic, economic and functional qualities of the city are worthy of enhancement and preservation and are essential to the promotion of the health, prosperity, safety and general welfare of the existing and future residents of the City of Wasilla. The city council further finds that proper development of the city's downtown district is best attained by setting certain standards for the downtown overlay zone that will be to the interest, benefit and advantage of each of the owners of nonresidential and upper-story residential sites within the city. The city further finds that the establishment of such standards will assist it to develop and promote a first class city that will serve to attract and retain high quality industrial and commercial development that will provide employment growth and economic development within the city. The city council specifically finds that the downtown overlay district will promote the general health, safety and welfare of the city; improve the efficient operation of traffic around the city; promote safe and efficient movement within the overlay districts for persons using all modes of travel-motorized vehicles, bicycles and walking; create a sense of place that is aesthetically appealing and environmentally responsible; encourage innovative development projects within set standards for landscaping, community design and aesthetics and establish consistent and harmonious design standards for public improvements and private property development within the downtown overlay district so as to unify the distinctive visual quality of the properties.

B. Purpose and intent.

The purpose of the overlay district provided for herein is to provide special design requirements for those properties located within the district regardless of their zoning classification in order to maintain a consistent appearance throughout the downtown overlay district. The intent is to create an identity that will enhance its economic vitality and protect the value of properties within the corridor or district. The major goal of these overlay district design standards is to ensure that the future development of land in the downtown overlay district will conform to the design, direction and intent of the Downtown Area Plan and the Wasilla Comprehensive Plan. These standards will help to guarantee that the development occurring within the overlay district is sited and built to standards that will support this vision and foster smart, pedestrian friendly and sustainable growth. The city's hope is that through these standards, a level of quality and a distinct personality will arise, setting Wasilla out from surrounding areas and ensuring it maintains wide ranging appeal among residents, businesses and visitors alike. Therefore, the purpose and intent of this section is to establish a uniform procedure for review and approval of projects; to protect, enhance, preserve, or reuse places, sites, buildings, structures, objects, streets, signs, street furniture, sidewalks, and landscape features; provide for aesthetic, economic, and functional value of properties, neighborhoods and structures; and address issues of traffic, traffic operations and congestion, transit, bicycle and pedestrian access and safety, aesthetics of the built environment, business viability, and public safety in the downtown overlay district. The scope of this section includes standards for sidewalks;

pedestrian and site lighting; street trees; site development; design, materials, location, size and orientation of buildings and accessory structures; landscaping; screening and materials; and signs. These standards are necessary to implement the goals contained in the Downtown Area Plan and the Wasilla Comprehensive Plan. Such goals include, but are not limited to, implementing an integrated transportation and land use plan; creating a town center; applying design guidelines; improving traffic and the pedestrian environment, aesthetics of the built environment, and business viability; and promoting public safety. These adopted design standards shall apply to all properties within the downtown overlay district. Land and structures shall be used in accordance with standards of the underlying zoning classification.

In summary, the purpose of the overlay district regulations shall be to:

1. Foster civic pride;
2. Promote attention to accepted design principles;
3. Raise the level of community understanding and expectation for quality;
4. Implement the comprehensive plan;
5. Implement the Downtown Area Plan and Wasilla Comprehensive Plan;
6. Protect and enhance local visual aesthetic, character and functional qualities of the downtown overlay district;
7. Stimulate business growth;
8. Increase opportunities for federal and state grant funding;
9. Guide the spatial relationships of structures and open spaces to each other;
10. Provide guidance to professionals and owners undertaking construction;
11. Recommend appropriate design approaches; and
12. Provide an objective basis for review, assuring consistency and fairness.

C. Guidelines versus standards.

'Design standards' are specific, legally enforceable, mandatory minimum standards to which a planner, architect, landscape architect, owner, developer or builder is held in developing any land or buildings under this section. These standards ensure that the vision of the community is reflected in the future built environment. For situations in which some of the requirements cannot be met, there are specific requirements for variances. Conversely, 'design guidelines' are simple voluntary advisory documents that encourage specific types or styles of development or building construction in order to promote a vision.

D. Relationship to other code provisions.

The adoption of the downtown overlay district is an amendment to the existing zoning provisions of this title. As such, the downtown overlay district shall be shown as such on the Official Zoning Maps of Wasilla, Alaska. The design standards are not to be considered comprehensive and are meant as an overlay to the city's existing zoning and development codes. This section does not in any way repeal, replace or otherwise negate any aspects of the remainder of this section or any other development regulations. All regulations and standards

published pursuant to this section are to be in addition to, or "over and above" any other legal requirements including local, state and federal regulations. In any case where provisions of this section conflict with other sections of this Code and other city regulations, the provisions of this section shall govern or prevail to the extent of the conflict.

E. Boundaries and maps.

Downtown Overlay District (DOD). The boundaries of the Downtown Overlay District (hereinafter referred to also as "DOD") are shown and established on the official Zoning Map of the City of Wasilla. Said maps and all explanatory materials included thereon accompany and are hereby made a part of this definition of the boundaries of the DOD. The boundaries of the DOD are more particularly described as follows:

USE STREET BOUNDARY TYPE DESCRIPTION VERSUS METES & BOUNDS

F. Interpretation of boundaries.

When uncertainty exists as to the boundaries of districts of the official overlay map, the following rules shall apply:

1. Boundaries following centerlines. Boundaries indicated as approximately following the centerlines of streets or bodies of water shall be construed to follow such centerlines.
2. Boundaries following lot or tract lines. Boundaries indicated as approximately following lot lines or tract lines shall be construed as following such lines.
3. Boundaries following center lines of creeks, streams and rivers. Boundaries indicated as approximately following the centerlines of water bodies shall be construed to follow such centerlines. In the event of change in the shoreline due to natural causes, the centerline shall move accordingly.
4. Boundaries following right-of-way lines for roads. Boundaries indicated as approximately following the right-of-way lines for public roads and highways shall be construed to follow such right-of-way lines. In the event of a change in the right-of-way such as might typically occur in a road widening project, the boundary will move concurrently with the establishment of the new right-of-way line.
5. Uncertainties. Where physical or cultural features existing on the ground are at variance with those shown on the official or current zoning or district overlay map, or in case any other uncertainty exists as to the proper location of district boundaries, the planning director shall interpret the intent of the official or current zoning map as to the proper location of the district boundaries.
 - a. If and when at some future time, a parcel along a boundary is split in any way, the historical boundary description shall prevail and the new parcel shall continue to be subject to the standards of the overlay district.
 - b. Any outside parcels combined with parcels inside the district boundary shall become subject to the overlay standards, regardless of whether or not the properties are re-platted as one.

G. Permitted uses. – CONSIDER CREATING A SEPARATE USE CHART FOR DOWNTOWN OVERLAY DISTRICT AND INSERTING HERE.

All uses permitted by the underlying zoning district shall be similarly permitted in the downtown overlay district except as prohibited in the subsection below.

H. Prohibited uses.

In addition to the uses prohibited by the underlying zoning district, the following uses are prohibited in the downtown overlay district:

1. Adult businesses.
2. Automobile service (including trucks and commercial vehicles), new or used sales, or leasing (except when no vehicles are stored on site).
3. Boat service, sales, or leasing (except when no boats stored on site).
4. Campgrounds or recreation vehicle parks.
5. Car washes, detail shops, and/or service stations.
6. Cemetery.
7. Check cashing establishments.
8. Contractor's establishments (except for purely professional offices without outdoor storage of equipment or supplies).
9. Convenience stores with gasoline pumps.
10. Digital or electrical signal transmission towers over ten feet in height (all types). **Cell towers too???**
11. Drive-throughs of any kind (including banks, restaurants, drug stores, etc.)
12. Flea market.
13. Funeral homes.
14. Garden center or plant nursery (does not include retail florist).
15. Gas stations.
16. Hospitals.
17. Indoor firing range.
18. Industrial uses (including manufacturing, distribution, warehouse, lumber yards, waste facilities, recycling collection or processing facilities, scrapyards, wrecked motor vehicle compounds, machine and welding shops, storage yards, heavy machinery storage, rental, sales and/or repair). Minor manufacturing for direct retail sales in the same building for uses such as artisan or craftsman shops is permissible.
19. Kennels.
20. Landscaping or lawn business (except for professional office space only without outdoor storage of equipment or supplies).
21. Massage parlors.
22. Mini-warehouse or pay storage facilities of any kind.
23. Palm reading or fortune telling.
24. Pawn shops.

25. Single-family (detached) or duplex.

I. Definitions.

The following words, terms and phrases, when used in this section, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning. Words not defined herein shall be construed to have the meaning given in Section 16.04.070 entitled "Definitions" of Title 16 of the Wasilla Municipal Code or by Webster's Ninth New Collegiate Dictionary. The words "shall" and "must" are mandatory and the words "may" and "should" are permissive. As used in this section, the following terms shall be defined as follows:

Appearance - The outward aspect that is visible to the public.

Appropriate – Fitting to the context of a site, neighborhood or community.

Architectural concept – The basic aesthetic idea of a structure, or group of structures, including the site, signs, buildings and landscape development that produce the architectural character.

Architectural feature – A significant element of a structure or site.

Architectural merit – An acknowledgment by a recognized institution or organization of architecture or historical preservation such as the American Institute of Architects (AIA) that a building represents a high quality work or quality example of a specific architectural style.

Architraves – Molding around a door or window.

Attractive – Having qualities that attract and create interest and appeal in numerous, but not necessarily all, observers.

Building height – The distance from lowest point in the finished earthen grade around the building to the highest point on the roof or chimney.

Building setback – The distance from the right-of-way or property line to the face of the closest building or projection including roof overhangs and attached utilities. Projections shall be considered part of the building and therefore must be included in any setback determination.

Building site – Each buildable tract or parcel of real property that is contained in the downtown overlay district defined herein. For the purposes hereof, any adjoining or contiguous property conveyed to an owner of a building site shall be deemed to be part of the building site owned by said owner.

Build-to lines or zones – A line or zone along a public street to which the main face or wall of a building must directly abut or be built within. Unlike a setback which sets a minimum distance from the road, a "build-to" line ensures the building will be built closer to the road to create the

proper sense of scale for the sidewalk and streetscape within the district. The distance is measured from the back of curb and not the right-of-way.

Cohesiveness – Unity of composition among elements of a structure or among structures, and their landscape development.

Compatibility – Harmony in appearance of architectural features in the same vicinity.

Cornice – A horizontal molded projection that crowns or completes a building or wall.

Design and development standards – Those standards adopted hereby by ordinance of the Wasilla City Council from time to time and in accordance with the provisions of this section and maintained by the city clerk and made available by the city planning department.

Designation or designated – A decision by the city council wherein a property or district is declared an overlay district.

External design feature – The general arrangement of any portion of structures or landscaping that are open to the public view, including but not limited to, the type, and texture of the materials, the type of roof, windows, doors, lights, signs, and fixtures of portions.

Exterior architectural features – The architectural style, general design, and general arrangement of the exterior of a structure and site including, but not limited to, the kind or texture of the building material and the type and style of all windows, doors, signs, facade, landscaping, and other architectural fixtures, features, details, or elements relative thereto.

Fenestration – The arrangement of windows in a building.

Geographic area – The land area subject to the downtown overlay district regulations.

Harmony – A quality that represents an attractive arrangement of parts, as in an arrangement of various architectural elements.

Historical significance – The building or property that has been recognized and proven to be an integral part of a historically significant event or place by one of the following agencies: **Insert appropriate agencies.**

Improvements – Any and all building site developments, betterments, modifications and construction including, but not limited to, buildings, structures, walks, towers, tanks, patios, decks, driveways, signs, docks, walls, fences, screens, parking areas, drainage and utility conduit, excavations and grading. Routine maintenance is not an improvement.

Landscape – Plant materials, landscape beds, berms and earthen topography and other physical elements combined in relation to one another and to structures including pavement.

Landscape zones – An area a minimum of ten feet in width and located immediately adjacent to the curb and shall be continuous. This zone may be used for street trees, streetlights, benches, planters, trash receptacles, bicycle parking racks and other street furniture, pedestrian lights, landscaping or sod.

Logic of design – Widely accepted principles and criteria in the solution of design problems.

Lunette – A crescent-shaped or semicircular space, usually over a door or window that may contain another window, a sculpture or a mural.

Material change in appearance – A change in a structure or a parking lot within the downtown overlay district that exceeds ordinary maintenance or repairs (see definition) and requires either a sign permit, building permit, or land disturbance permit such as, but not limited to:

- (1) The erection, alteration, restoration, addition, or removal of any structure, signs, or parking lot;
- (2) Relocation of a sign or building;
- (3) Commencement of excavation; or
- (4) A change in the location of advertising visible from the public right-of-way.

Muntins/mullions – A strip of wood or metal separating and supporting and holding panes of glass in a window or panels set in series.

Nuisance – Any usage of a building site that:

- (1) So annoys, disturbs or affects the owners or occupants of any other building site or other property within the district or the owners or occupants of property contiguous to the district so as to obstruct or interfere with the reasonable or compatible use of such other building site or property or so as to render usage of the building site or property dangerous or damaging to persons or property thereon; or
- (2) Violates any federal, state, county or municipal law.

Occupant – An entity or person who may or may not also be an owner and is in lawful possession or has the lawful right to use any building site or portion thereof.

Owner – The record title holder, whether one or more persons or entities, of fee simple title to any building site located within the downtown overlay district and shall include the owner's heirs, executors, administrators, successors and assigns but exclude those persons holding title thereto merely as security for the performance of one or more obligations.

Ordinary maintenance or repair – The ordinary maintenance or repair of any exterior of any structure, parking lot, or sign in or on a downtown overlay district property to correct deterioration, decay or damage or to sustain the existing form and that does not involve a

material change in outer design, material, or appearance thereof. Painting, reroofing, resurfacing, replacement of a broken sign face, and other similar types of ordinary maintenance shall be deemed ordinary maintenance and repair.

Overlay district – A geographically definable area, possessing a significant concentration or linkage of sites, buildings, structures, objects or landscapes, including the adjacent area necessary for the proper treatment thereof, united by plan and/or physical development. An overlay district shall further mean an area designated by the city council as such.

Parapet – A low protective wall or railing along the edge of a raised structure such as a roof or balcony.

Project – An improvement, repair, upgrade, addition, change in appearance, modification, alteration or development on a site or building that requires some form of construction or labor to take place.

Projection – Any physical attached part of a building including, but not limited to, a roof overhang, steps, porch, stoop, elevated wood deck, raised patio or an attached utility such as an air-conditioning condenser. Note: Patios at grade may not be considered projections.

Proportion – A balanced relationship of parts of a building, signs and other structures, and landscape to each other and to the whole.

Routine maintenance – Activities such as, but not limited to, cleaning building exterior and property, replacing deteriorated materials that compose less than 25 percent of the building's exterior, and/or painting.

Scale – The proportional relationships of the size of parts to one another and to humans. Also a drawing's relative size as referenced against a known dimensional standard.

Sidewalk clear zones – A continuous area located immediately contiguous to the landscape zone.

Street hardware – Objects other than buildings that are part of the streetscape. Examples include but are not limited to, street light fixtures, utility poles, traffic lights and their fixtures, benches, litter containers, planting containers, and fire hydrants.

Streetscape – The appearance and organization of buildings, paving, plantings, street hardware and miscellaneous structures along a street.

Transom window/panel – A small window or panel above a door that is usually hinged to a horizontal crosspiece over the door.

J. Reviewing Authority.

The city planner is responsible for reviewing applications for rezoning, land disturbance, building, use permits, sign permits, and any other zoning permits required in the downtown overlay district for compliance with the adopted development standards as outlined below. The city planner shall also be responsible for reviewing any public or private plans affecting the overlay district as directed by the mayor and city council.

1. The city planner shall review applications for sign permits, land disturbance permits, building permits, fence permits, rezoning, conditional use, and land use permits, variances, and modifications that propose changes to standards contained in this section. These applications shall be evaluated on the applicable standards contained in this section.
2. The city planner may recommend that an applicant apply for variances regarding standards contained in this section to be considered under the procedures set forth in the subsection M herein.
3. The City Planner's recommendations shall be forwarded to the Wasilla Planning Commission for consideration.
4. The City Planner shall issue, issue with modifications, or withhold a permit based on a project's conformance with the standards set out in this section, as represented by the subject to final action by the planning commission and/or city council on variances, rezoning, and/or modifications to conditions.

K. Affirmations and applicability.

1. ***Affirmation of existing building codes and zoning.*** Nothing in this section shall be construed to exempt property and business owners from complying with other existing city regulations whenever this section does not apply. If provisions in the downtown overlay district conflict with other provisions of Title 16 of the Wasilla Municipal Code, the stricter provisions of the downtown overlay district shall apply.
2. ***Applicability.*** In order to assure the orderly growth and compatible development of the City of Wasilla, the mayor and city council have adopted concurrently herewith by ordinance thereon downtown overlay district design standards as a mandatory land use control for all properties and structures within the downtown overlay district. These standards supplement and are adjunct to the Downtown Area Plan and the Wasilla Comprehensive Plan concerning zoning, signs, and subdivisions. When conflicts occur between requirements of these various regulatory documents, the most strenuous standard applies, as interpreted by the City Planner. Design review is required for all new construction within the downtown overlay district. Plan submittal is required for buildings built on vacant lots or for the replacement of demolished buildings.
3. ***Existing buildings.*** If an existing building is significantly renovated or replaced with a new building, the new structure or renovation shall comply with the standards for

renovated buildings. Renovations, which include new construction in the overlay districts, must submit the appropriate application to the city planner for review.

4. **Exemptions and thresholds for review.** Exempted projects include the following:
 - a. Interior alterations to interior or exterior features which are not visible from an exterior public space or street;
 - b. Routine maintenance projects; or
 - c. Replacement of dead, damaged or stolen landscaping, site furniture, paving materials or lighting that was previously approved.
5. **Thresholds for review by the City Planner.** If the project falls in any one of the following categories, it requires design review by the city planner:
 - a. *Major renovation.* Includes building addition, canopy or replacement of 25 percent or more of a building. The renovation or replacement of any complete (more than 75 percent) side of a building which fronts a street or public space regardless of the percentage of the total building shall also require review.
 - b. *Landscaping.* A landscaping plan is required to screen parking facilities and meet landscape requirements. Any project involving replacing or installing of plant material other than routine maintenance and damage replacement will require review.
 - c. *Parking.* A plan for meeting the parking requirements associated with new building construction is subject to design review. Any proposed additional parking for an existing building is also subject to review.
 - d. *Demolition.* Design review is required if a building predates [redacted] or has historical significance. Request for demolition permit must be submitted to the city planner accompanied by a plan for a replacement building.

L. **Review process and application procedure.**

1. **Approval of plans required.** No improvements shall be constructed, erected, placed, altered, maintained or permitted to remain on any building site by any owner or occupant until final plans and specifications therefore shall have been submitted to and approved in writing by the city planner. Such final plans and specifications shall be submitted in duplicate over the authorized signature of the owner or occupant, or both, of the building site or the authorized agent thereof. The plans and specifications shall be in such form and shall contain such information as may be reasonably required by the city planner.
2. **Improvements.** All improvements must comply with the then-current district design standards established for the district.
3. **Pre-application meeting.** Prior to application, the property owner, developer or representative shall schedule a pre-application meeting with the city planning and development department. The design review is a one-time review process of conceptual design drawings. However, an applicant may return voluntarily for design critiques as often as necessary. The purpose of the review is to identify design issues and provide recommendations and advice to the applicant on the design proposal relative to the district design standards. Conceptual drawings may take the form of

dimensioned sketches or may be more refined. However, the graphics should provide sufficient information so the city planner may determine if there are obvious conflicts with applicable codes and regulations.

4. ***Submittals—Applications.***

- a. All application submittals are subject to the application requirements in Chapter 16.12 and Chapter 16.16 of this title.
- b. Applications for improvements to developed sites and/or existing structures shall meet the standards contained in this section for installation of sidewalks, pedestrian lighting and street trees, when the proposed interior and/or exterior renovation of a building and/or site re-development improvements have a declared value equal to or greater than 40 percent (less??) of the property's most recent tax assessment.
 - i. Estimated costs of, including but not limited to, demolition, construction, installation and fabrication, including labor and materials, for both interior and exterior improvements, shall be submitted at the time a building and/or land disturbance permit application is filed.
 - ii. The declared value of improvements under multiple permits shall be cumulative and shall include the value of improvements under permits issued for the previous seven years from the date the most recent application is filed.

5. ***Basis for approval.*** Approval shall be based, among other things, upon adequacy of site dimensions, adequacy of structural design, conformity with the district design standards, harmony of external design with neighboring structures, effect of location and use of proposed improvements upon neighboring lots, proper facing of main elevation with respect to nearby streets, adequacy of screening of mechanical installations and conformity of the plans and specifications to the purpose and intent of this section. No plans will be approved that do not provide for the underground installation of power, electrical, telephone and other utility lines and the complete visual and landscaped screening of all transformer and terminal equipment. Except as otherwise provided in this section, the city planner shall have the right to disapprove any plans and specifications submitted hereunder on any reasonable grounds including, but not limited to, the following:

- a. Failure to comply with any of the restrictions set forth in this section;
- b. Failure to include information in such plans and specifications as may have been reasonably requested by the city planner;
- c. Objection to the exterior design or the appearance of materials employed in any proposed structure;
- d. Objection on the ground of incompatibility of any proposed structure or use with existing structures or uses upon other building sites or other property in the vicinity of the subject property;
- e. Objection to the location of any proposed structure with reference to other building sites or other property in the vicinity;

- f. Objection to the color scheme, finish, proportions, style of architecture, height, bulk or appropriateness of any structure;
 - g. Objection to the number or size of parking spaces or to the design of the parking areas; or
 - h. Any other matter which, in the judgment of the city planner, would render the proposed improvements or use inharmonious with the design standards which the city may promulgate from time to time.
6. **Approval.** The city planner may approve plans and specifications as submitted, as altered or as amended or it may grant its approval to the same, subject to specific conditions and permit(s) issuance. Upon approval or conditional approval by the city planner of any plans and specifications, together with any conditions, one copy thereof shall be retained in the city and a copy of such approval together with any conditions shall be returned to the applicant submitting the same. Conceptual site plans and preliminary concepts may be considered by the city planner prior to completion of the final design.
7. **Commencement of work.** Upon receipt of approval from the city planner pursuant to subsection (6) hereof, the owner or occupant, or both, to whom the same is given shall, as soon as practicable, satisfy any and all conditions of such approval and shall diligently proceed with the commencement and completion of all approved excavation, construction, refinishing and alterations. In all cases, work shall commence within one year from the date the owner receives approval and, if work is not so commenced, approval shall be deemed revoked unless the city planner, pursuant to written request made and received prior to the expiration of said one-year period, extends the period of time within which work must be commenced.
8. **Completion of work.** Any improvement commenced pursuant hereto shall be diligently completed in a workmanlike manner and shall be completed within 18 months from the construction starting date. In the event of strike, fire, national emergency, natural disaster or other supervening force beyond the control of owner or occupant, the city planner may, upon written request made and received prior to the expiration of the period, extend the period of time within which work must be completed. Failure to comply with this section shall constitute a violation of this section and subject to the penalties set forth in subsection R of this section.
9. **City not liable.** The city shall not be liable for any damage, loss or prejudice suffered or claimed by any person (including environmental claims) on account of:
- a. The approval or disapproval of any plans, drawings and specifications, whether or not in any way defective;
 - b. The construction of any improvement or performance of any work, whether or not pursuant to approved plans, drawings and specifications;
 - c. The inadequacy of any approved structure; or
 - d. The development of any lot within the district.

10. **General condition of building sites.** The owner or occupant of any building site shall at all times keep it and the buildings, improvements and appurtenances thereon in a safe, clean and wholesome condition and comply, at its own expense, with all applicable governmental, health, fire and safety ordinances, regulations, requirements and directives; and the owner or occupant shall at regular and frequent intervals remove at its own expense any rubbish of any character whatsoever which may accumulate upon such building site. Each building site and all improvements thereon shall at all times be constructed, kept and maintained by the owner or occupant of the building site in first-class condition, repair and appearance. All repairs, alterations, replacements or additions to such improvements shall be at least equal to the original work quality and class. The necessity and adequacy of such repairs shall be measured by the same standard as set forth herein for the original construction and maintenance. Landscaping shall be maintained in a well-kept condition. For specific district requirements, see the applicable design standards adopted for each district.
11. **Grounds.** The grounds of each building site (whether vacant or occupied) shall be maintained in a neat and attractive condition. Upon the failure of any owner and/or occupant to maintain the grounds of a building site (whether vacant or occupied) in a neat and attractive condition, the city may (but shall be under no obligation to) after seven days' prior written notice to such owner and occupant (if other than the owner) enter upon the building site and have the grass, weeds or other vegetation cut or trimmed when, and as often as, the same is reasonably necessary in its judgment and may have dead trees, shrubs and/or other plants and trash removed therefrom and, if appropriate, replaced. The owner of the building site (and when occupied by a non-owner, the occupant) shall be liable to the city for the cost of any such cutting, clearing, maintenance or removal determined by the city to be necessary and such amount shall also constitute a permanent charge and lien upon such building site enforceable by the city through any appropriate proceeding at law or in equity. For specific district requirements, see the applicable design standards adopted for each district.
12. **Improvements.** Improvements to a building site (whether occupied or vacant) including, without limitation, buildings, walls, walkways, fences, screens, driveways, parking areas and/or signs shall be cared for and properly maintained by the owner or occupant in a neat and attractive condition. Upon the failure of any owner or occupant to repair and maintain improvements to a building site to the reasonable satisfaction of the city, the city or its authorized representatives may in its reasonable discretion (but without obligation to do so) after seven days' written notice to the owner and to the occupant (if other than the owner) enter upon such building site and perform the necessary repair or maintenance when and as often as the same is necessary in its reasonable judgment. The owner of the building site (and when occupied by a non-owner, the occupant) shall be personally liable to the city for the cost of such necessary repair and/or maintenance as was incurred by the city and such

amounts shall also constitute a permanent charge and lien upon such building site enforceable by the city by any appropriate proceeding at law or in equity.

13. **Site inspection final completion.** Prior to the city's issuance of a certificate of completion (COC) for a project or development falling under the purview of this section, the owner or developer (or agent) shall notify the city of the project's substantial completion and the city staff shall visit the site and inspect the work performed. If the work is found to have been completed in compliance with the plans and documents and all other city requirements have been met, the city will issue a COC and deliver it to the owner, developer or agent.

M. Variance procedure.

1. **Design exceptions.** The planning commission may grant design exceptions if a proposed project is a unique and exceptional design concept that enhances the downtown overlay district or, if by reason of unusual circumstances, the strict application of any provision of this section would result in exceptional practical difficulty or undue hardship due to the circumstances unique to the particular property in question. The city planner, in passing upon applications, shall consider and issue exceptions to said provisions so as to relieve such difficulty or hardship provided such exceptions shall remain in harmony with the general purpose and intent of said provisions, so that the integrity or character of the property shall be conserved and substantial justice done. A hardship shall not qualify as an undue hardship if it is of a person's own making. In granting such exceptions, the planning commission may impose such reasonable and additional stipulations and conditions as will, in its judgment, best fulfill the purpose of this section. Variances may be issued for development necessary for the conduct of a functionally dependent use, provided the criteria of this section are met and no reasonable alternative exists. In reviewing such requests, the planning commission shall consider all technical evaluations, relevant factors and all standards specified in this and other sections of this section. A variance shall be issued only when there is:
 - a. A finding of good and sufficient cause;
 - b. A determination that failure to grant the variance would result in exceptional hardship; and
 - c. A determination that the granting of a variance will not result in threats to public safety, public expense or create a nuisance.
2. **Alternative compliance.** In the event an exception or variance is sought for any provisions in this section, the following alternatives are often considered as offsets that may be taken into consideration.
 - a. *Fences and walls in lieu of landscaping.* To screen parking when there is not enough room to provide an effective landscape screen, install fences and/or walls.
 - b. *Enhanced architectural details.* Offering to provide additional details, specifically period and style appropriate appointments and materials not typically used due to high cost.

- c. *Adding windows.* Providing more and higher quality architecturally appropriate windows to offset other design deficiency.
- d. *Public seating spaces:* Provision of quality public seating meeting the standards in this section to offset other design deficiency. Examples include benches in front of shops and businesses.
- e. *Decorative pavers.* Installing quality pavement designs, especially in areas highly visible to the public such as driveway aprons and building entrances along main streets to offset other design deficiency.
- f. *Green infrastructure.* Providing additional or alternative storm water design solutions such as bio swales, rain gardens and cisterns to offset other design deficiency.
- g. *Green building technologies.* Use of a new, innovative or non-traditional energy efficient building technology to offset other design deficiency. Use of solar panels and insulated prefabricated wall panels would be examples to consider.

N. Appeals procedure.

If the city planner denies an application, the planning commission shall hear and decide requests for appeals or variance from the requirements of this section, subject to the provisions in Chapter 16.34 of this title. The planning commission shall also hear and decide appeals when it is alleged that an error in any requirement, decision or determination is made by the city planner in the enforcement or administration of this section. At its discretion, the planning commission may accept this appeal and schedule a public hearing to hear public arguments on the matter. Any person aggrieved by the decision of the planning commission may appeal such decision subject to the provisions in Chapter 16.36 of this title.

O. Interpretation and enforcement.

1. **Interpretation.** This section shall be governed by Chapter 16.08 of this title.
2. **Enforcement.** This section shall be governed by Chapter 16.08 of this title. Design standards have been established for the downtown overlay district by ordinance as general requirements and shall apply to all improvements within the downtown overlay district, the boundaries of which are established under subsection F above. All applications for land disturbance permits shall comply with the standards contained in the section, unless a variance had been granted for relief from the standards contained herein; all rezoning, modification, and use permit applications shall comply with the standards contained in this section unless a variance has been approved in the case of modifications and use permits only or a concurrent variance is being sought for relief from the standards contained herein.

P. Actions or inactions subject to enforcement.

Any action or inaction that violates the provisions of this section or the downtown overlay district design standards may be subject to the enforcement actions outlined in subsection O. Any such action or inaction that is continuous with respect to time is deemed to be a public nuisance and may be abated by injunctive or other equitable relief. The imposition of any of the penalties described in subsection O shall not prevent such equitable relief.

Q. Notice of violation.

1. The notice of violation shall contain:
 - a. The name and address of the owner or the applicant or the responsible person;
 - b. The address or other description of the site upon which the violation is occurring;
 - c. A statement specifying the nature of the violation;
 - d. A description of the remedial measures necessary to bring the action or inaction into compliance with this section and the date for the completion of such remedial action;
 - e. A statement of the penalty or penalties that may be assessed against the person to whom the notice of violation is directed; and
 - f. A statement that the determination of violation may be appealed to the city by filing a written notice of appeal within 30 days after the notice of violation.

R. Penalties.

In the event the remedial measures described in the notice of violation have not been completed by the date set forth for such completion in the notice of violation, any one or more of the following actions or penalties may be taken or assessed against the person to whom the notice of violation was directed. Before taking any of the following actions or imposing any of the following penalties, the city planner shall first notify the applicant or other responsible person in writing of its intended action and shall provide a reasonable opportunity, of not less

than 10 days to cure such violation (except that in the event the violation constitutes an immediate danger to public health or public safety, 24 hours' notice shall be sufficient.) In the event the applicant or other responsible person fails to cure such violation after such notice and cure period, the city may take any one or more of the following actions or impose any one or more of the following penalties:

1. **Stop work order.** The city may issue a stop work order that shall be served on the applicant or other responsible person. The stop work order shall remain in effect until the applicant or other responsible person has taken the remedial measures set forth in the notice of violation or has otherwise cured the violation described therein, provided the stop work order may be withdrawn or modified to enable the applicant or other responsible person to take the necessary remedial measures to cure such violation or violations.
2. **Suspension, revocation or modification of permit.** The city may suspend, revoke or modify the permit authorizing the land development project. A suspended, revoked or modified permit may be reinstated after the applicant or other responsible person has taken the remedial measures set forth in the notice of violation or has otherwise cured the violations described therein, provided such permit may be reinstated (upon such conditions as the city may deem necessary) to enable the applicant or other responsible person to take the necessary remedial measures to cure such violations.
3. **Civil penalties.** In the event the applicant or other responsible person fails to take the remedial measures set forth in the notice of violation or otherwise fails to cure the violations described therein within 10 days or such greater period as the city shall deem appropriate (except that in the event the violation constitutes an immediate danger to public health or public safety, 24 hours' notice shall be sufficient) after the city has taken one or more of the actions described in this section, the city may impose penalties as provided in Chapter 1.20.

S. Standards applicable to development and maintenance.

All matters included in the general design standards shall apply in the development and maintenance of all building sites within the downtown overlay district designated therein. The design standards must be adopted by the Wasilla City Council by ordinance thereon after public hearing.

T. Submission of plans and specifications.

Prior to the commencement of construction of any improvements on a building site, two or more (as required) sets of plans along with the appropriate application form and fees shall be submitted to the City of Wasilla Planning Department. Plans formally submitted to the city planner for final review shall be finished in all respects and shall conform to the design and development standards for the downtown overlay district as well as all zoning requirements of the city. Plans shall be reviewed by the city planner and comments thereon returned to the owner or its designated agent.

U. Required information.

In addition to the site plan requirements in Chapter 16.08, all plans and specifications shall also include, at a minimum, the following:

1. A topographical map showing contour grades (with two-foot contour intervals) and showing the location of all proposed improvements. Existing and finished grades shall be shown at lot corners and at corners of proposed improvements. Lot drainage provisions shall be included as well as cut-and-fill details if any appreciable change in the lot contours is contemplated.
2. Exterior elevations of all buildings, structures, and appurtenances.
3. Exterior materials, colors, textures, and shapes.
4. Landscaping plan including construction details for walkways, fences and walls, elevation changes, watering systems, vegetation, and ground cover.
5. Screening including size, location, method, and description of materials and finish.
6. Proposed utilities and connections including routing of electrical and telephone cables.
7. Exterior illumination including location.
8. Signs including location, size, shape, color, materials and finish.
9. Mailbox design including location, size, shape, color, materials and finish.
10. Trash container storage locations and related screening with materials and finish.
11. Sidewalk or access way layout and material composition.

V. Adoption and Maintenance of Downtown Overlay District Design Standards.

Design standards for the downtown overlay district established herein shall be effective upon adoption by ordinance of the city council after public hearing and comment and shall be maintained at city hall by the city clerk and made available to the public through the planning department upon request.

2015

Downtown Overlay District
Design Standards

This document was formally adopted on [REDACTED].

Contact the City of Wasilla Planning Department for more information or to determine if there are additional updates available or pending. The version of this document is listed in the upper right hand corner by date.

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Downtown Overlay District Design Standards – Including All Sub-Districts

The major goal of these design standards is to ensure that the future development of land in the Downtown Overlay District will conform to the design, direction and intent of the Downtown and Commercial Center Master Plan. These standards will help to guarantee that the developments occurring within the district are sited and built to standards that will support this vision and foster smart, pedestrian friendly and sustainable growth. The City's hope is that through these standards, a level of quality and a distinct personality will arise, setting Wasilla out from surrounding areas and ensuring it maintains wide ranging appeal among residents, businesses and visitors alike.

Therefore, the purpose and intent of this document is to protect, enhance, preserve or reuse places, sites, buildings, structures, objects, streets, signs, street furniture, sidewalks, neighborhoods, and landscape features; provide for aesthetic, economic, and functional value of properties, neighborhoods and structures; and address issues of traffic, traffic operations and congestion, transit, bicycle and pedestrian access and safety, aesthetics of the built environment, business viability, neighborhood preservation and public safety in the Wasilla Downtown Overlay District (herein referred to as the DOD). The scope of this Article includes standards for sidewalks; pedestrian and site lighting; street trees; site development; design, materials, location, size and orientation of buildings and accessory structures; landscaping; screening and materials; and signs. These standards are necessary to implement the goals contained in the Wasilla Comprehensive Plan and the Wasilla Downtown Area Plan. Such goals include, but are not limited to, implementing an integrated transportation and land use plan; creating a town center; applying design guidelines; improving traffic and the pedestrian environment, aesthetics of the built environment, and business viability; preserving neighborhoods and promoting public safety. The Wasilla Downtown Overlay District Design Standards apply to all properties in the district. Land and structures shall be used in accordance with standards of the underlying zoning classification.

This document contains design standards that apply to the development of public and private areas and for the creation of systems and amenities that are beneficial to the public, in the Downtown Overlay District and all of its sub-districts. The design standards contained in this article are mandatory. **The instructions for application, enforcement, and interpretation of these standards are further discussed in Title 16 of the City of Wasilla Municipal Code.** Title 16 contains detailed definitions of as well as the description of the downtown overlay district and its boundaries. Within the downtown overlay district, the regulations set forth in this article shall be the minimum requirements and shall apply uniformly to each class or kind of building, structure or land.

1 Corridor Standards (Roads and Streets)

Each existing and proposed road in the Downtown Overlay District is designated as one of six (6) corridor types as follows: Avenues, Parkways, Boulevards, Main Streets, Urban or Local Streets. Corridors are designated in Table 1 below.

The design standards related to the corridor designations have been established for each street type, and shall apply to all streets and street-side improvements contained in the Downtown Overlay District. Streets, sidewalks, parking, bicycle lanes, medians, and planting strips shall be installed consistent with the following standards and in Table 2 below:

Note: Standards for the number of travel lanes, travel lane width, shoulder width, bike lanes, allowance of on street parking, on street parking width, and the allowance of medians and access may be varied as required by the either the Alaska Department of Transportation or the Wasilla Public Works Director if it is determined that the standards provided here in do not meet future transportation needs and/or inhibit public safety.

A. Corridor Classifications

The following is a list containing the descriptions of the corridor typology to which all new and existing roads must be applied.

(1) Avenues

An Avenue is the largest and most visible street system in the Downtown Overlay District and is typically bordered by high density retail and commercial uses with many access points. Typically they have three (3) or more travel lanes in each direction. Avenues are the gateway streets of the City making them very important in establishing a sense of place.

(2) Parkways

Parkways are typically considered major thoroughfares for the City but have greater access control than avenues. They typically have two (2) to three (3) lanes in each direction. They typically will have wider medians with few breaks and include street trees and landscaping in the right-of-way and in the medians.

(3) Boulevards

Boulevards are the next step down in size and traffic volume but are still considered significant collector roads and will typically have one (1) lane in each direction but still have landscaped medians and right-of-way.

(4) Main Streets

Main streets are the main urban streets in the core areas of Downtown Wasilla and also the most decorative. They often will allow for and have on-street parking and adjacent sidewalks with street trees in planters and a street furniture zone. They may be one (1) or two (2) lanes in each direction and may or may not have medians.

(5) Urban Streets

These are smaller urban roads located in the Downtown Overlay District. They are typically single lanes in each direction or one (1) to two (2) lanes in one direction only. They typically have sidewalks directly adjacent to the back of curb and little or no planting strips other than street trees. They also feature a street furnishings zone.

(6) Alleys

These are the smallest of the street classifications. They may provide access to a limited

parking areas for commercial buildings. They are usually not striped and composed of one large lane.

(7) Street Corridor Designation Key – NEED TO ASSIGN DOWNTOWN STREETS TO PROPER DESIGNATIONS

Downtown Commercial Center Overlay District Street Classifications		
AVENUES		
Street	From	To
Parkways		
Street	From	To
Boulevards		
Street	From	To
Main Streets		
Street	From	To
Urban Streets		
Street	From	To
Local Streets		
Street	From	To

Table 1 Street Corridor Designations

B. Corridor Design Requirements

The provisions of the City of Wasilla’s Municipal Code shall apply as minimum standards for all streets in the Downtown Overlay District except as noted in the following sections:

(1) Alleys

Alleys are encouraged and may serve both residential and commercial access and often are used for utilities corridors. They may not be designed to carrying two-way traffic at the same time. It is anticipated that not more than one vehicle would use the same alley at the same time.

- (a)** Commercial alleys are restricted to one way traffic or to service and deliveries only.
- (b)** An alley may not serve a parking lot unless it is one directional.
- (c)** The entire alley should be visible from the entrance point. In situations where visibility cannot be provided, a section of the alley should be provided where passing of two vehicles would be possible.
- (d)** All curves, turnouts, and radii for any edge of an alley shall conform to the minimum turning radii for a commercial garbage truck or a 36 foot triple axel vehicle. The minimum outside turning radii is 46.5 feet.
- (e)** Garages, carports, loading docks, waste containment areas facing the alley must be spaced sufficiently far enough from the alley to provide access and parking. No structures face which has doors or openings requiring vehicular access shall be placed closer than 26’ from any alley’s edge of pavement.

(2) Street Trees

Street Trees are required along all roads in the Downtown Overlay District and shall be appropriately selected for urban locations and proximity to vehicular traffic. Care must be taken to select healthy, long lived and low maintenance species that are not known to be readily affected by ice and wind. Also trees that generally drop heavy crops of seeds, nuts or fruit are not suitable urban trees. See the landscape section of this document for additional requirements for street trees. The following are the approved species of trees for the major roads of the Downtown Overlay District:

Landscape and Street Tree Standards						
DESIGN ELEMENT	Species	Min Height	Min Caliper	Spacing	Planting Location of Street Trees	Min Planting Area
AVENUES		Twelve (14) feet	Four (4) inches	50' max	Planting Strip	200 sf
PARKWAYS		Twelve (14) feet	Four (4) inches	50' max	Planting Strip	200 sf
BOULEVARDS		Twelve (14) feet	Four (4) inches	50' max	Planting Strip	200 sf
MAIN STREETS		Twelve (14) feet	Three (3) inches	40' max	Furniture Zone	Four (4) by eight (8) feet (thirty two (32) square feet)
URBAN STREETS	See approved street trees list	Twelve (14) feet	Two and one half (2.5) inches	40' max	Furniture Zone	Four (4) by eight (8) feet (thirty two (32) square feet)
LOCAL STREETS	See approved street trees list	Twelve (14) feet	Two and one half (2.5) inches	50' max	Planting Strip	Five (5) by eight (8) feet (forty (40) square feet)

Table 3 Street Tree Requirements by Corridor Type

C. Typical Corridor Sections

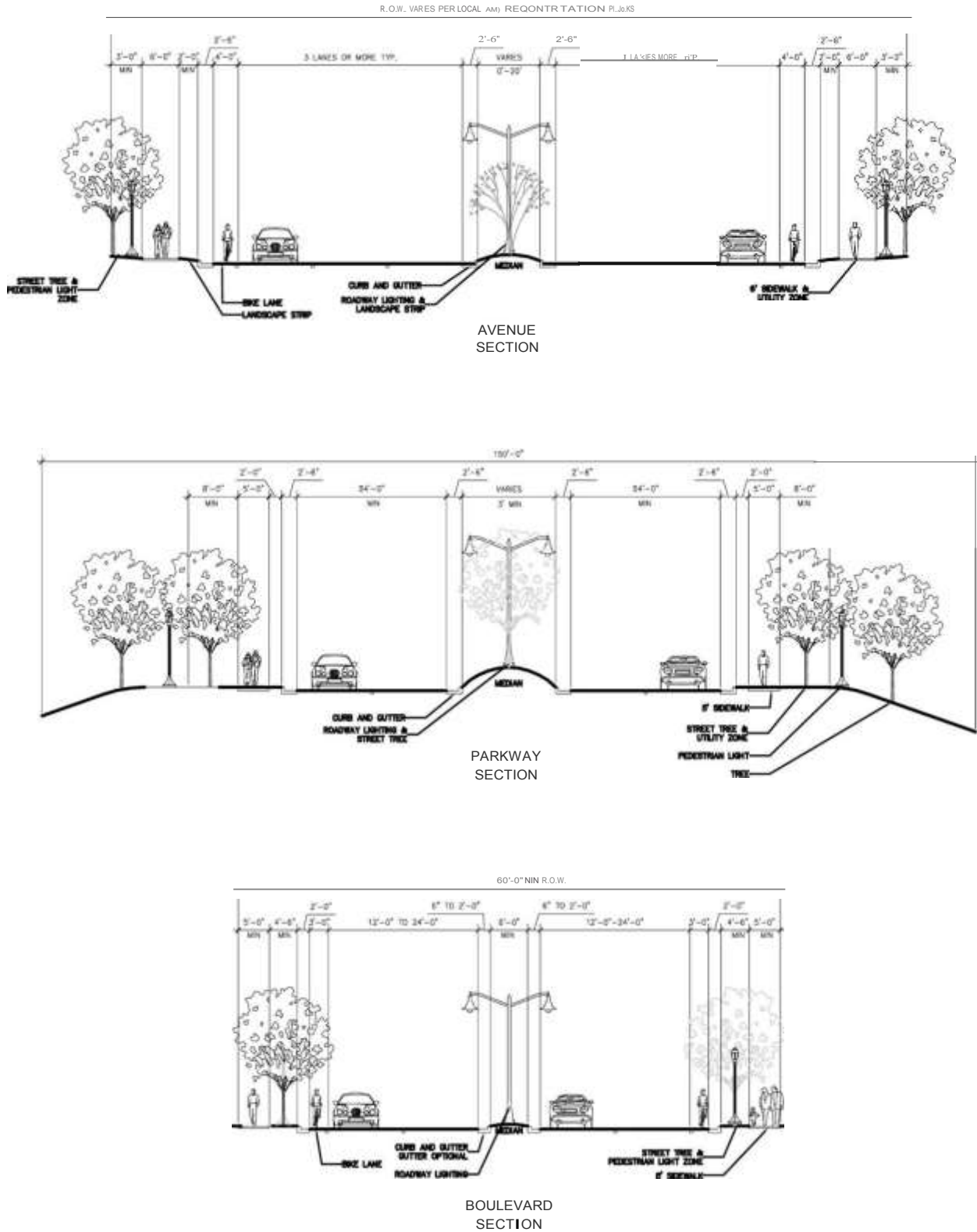


Figure 2 Typical Corridor Sections

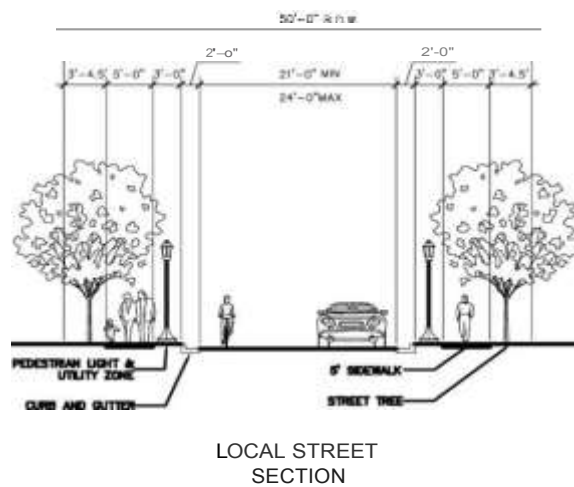
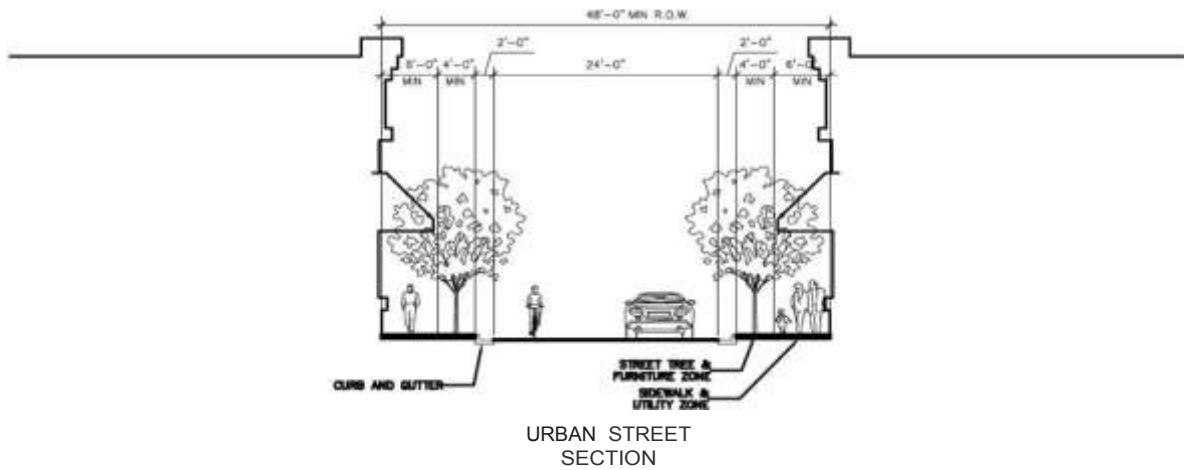
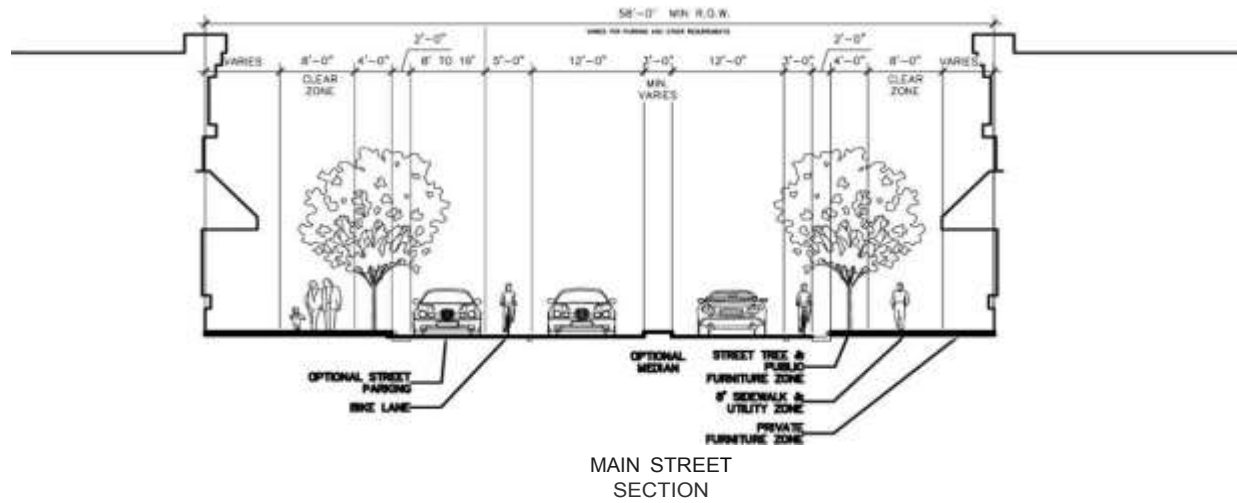


Figure 3 Typical Corridor Sections

2 Site Design Standards

Site design standards govern all of the major site elements from the face of the building to the back of curb. More particularly, they include the layout of the entrances, parking areas, drive isles, pedestrian connections, building locations and footprints, loading zones, detention areas, etc.

A. Lots, Access, Setbacks and Building Orientation

- (1) Lots - All new lots created in the Downtown Overlay District shall meet the minimum requirements in Title 16 of the City of Wasilla Municipal Code.
- (2) Access Management - Access management is the practice of properly locating and designing access to adjoining properties to reduce conflicts and improve safety while maintaining reasonable property access and traffic flow on the public street system.
 - (a) All parcels fronting Avenues, Parkways, Boulevards or Main Streets with parking lots shall be required to provide inter-parcel access to any adjacent property which also fronts the same street. The location, quantity, and size of the access are subject to the approval of the City Public Works Director and the City Planner and must meet the requirements in this section.
 - (b) Driveways and Curb Cuts unless otherwise stated shall meet the following minimum standards:
 - (i) Driveways and curb cuts are to be limited in both number and size to minimize conflicts between pedestrians and vehicles. Site plans shall separate curb-cuts to the greatest extent possible and must be approved by the Public Works Director.
 - (ii) Driveway curb cuts shall not be permitted on any street that functions as an arterial street or collector street when access may be provided from a side or rear street located immediately adjacent to a contiguous property.
 - (iii) No more than one curb cut shall be permitted for each development (except as noted below), provided that properties with more than one street frontage may have one curb cut located on each street. For the purposes of this section, two curb cuts serving two one-way driveways shall only be counted as one curb cut provided that each curb cut does not exceed 15 feet in width.
 - (iv) Developments on properties with a single street frontage greater than 400 feet shall be permitted two curb cuts along one street frontage.
 - (v) All curb cut locations are subject to intersection setbacks, deceleration lanes, sight distance and or other traffic engineering requirements as dictated by the AKDOT&PF or City Public Works Director.
 - (vi) Driveway curb cut widths shall be 24 feet for two-way entrances and 12 feet for one-way entrances, unless otherwise permitted by the City Public Works Director.
 - (vii) The City Public Works Director may authorize a common or joint driveway. A letter of agreement is required from both property owners stating their understanding and agreement with the proposed common driveway curb-cut. The letter of agreement must be recorded as a perpetual easement on the property.
 - (viii) All sidewalk-paving materials shall be continued across any intervening driveway at the same prevailing grade and cross slope as on the adjacent sidewalk clear zone (not to exceed 2%). This means that in circumstances

where the property is below the street grade, the curb-cut may have to rise to the sidewalk grade before dropping to the site elevation. Exceptions may be made by the City Public Works Director in circumstances where grades are extreme.

(3) Setbacks and Build-To Lines/Zones

All yards or frontages adjacent to a public street shall have setbacks and or “build-to zones”. “Build-to zones” require a building face to be constructed in a specified zone to ensure the appropriate scale is achieved for the streetscape.

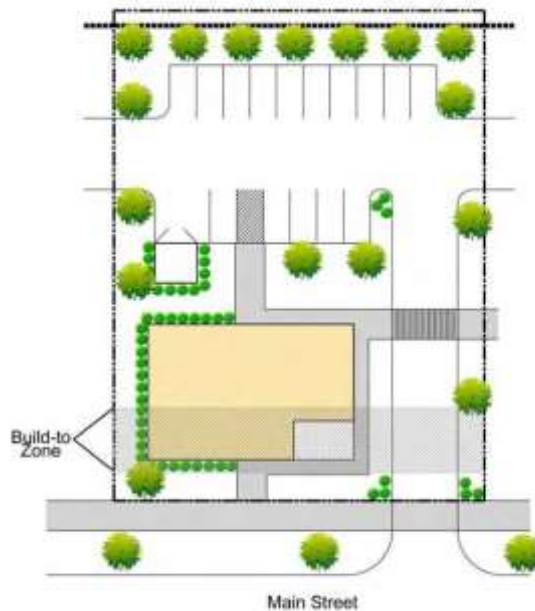


Figure 4 “Build to” Illustration

Except as noted below, the setbacks required for zoning shall apply.

- (a)** On Main Street Corridors only, the Build-To Zone” shall be from a minimum of 12’ to a maximum of 24’.
- (b)** Any building along a Main Street Corridor set back more than 15’ shall only do so in order to accommodate outdoor space needed for plazas, dining, art, fountains, bicycle parking, gathering and seating places, gazebos, or similar uses. Such improvements shall be documented on the final site plan.
- (c)** On Urban Street Corridors only, where there is not a parking lot or significant planned greenspace between the building and street, the Build-To Zone shall be a minimum of 10’ and a maximum of 20’.
- (d)** Minimum side yards: Except as noted above in (b), all side yard setbacks in these two sub-districts only, may be reduced to zero (0) feet as long as building code required fire walls and or minimum building separation is maintained.

(4) Orientation

- (a)** New buildings located on corner lots shall be placed adjacent to sidewalks on the two sides of the building that face the public right-of-way following the “build-to zone” established in (3) above.
- (b)** In the event that a property shares a property line with either a Main Street or

Parkway Corridor, the primary face of a building shall front Main Street first and the Parkway second with the exception that buildings fronting a major public greenspace or park may orient the primary building face towards that greenspace. Administrative exceptions to this requirement may be granted by the Wasilla Planning Commission.

- (c) All buildings shall be placed in the most efficient position to screen large parking lots from public right-of-way.

B. Site Distance

No building, sign, structure or object, tree or other landscape feature shall be installed, built, or allowed to grow which will impede visibility at street corners, driveways and/or intersections, pursuant to AASHTO standards for minimum clear sight triangles.

C. Street Furnishings Zone

- (1) Clear Zone: Immediately adjacent to the shared landscape strip and street furnishings zone, there shall be a clear zone of 6' minimum for sidewalks where there shall be no permanent structures, including but not limited to, utility poles, mail boxes, newspaper vending boxes, sign structures, projections below 8', and benches.

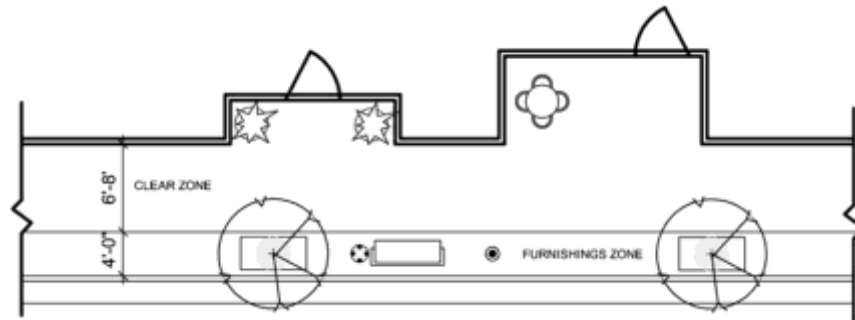


Figure 5 Clear Zone Diagram

- (2) Furniture Zone: The remaining portion of the sidewalk, outside the clear zone, may be used for the following purposes, including, but not limited to street trees, waste receptacles, bicycle racks, benches, and other seating elements that do not obstruct pedestrian access or motorist visibility.



Figure 6 Furniture Zone Example

D. Outdoor Dining

Small areas for patio seating (tables and chairs) placed on the public sidewalk, immediately adjacent to an indoor café or restaurant shall be permitted under the following conditions:

- (1) All furnishings must be kept outside the minimum clear zone for the sidewalk.
- (2) Any fencing used to separate the dining area shall be 34-36" in height and made of metal and painted appropriately to complement the architecture and adjacent furnishings. (Black is preferred.)
- (3) No waiting areas for patrons or customers shall be established where they shall block the access to adjacent buildings or sidewalks.
- (4) Furnishings for outdoor dining areas shall be subject to approval of the city planner and should be designed appropriately to complement the streetscape. All furnishings shall be made of metal or wood components. Glass table tops are permitted. Plastic is not permitted.
- (5) Umbrellas in dining areas shall not protrude into any clear zone below 8' nor over a projected adjacent property line. Umbrellas may not include any logos, graphics or text other than a manufacturers label and must be solid colors.

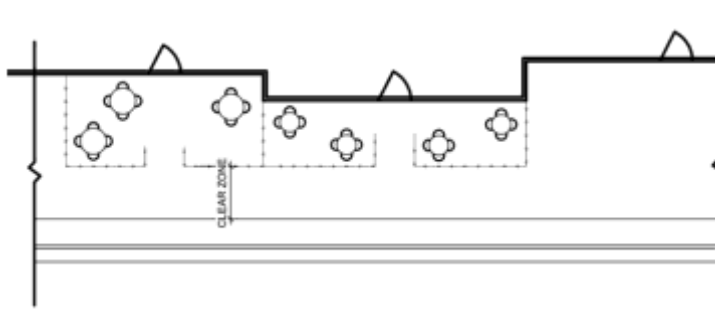


Figure 7 Outdoor Street Side Dining Examples



Figure 8 A-B Examples of Street Side dining separated by low fence

E. Drive-Through Service Facilities

- (1) Drive-through facilities are not permitted in the Downtown Overlay District.

F. Fueling Stations

- (1) Businesses that dispense gasoline fuel or similar products used to fuel automobiles including cars, trucks and motor bikes are prohibited in the Downtown Overlay District.

G. Sidewalks and Pedestrian Crossings

Sidewalks provide the connecting link between the buildings, amenities, and businesses in Downtown Wasilla. The designs, finishes and materials must remain consistent in order to tie the areas together. Around the downtown parks, in crosswalks, intersections, and at the entrances of

municipal buildings, the City of Wasilla has chosen to use decorative pavers, concrete, and/or asphalt to accent certain areas. Private developments can be visually linked to these facilities by using the same pavers in similar ways to unifying the downtown area for even greater impact.

- (1) Sidewalk Layout
 - (a) The minimum width for all sidewalks is 5’.
 - (b) Sidewalks widths shall remain constant in areas of similar use and scale but may taper as they cross into a new street classification with dissimilar usage.
 - (c) When possible, sidewalk width changes should occur at a new block, street, or driveway crossing so that tapering is not necessary.
- (2) Sidewalk Clear Zones
 - (a) Shall be the minimum width indicated in Table 4 below, located immediately contiguous to the landscape zone, and shall be continuous.
 - (b) Said clear zone shall be unobstructed for a minimum height of 8’ except for temporary obstructions for public events such as those caused by the placement of carts, tables, tents, etc. for an arts festival or craft fair. Furnishings for private sidewalk sales may not obstruct the clear zone.

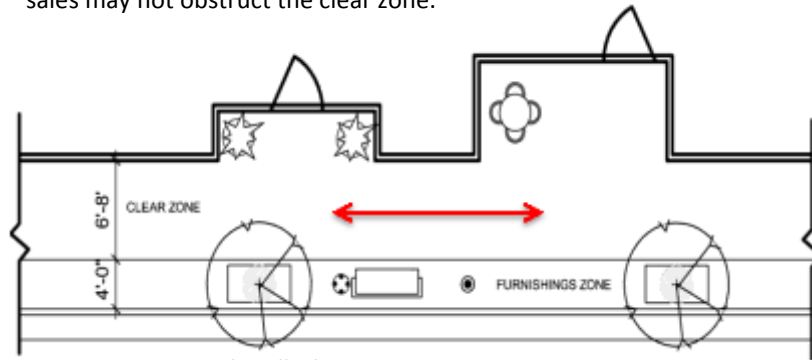


Figure 11 Sidewalk Clear Zone Diagram

- (3) Public Sidewalk Widths by Corridor
 - (a) For sidewalks constructed in the right-of-way for any of the road corridors, the following minimum widths and other requirements shall apply:

SIDEWALK REQUIREMENTS				
CORRIDOR	MIN. DISTANCE FROM BOC	PAVED FURNITURE ZONE AT BOC	SIDEWALK REQD BOTH SIDES	MIN. WIDTH OF SIDEWALK
AVENUES	2'	NA	Y	6'
PARKWAYS	2'	NA	Y	5'
BOULEVARDS	4'	NA	Y	5'
MAIN STREETS	4.5'	4.5'	Y	8'
URBAN STREETS	4'	4'	Y	6'
LOCAL STREETS	4'	NA	Y	5'
ALLEYS	NA	NA	NA	NA

Table 4 Sidewalk Width and Other Requirements BOC = Back of curb

- (b) The design and appearance of sidewalks shall remain consistent across a block or along a street between intersections and new developments shall match existing sidewalk designs with exceptions by approval of Wasilla Planning Commission.
 - (c) Sidewalk paths shall be continued across the entire length of all concrete aprons and shall match the appearance of sidewalk materials, in color, texture and design.
 - (d) Where rights-of-way are insufficient to accommodate the required sidewalk and planted strip, these elements may be located outside the right-of-way, if appropriate easements are granted to the City of Wasilla.
- (4) Sidewalk Ramps
- (a) ADA Ramps/Sidewalk Flaring – The ADA requires ramps to transition the changes in grade from street pavement to sidewalk (typically 4-6 inches). All applicable ADA laws and guidelines apply to this ordinance.
 - (b) The use of truncated domes and similar tactile warning surfaces shall be limited to locations where the pedestrian is entering a regularly traveled vehicular zone, such as a street or heavily used site entrance. Truncated domes are not necessary at intersections of every curb-cut such as private residences. However in circumstances where a ramp and path intersect a heavily traveled entry to a business, the application of a tactile warning surface may be warranted.
 - (c) The following detail shall be employed at the intersections of streets and major drive isles for parking lots: - CHANGE TO CORRECT DIAGRAM

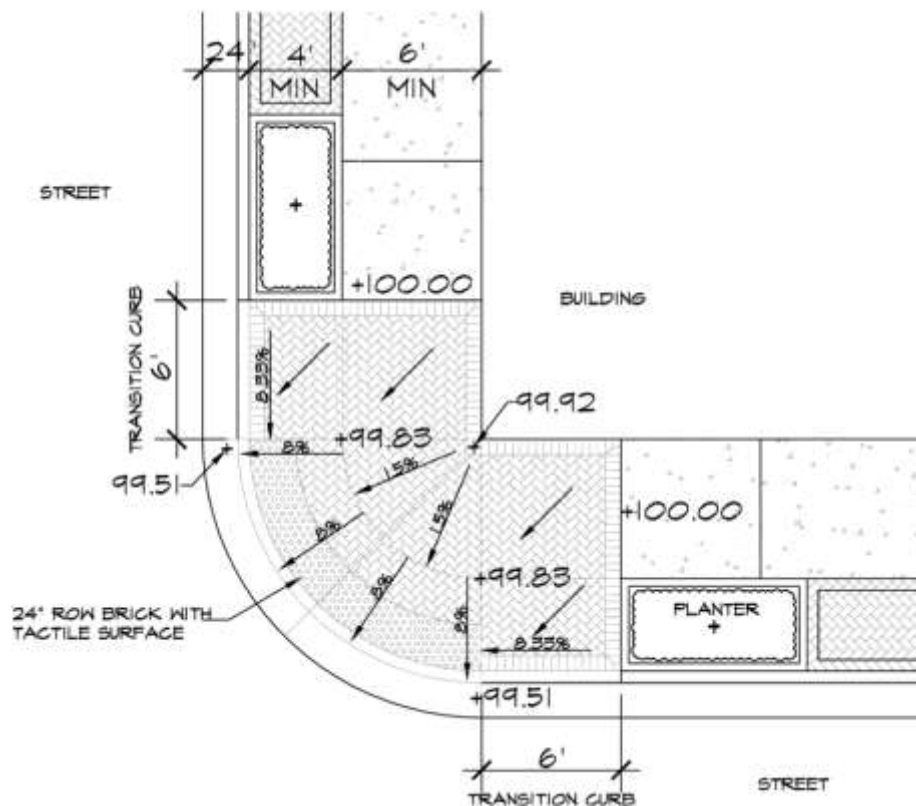


Figure 12 Typical Corner Ramping and Sidewalk Intersection Design

- (d) In locations where a sidewalk does not intersect another sidewalk, flaring or triangles shall not be used. Instead transitions in adjacent grade, additional ramps and curb returns shall be employed to avoid the necessity of flaring the sidewalk.

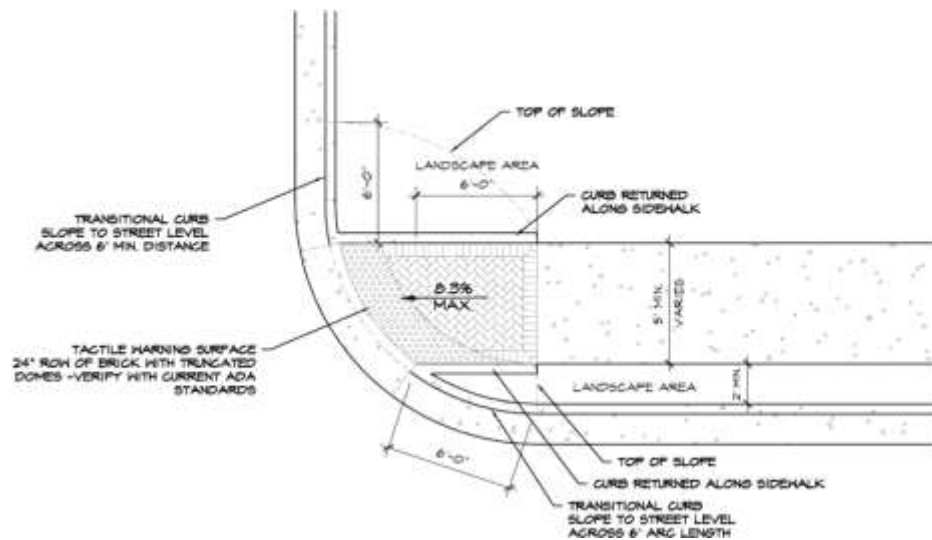


Figure 13 Typical Ramp Design with Turn-Back Curbs

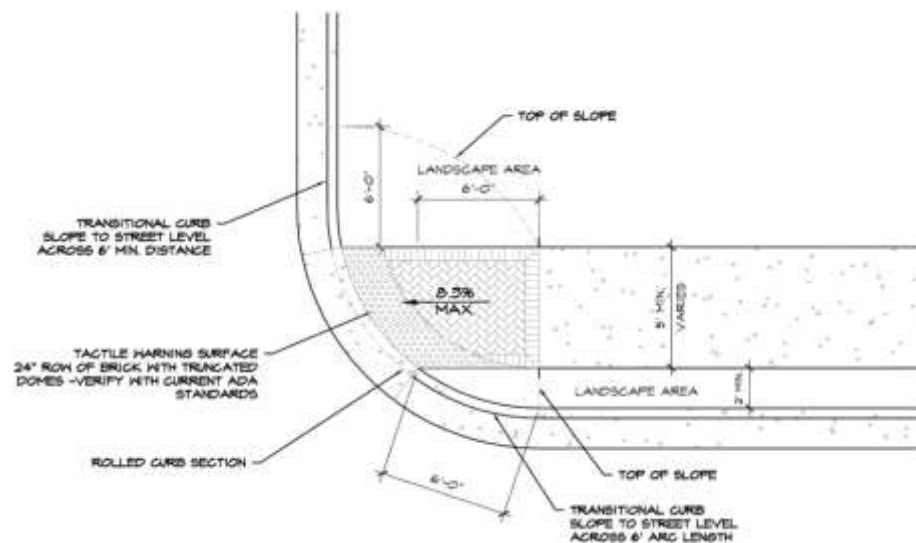


Figure 14 Typical Ramp Design Alternative w/out Turned Back Curbs

- (5) Crosswalks - ADDRESS MID-BLOCK CROSSINGS AND CROSSINGS WITHOUT 4-WAY STOP OR TRAFFIC LIGHT
- (a) Crosswalks are to be prominently identified and each intersection's corner shall have handicap access ramps meeting all ADA requirements.
 - (b) Crosswalks are required at all road and street intersections.
 - (c) All crosswalks on Avenues and Parkway Corridors shall be designed per AKDOT&PF standard details with painted white striping.

- (d) All crosswalks on the Main Street corridor and in all parking areas shall be raised 4 inches above the adjacent roadway pavement. The design of raised crosswalks shall take into consideration drainage patterns for the road and adjacent streets shall be designed to prohibit pooling of storm water at these raised crosswalks. If necessary, gutters shall be provided between the raised section and the adjacent sidewalk and curb and some form of “bridge” provided for the crosswalk to span the gutter.

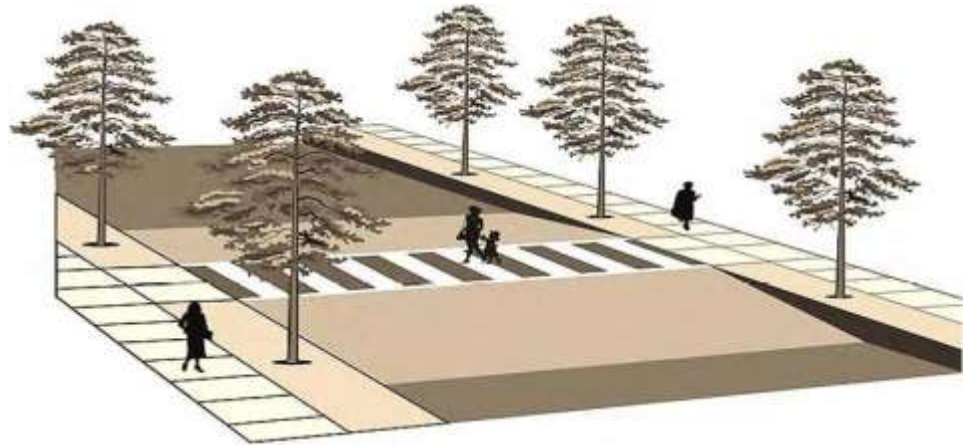


Figure 15 Sample Illustration of Raised Crosswalk

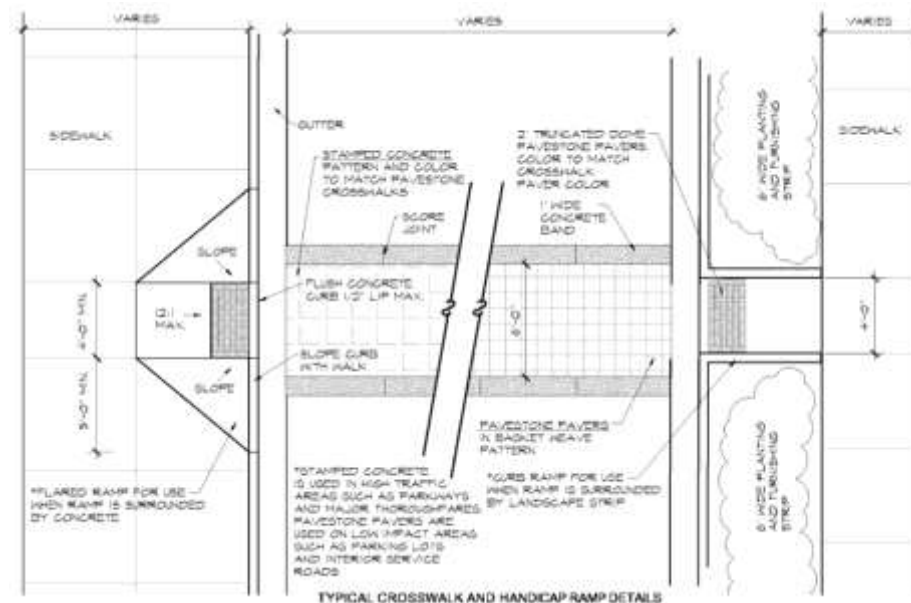


Figure 16 Standard Crosswalk Details

- (e) All crosswalks in Boulevard, Main Street and Urban Street Corridors shall be decorative and consistent in appearance with other decorative crosswalks in the overlay district as detailed below:

Downtown Overlay District Design Standards

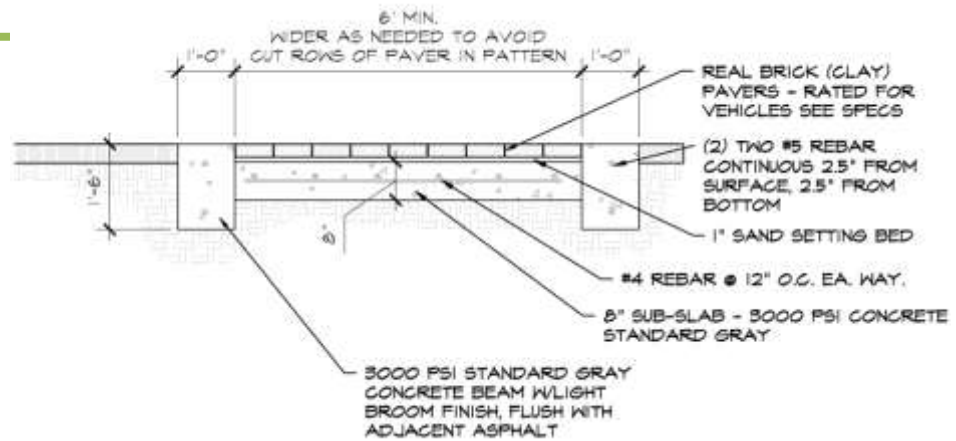


Figure 17 Standard Section @ Crosswalks – Required (Raised Optional)

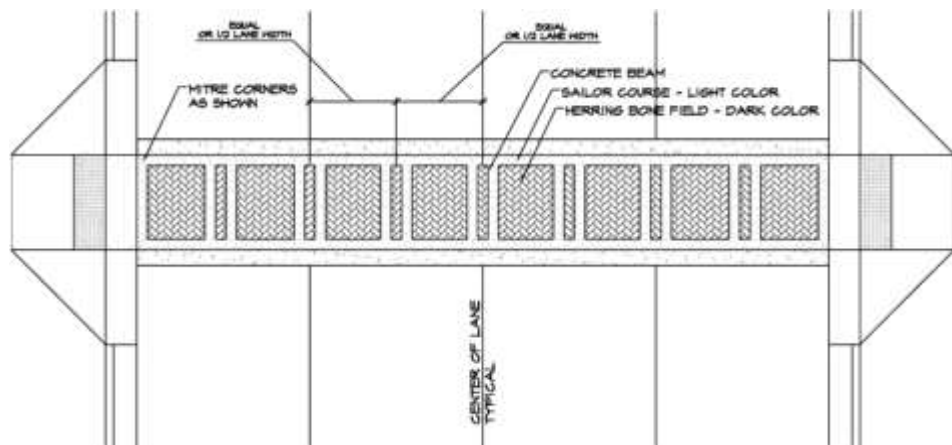


Figure 18 Standard Plan Showing Paving Design for Typical Crosswalk (Not Raised)

- (f) When decorative crosswalks are called for, the type and colors of pavers to be used are specified by the City. Contact the Public Works Department for the specifications and local vendors.
- (6) Landscape zones
 - (a) Landscape Zones vary in width by corridor and shall be a minimum of 2' feet in width and located immediately adjacent to the back of curb (boc). There is no maximum width for a landscape zone.
 - (b) With the exception of interruptions for curb cuts and required utility crossings, all landscape zones shall be continuous except when interrupted by paved areas with intermittent planters of varying lengths.
 - (c) This zone may be used for street trees, streetlights, benches, planters, trash receptacles, bicycle parking racks and other street furniture, public utilities, pedestrian lights, landscaping, or sod.
 - (d) The landscape zone between the back of curb and the sidewalk clear zone is to be edged in raised brick as shown in the following details. The brick shall protrude 4" above the adjacent paving and joints between bricks shall not be mortared. Space bricks evenly with joints up to but not greater than one-half inch wide so as not to require any cut bricks in the pattern. The intent is for the brick to act as a barrier to pine-straw and other mulch washing out in rain while the water will flow freely through the small gaps

between bricks. The bricks shall be set in place using 3000 psi concrete placed in a trench below the brick. The soil inside such raised brick planters shall be 3" below the top of the brick.

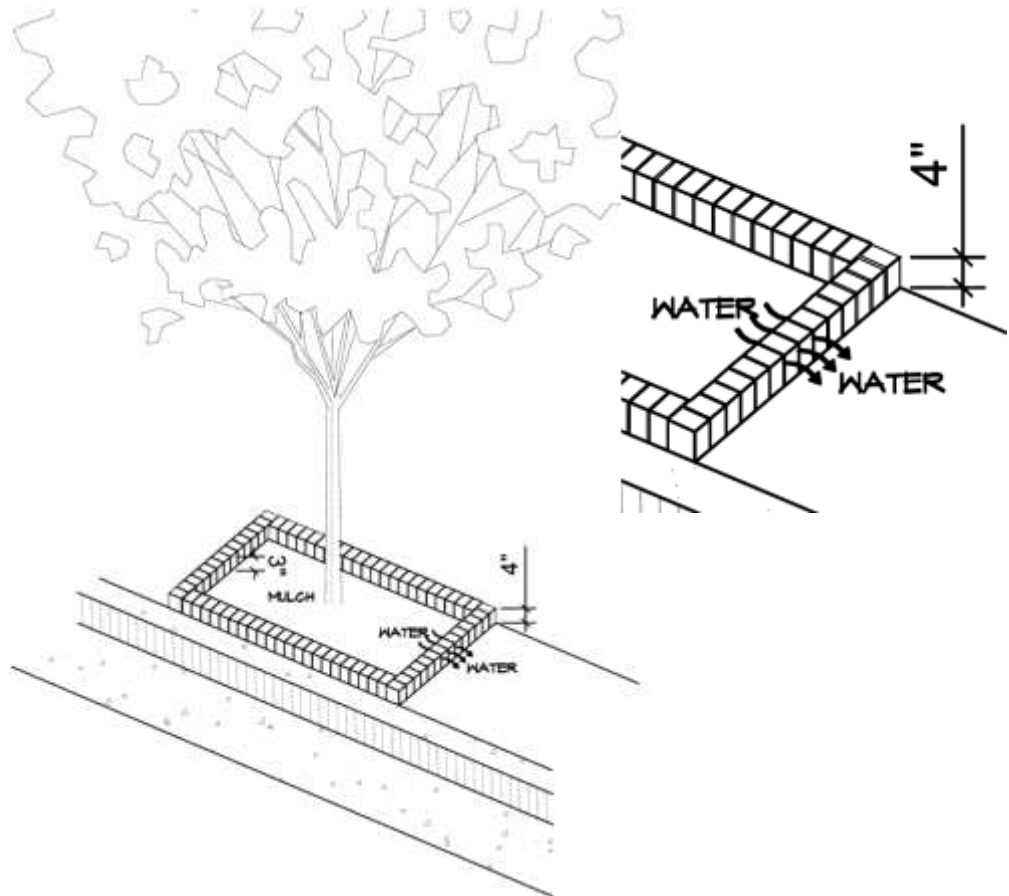


Figure 19 Standard Landscape Zone Treatment – Brick Edger

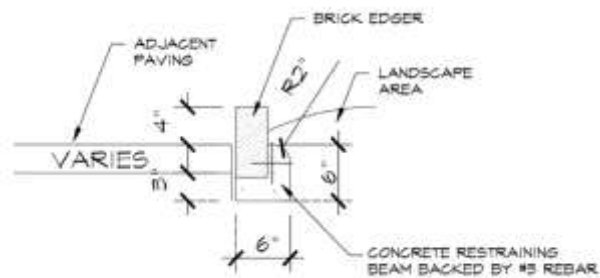


Figure 20 Detail of Brick Edger Installation

- (7) Intra-parcel Walkways
 - (a) A continuous, paved on-site intra-parcel walkway of at least 5' in width is required to connect the public sidewalk to the main entrance(s) of that property's building(s), and shall comply with the Americans with Disabilities Act (ADA), in all respects.
 - (b) Intra-parcel walkways crossing parking lots shall be distinguished from parking lots by the use of colors, texture, (use of different materials), difference in elevation above the parking lot or a combination of these means, in order to minimize auto-pedestrian conflict.



Figure 21 Inter-parcel walkway/sidewalk example

H. Parking Standards

Vehicle parking must respect the goal for a pedestrian-oriented and attractive downtown. Visitors and residents must feel safe walking to retail and office establishments without crossing multiple driveways. Visitors to the downtown should be able to park and then safely walk to several destinations.

(1) Minimum Requirements

- (a)** The design of all parking facilities shall comply with the appropriate provisions of Title 16 of the City of Wasilla Municipal Code and include the proper number of spaces per the proposed usage and density. The dimensional requirements required herein shall prevail over all others.
- (b)** Developments within the Downtown Overlay District are required to provide new off-street parking according to the following minimum standards:
 - (i)** The total number of permitted parking spaces shall not exceed 120 percent of the minimum number of off-street parking spaces required by type of permitted use.
 - (ii)** All surface parking provided in excess of 100 percent of the minimum number of off-street parking spaces required by type of permitted use shall be constructed using a pervious paving system as outlined in this section or as otherwise administratively approved by DDRC.
 - (iii)** The minimum dimension for standard parking spaces is 9 feet by 18 feet.
 - (iv)** On-street parking may be permitted adjacent to the street curb in some sub-districts with approval of the City Planner.

(2) Shared or Reduced parking Standards

- (a)** Reduction of parking requirements through a shared parking arrangement may be permissible only through the approval of the City Planner provided the arrangement shall avoid conflicting parking demands and provide for safe pedestrian circulation and access.
- (b)** A to-scale map indicating location of proposed parking spaces shall be provided.
- (c)** A shared parking calculation projection shall be provided that demonstrates that each use will have adequate parking provisions at all times.
- (d)** For contiguous properties sharing parking spaces under this provision, cross-easements shall be filed establishing access to the parking spaces in perpetuity.
- (e)** A reduction in the number of parking spaces that would otherwise be required for each of the various uses on a multiple-use property must be clearly shown on the development plan. If shared parking is proposed for a combination of contiguous properties, a plan must be submitted covering all of the properties that will be sharing the parking spaces.
- (f)** Location on other property: If the required automobile parking spaces cannot be reasonably provided on the same lot on which the principal use is conducted, such spaces may be provided on adjacent or nearby property, provided a major portion lies within 1,000 feet of the main entrance to the principal use for which such parking is provided, and measured by the most direct route of travel on the ground.
- (g)** Off-site parking requirements may be met on property owned by the developer or leased by the developer for a minimum of five years.
- (h)** A written agreement among all owners of record shall be provided and held on file

with the City of Wasilla Planning Department. All renewed or terminated leases shall be filed with the Planning Department.

- (i) If at any time the building owner fails to meet the required parking space requirements, the city via its staff can revoke the land use permit or business license.

(3) On-Street Parking

- (a) On-Street Parking helps dense urban areas to create the small town feel and provide parking in very close proximity to businesses. On-street parking shall be permitted in the Downtown Overlay District.
- (b) The number of on-street spaces allowed to be counted towards the parking requirements is subject to the approval of the City Planner and is typically restricted to spaces fronting the property lines.
- (c) No 90 degree parking is permitted on the street
- (d) Street side parking shall be parallel or angled parking.
- (e) "Back-in" or "reverse-in" angled parking is encouraged along one way roads in lieu of standard angled parking.
- (g) On-street parking design must comply with the standards in Table 5 below. Parking islands must be placed between grouped parking spaces. A tree is required in parking islands for all parking types except parallel parking spaces.

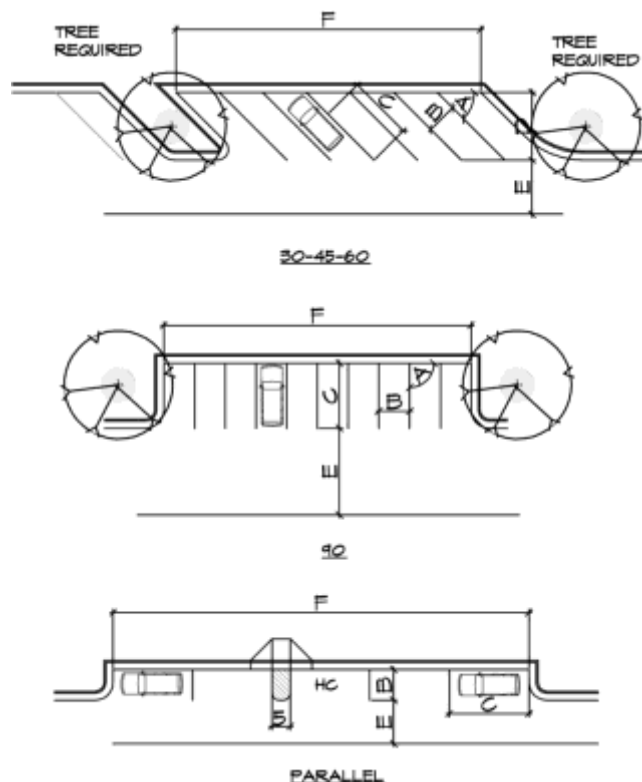


Figure 23

Parking Requirements					
A	B	C	D	E	F

0	8'6"	22'*	N/A	12' MIN	5 SPACES
30	8'6"	18'	16'9"	15' MIN	7 SPACES
45	8'6"	18'	18'9"	15' MIN	8 SPACES
60	8'6"	18'	19'9"	16' MIN	9 SPACES
90	8'6"	18'	N/A	24' MIN	10 SPACES

*26' For Disabled Parking Spaces

Table 5 Typical Layout Dimensions and Spacing of Islands

(4) Off-Street Parking

Off-street parking must comply with the following parking bay, peninsula, and island dimensions and requirements:

- (a) Parking bays may be no wider than 66 feet and not less and 60 feet.
- (b) Every two bays must be separated by at least a 10' wide planting strip (BOC to BOC).
- (c) There shall be no more than ten (10) contiguous parking spaces before the spaces are interrupted by a tree planting island or peninsula.
- (d) All sets of parking spaces shall begin and end with a 10' wide or greater landscaped island or peninsula.
- (e) The width of any parking lot island or peninsula shall be a minimum of 10' (from BOC to BOC) and the depth shall be not less than 18' (from BOC). The radii of an island or peninsula shall be a minimum of 5'.

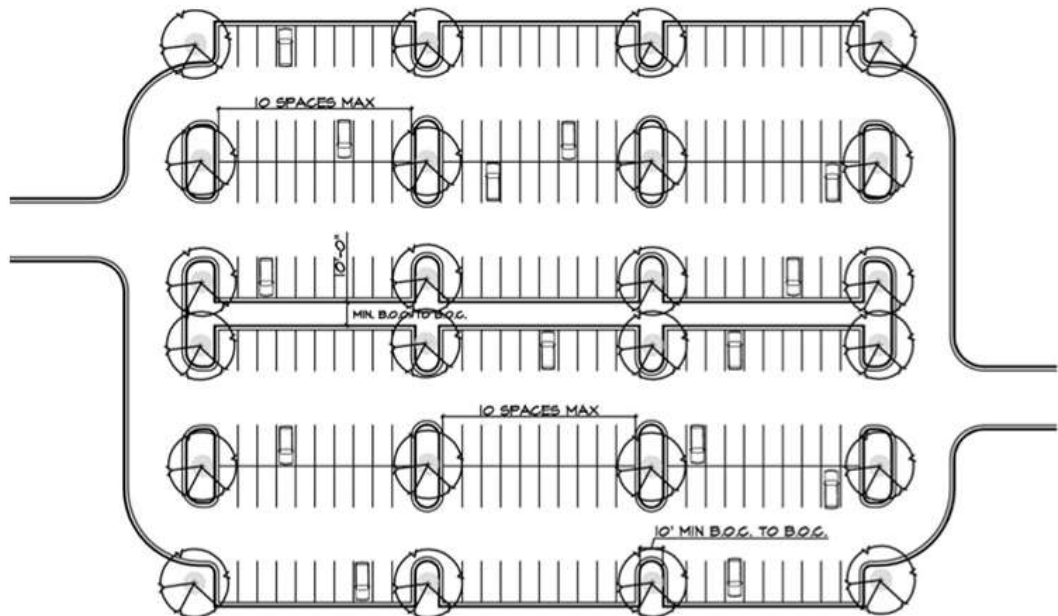


Figure 24 Typical Parking Lot Illustration

(5) Parking on Vacant, cleared or undeveloped lots

With the following exceptions, vacant, cleared or undeveloped lots may not be used to store or park vehicles unless a permanent parking lot has been established.

- (a) The City Planner may authorize the temporary storage or parking of vehicles for a temporary public or emergency event in the downtown area.

- (b) The property owner may park one or more personal cars or vehicles as long as such vehicles are parked on pavement and screened from view from a public right-of-way. The owner must also be able to prove ownership for a vehicle to qualify for this exception and the vehicle must be operable and have a current registration.
- (6) Orientation
- The orientation of parking is dependent on several factors including the size of the parking lot, number of adjacent roads and use of the parking lot.
- (a) All parking shall be placed in the rear yard or behind an imaginary line projected from the primary front wall of the building or wall closest to and facing a public street.
 - (b) When more than two bays will fit parallel to the building frontage, bays shall be turned perpendicular to the building face to improve pedestrian flow and to provide drop off and pick up locations in front of the building. **SHOULD TWO BAYS/ROWS OF PARKING SPACES BE ALLOWED OR ONLY ONE?????**



Figure 25 Parking Orientation to the Rear and Side

- (7) Screening
- Parking lots shall be screened from view from public rights-of-way as described in the landscaping section of these standards.
- (8) Inter-Parcel Access
- (a) Inter-parcel access shall be provided between adjacent commercial developments to ease traffic congestion at choke points and provide for emergency access when one point of egress becomes blocked.
 - (b) Parking lots shall provide for future interconnectivity and inter-parcel access.



Figure 26 Illustration of Inter-parcel Access Requirements

(9) Pedestrian Access

- (a)** All developments shall have sidewalks connecting ground level parking to the public sidewalks and to all building entrances.

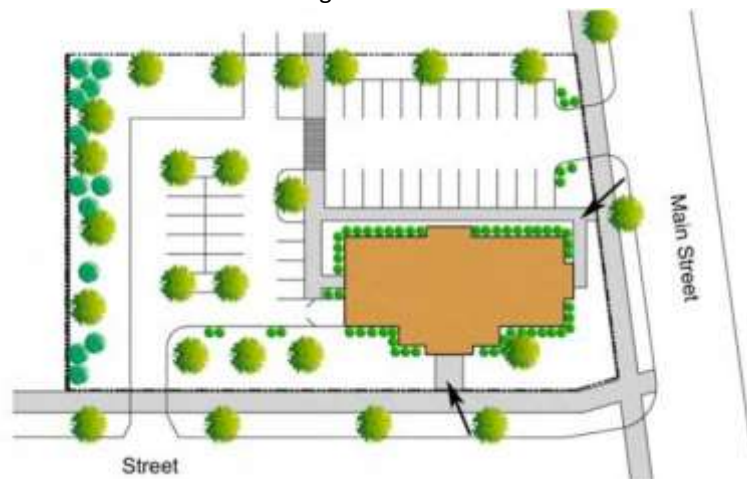


Figure 27 Illustration of Pedestrian Access Requirements

(10) Pervious Parking and “Green” Parking Design

- (a)** Parking Area Rain Gardens (Bio-retention): The use of bio-retention areas in the form of rain gardens and bio-swales in parking lots is encouraged.

(11) Parking Decks

Parking decks are permitted but must meet the following requirements:

- (a)** Parking deck facades shall conceal automobiles from visibility from any public right-of-way, private drive, or street that is open to the general public, and shall have the appearance of a horizontal storied building.
- (b)** Parking is not allowed within the first floor of parking garages within 30 feet of street-facing facades. The first floor street-facing facades should be used for tenant space with active uses.
- (c)** All parking decks and parking structures shall have pedestrian walkways a minimum width of 6 feet connecting ground level parking to the public sidewalks and to all

building entrances.

- (d) All parking decks and parking structures without first floor tenant space shall have a landscape strip with a minimum width of eight feet immediately contiguous to the parking facility for the whole of the exterior perimeter of the parking facility. See the landscape section for specific requirements.
- (e) When adjacent to a public street, above street level parking structures and decks shall create visual interest through the articulation of openings, cornice lines, and belt courses or similar architectural details.
- (f) Finishes for public frontage shall include architectural treatments and veneers such as brick, stone, faux windows, etc. Plain or colored concrete with or without simple textures will not meet the requirements. Grade level frontage shall be veneered in materials similar to surrounding buildings and appropriate for the downtown overlay district.
- (g) Alternatively a heavy and effective screen of landscaping may be approved by the Planning Commission.

I. Rear Entries

The rears of buildings often function as more than delivery areas. The rears of buildings will sometimes face the main parking area for customers and must provide a pleasant and well-kept appearance. A business may want an additional entrance from the rear of the store to reduce the walking distance for customers. The rear of the building may also be developed for shared parking and deliveries. The following standards apply to areas to the rear of the building:

- (1) Architectural and landscape elements from other parts of the building should be incorporated into the rear entrance.
- (2) Provide adequate lighting for customer safety.
- (3) Rear entrances for customer use shall mimic the primary front entrance.
- (4) If a rear customer entrance is provided, a smaller version of the main entrance sign may be used to denote the store's rear entrance.

J. Open Spaces – Green Space

Open spaces provide important health and social benefits to a downtown. Open spaces balance the built environment, and ensure adequate sunlight and air circulation within the downtown. Opportunities for alternative transportation and increased connectivity can be achieved when adjoining open spaces are connected. Open spaces create outdoor living rooms for community interaction, and provide areas for relaxation and/or recreation.

- (1) Open space shall be required for all development in the amount equivalent to a minimum of **20 percent of the total site area**.
 - (a) Requirements for sidewalks and landscaping that are constructed on private property may be counted towards this requirement.
 - (b) Open space may also include planted areas, fountains, plazas, trails and paths.
 - (c) Hardscape elements related to sidewalks and pedestrian uses such as plazas which are located on private property may also be counted. However, no asphalt may be counted towards these requirements.
 - (d) Open space shall not include areas devoted to public or private vehicular access or parking nor to sections of sidewalks that cross parking areas or drive isles.
 - (e) All open space must be accessible to the public or to the occupants/users of the provided use. Open space counted towards meeting the requirements shall be prohibited from being inaccessible or not usable. Elements that are not physically accessible to

the public or occupant/users such as large water fountains where bathing is not allowed, fenced utility and/or detention areas and similar elements are permitted but shall not be counted towards the total area of the open space.

- (f) When adjacent to the open space of another property, open space shall connect to said adjacent open space and provide a fluid and direct connection to said open space. The connection of these spaces creates both corridors for people as well as animals.

3 Site Amenities

Site amenities include furnishings, equipment, refuse and loading areas. The careful selection, placement and/or screening and maintenance of these elements can significantly impact the aesthetic qualities of a development.

A. Service Areas and Loading Docks

- (1) Loading areas shall not face any public street.
- (2) All non-residential entrances, structures, and facilities for storage and loading shall be screened from view from the public right-of-way or pedestrian circulation area with one or a combination of the following elements: continuous evergreen plantings, or other material related to the primary landscape or architectural elements on the site.

B. Utilities and Mechanical Equipment

The opportunity exists in downtown Wasilla to place all utility lines underground. Since the majority of downtown Wasilla is new development including new sidewalks, utility lines can be placed underground prior to sidewalks being set in place. Utility lines such as phone, electrical and cable should be planned through agreements with the utility companies. Conduit for utility lines should be installed underground before buildings are built to avoid cutting streets and sidewalks at a later date.

- (1) Appearance
 - Utilities almost always have a negative impact on the aesthetic value of a site. Therefore, care is to be taken in selecting equipment that has the least impact on the site. The smallest utility meters, valves, boxes etc. available that meet the requirements should be used and the colors or paint should be selected to blend into the surroundings. The body, conduit, and main parts of gas, electric and other utility meters located adjacent to or on building walls and visible to a public street shall be painted to match the buildings. For example a gas meter setting adjacent to a brick wall should be painted brick red.
- (2) Locations
 - (a) All utility lines shall be placed underground.
 - (b) Utility meters such as gas and electric shall be placed on walls that do not face public streets or heavily used public areas. The city planner may approve locations facing the street if they are screened.
 - (c) Back flow preventers, well pumps, check valves, and other devices that require above ground pipes, conduits, controllers, pressure tanks, housings, or similar features shall not be placed in locations where they are readily visible from the public right-of-way or public gathering areas.
 - (d) Utilities shall not be placed where they will interrupt sidewalks or clear zones.
 - (e) Utility locations shall be coordinated with the street trees and required landscaping so as not to interrupt the regular spacing required for trees, lighting or other landscape elements.

(3) Screening Utilities

In order to create a pleasant environment for the downtown visitor, adequate screening is required to minimize the negative visual and noise impacts of parking lots, storage areas, loading areas, and trash receptacle areas. Screening can be designed to enhance the downtown through the use of solid brick walls, latticework, trees, or shrubbery.

- (a)** Accessory mechanical systems and features, including air and heating systems on roofs, shall not be visible from the public right-of-way.
- (b)** All structures and facilities for outdoor equipment shall be screened from view from any street or pedestrian circulation area with architectural features and/or landscaping.
- (c)** When plantings are used as screens, such plantings shall be evergreen. Such plantings shall count toward required minimum landscape areas rather than being in addition thereto.
- (d)** Where walls or fences are used in lieu of planted screens, landscape materials shall be incorporated into the screening scheme whenever feasible.



Figure 31 Left – Poorly Planned and Unscreened – Not Permitted
Right – Attempted Screening Desirable

C. Refuse Collection Areas and Dumpsters

- (1)** All structures and facilities for trash, storage, loading and outdoor equipment shall be screened from view from any street or pedestrian circulation area with architectural features and landscaping.



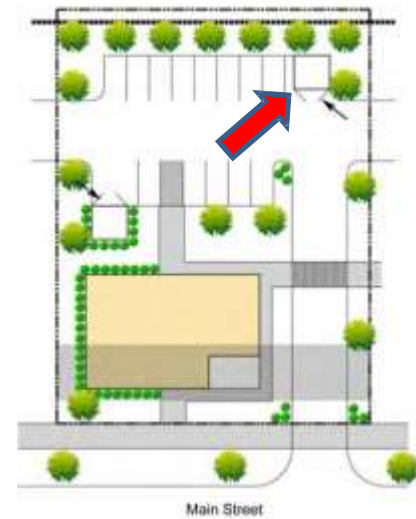
Figure 32 Left – Not permitted Right – Required Treatment

- (2)** All dumpsters shall be placed in the rear yard and may be located five feet from the property line if the adjoining property is zoned non-residential and five feet from all applicable buffers if the adjoining property is zoned residential.
- (3)** All dumpsters shall be enclosed with a wall of equal or greater height on three sides, the material of which shall be similar to the material on the outside of the main building. The city planner may approve alternate materials on request, but in no case shall materials be approved which will quickly degrade such as wood fencing.

- (4) The doors of a dumpster enclosure shall not face a public street when there is no visual buffer between such enclosure and the street.



Figure 33 A- Preferred Treatment Example



B – Example Preferred Location

D. Site Furnishings

Street furniture serves to unify the downtown. Street furniture compliments downtown sidewalks and creates places of rest and interest along the route. Street furniture should conform to a unified style and character that defines the identity of the street. Furnishings should be placed in areas of pedestrian activity.

(1) Street Furniture Standards:

Street furnishings include but are not limited to; trash receptacles, benches, seating, bus shelters, bike racks, newspaper boxes, vending carts, tables, pedestrian way finding signage, kiosks, and public art.

- (a) Street furnishings may be installed, if desired, along all corridors.
- (b) Furnishings may not be installed in a sidewalk clear zone.
- (c) Public furnishings in the right-of-way including benches, waste receptacles, recycle receptacles, signage, and bicycle racks must be secured or anchored to the ground unless otherwise approved by the city planner.
- (d) Street furniture shall be installed in the street furnishings zone between the curb and sidewalk.
- (e) Street benches must be comfortable, structurally sound but simple and pleasant to look at.
- (f) Benches should be placed in areas of the greatest pedestrian use such as plazas, near intersections, alcoves adjacent to building entries, and along sidewalks downtown under tree canopies.
- (g) Benches used along downtown sidewalks should be placed parallel to the street facing the buildings nearest them approximately two feet from the back of the curb. One to two benches per block are recommended.
- (h) Benches shall be secured to the ground with a footing at all four legs. Methods of attachment shall not be welded and shall be capable of being removed for servicing the area beneath the bench as needed.

- (i) Benches shall be made of all metal, or metal and wood. Benches of recycled plastic and similar plastic materials are not permitted due to their propensity to degrade in quality and appearance very quickly. Other materials such as pre-cast concrete may be approved by the DDRC.



Figure 34 Typical Public Bench **IS THIS THE PREFERRED TYPE????** If so, need to require bar to prevent laying down on bench.

- (3) Trash / Ash Containers
 - (a) Trash receptacles should be of a consistent design that is attractive but functional. Trash receptacles should be placed in areas of greatest pedestrian movement such as near the curb at street intersections, in plazas, and around businesses that generate lots of trash such as restaurants and cafés.
 - (b) Trash receptacles shall not be placed within 6' of a bench.
 - (c) Trash receptacles often leak liquid waste and should therefore be placed over landscape strips with mulch or gravel below them when possible.



Figure 35 Waste Receptacles Typical

(4) Public Art

For art to be considered public it must be placed in the public realm for public use. Art placed in the front entry plaza of a private business property that is readily accessible and visible from an adjacent public street is considered public art. On the other hand, artwork placed in a rear yard and out of plain site of the general public shall not be subject to the provisions of this section. Note: When a business attempts to gain attention by building a large works of public art, such as a 20 foot tall fish sculpture in front of a seafood restaurant, art can become a “sign”. For this reason, some public art is regulated under the signage section of this article.

- (a)** All permanent public art weighing more than 20lbs must be anchored or secured to the ground or otherwise made safe from tipping or falling.
- (b)** Public art must respect the significant potential for citizens touching, climbing on and or interacting with the art. Therefore the pieces must be sturdy and free of sharp points or projections that could endanger the public or alternatively the art must be placed in such a way that the public’s direct access is limited.
- (c)** Public art shall compliment the character of the downtown overlay district and shall appeal to a large percentage of the population. The subject matter shall not be overtly controversial in nature.



Figure 40 Left and Right Show Examples of Desirable Public Artwork

- (d)** All artworks greater than 8’ in total height or 12’ in width shall also be subject to the signage sections of this article (fountains excluded).
- (e)** Any painted murals that include words are subject to the provisions of the signage sections of this article.



Figure 41 Typical Mural Example – Requires DDRC Approval

- (f)** All art placed in the public right-of-way is subject to the approval of the Public Works Director.
- (g)** Private artwork placed on property within the downtown overlay district that is readily visible from a public street is also subject to review by the Planning Commission.

(5) Mail Boxes

Mail boxes shall be selected and located so that they are unobtrusive and visually integrated into the environment or so that they are appropriate in design and location with the architecture of the building. The City finds that the focus of the downtown should be on the landscape and architecture and not utilitarian items such as mailboxes. As such:

- (a)** All mail boxes shall comply with USPS minimum standards for placement and construction.
- (b)** Mail centers or groups of boxes for commercial building shall be placed so that they are easily accessible and under cover. They shall be designed into building walls or in separate structures which are architecturally integrated with the overall character of the site.
- (d)** The location and design of all commercial mailboxes shall be subject to review and approval by the DDRC.



Figure 42 Not Allowed



Standard – Allowed



Alternate - Allowed



Figure 43 Acceptable Mail Center Styles for Large Developments

- (6) Bus Stops/Shelters
- Bus stop shelters may be required along some corridors in the downtown overlay district. Developers shall consult with the Public Works Department to determine if development requires coordination for a bus stop location in the public right-of-way. The City may at some time in the future create a custom bus shelter design for use in the Downtown Overlay District and or other areas. Until such time, all bus stops requiring a shelter in the Downtown Overlay District shall meet the following minimum standards:
- (a) The roof shall be curved and constructed of either standing seam metal of a reflective color or a glass like material such as plexi-glass.
 - (b) The shelter shall resemble the examples pictured in this document and match in materials, scale and finish.
 - (c) The provision of advertising space at bus shelters is not desired and shall be subject to the approval of the City.
 - (d) The shelter shall provide a center or back wall of glass or glass like transparent material and painted metal posts for protection from the wind.



Figure 44 Example Shelter



Advertising is not permitted but local information such as maps, public events, calendars, etc. are allowed.

Figure 45 Example Shelter with Advertisement

4 Landscaping

Landscaping should provide aesthetic enhancement of a project site, screen objectionable objects from public view, and replace scarred slopes of missing vegetation impacted by grading activity. A successful landscape project will consider the appropriate use of plant materials, proper plant spacing, and long term maintenance needs for each plant type as noted herein.

Trees and shrubbery break up the monotony of concrete and asphalt in a downtown area by providing greenery, flowers, seasonal change, and shade. Trees break up the scale of large buildings. Shrubs not only add color and texture to a streetscape, but shrubs can also provide excellent screening to hide blank walls, unattractive foundations, parking lots, trash bins, loading docks, and outside storage areas.

A. Professional Design Requirements

All landscape plans submitted for review to the city planner shall be prepared and stamped by an Alaska registered landscape architect with experience in urban design.

B. Xeriscape and water wise requirements

All landscaping in the Downtown Overlay District shall be designed using xeriscape principals to reduce water consumption and help ensure the sustainability of the landscaping in periods of drought. In general, this requires planting of trees, shrubs and ground cover together with plants of similar water requirements and also placing plants with higher water requirements in the most appropriate locations such as swales and low areas. The landscape plan will be reviewed for these requirements by the city planner.

C. Locally Proven, Hardy, Urban Plants

All proposed plantings shall be climactically appropriate for use in this locale. Plants shall be selected from those known to be hardy and adapted to the prevalent environments of the City of Wasilla. Plants known to have major maintenance, pest or disease problems shall not be used.

D. Public Safety Regarding Dangerous, Noxious and Invasive Plants

All plants placed in areas readily accessible by the public shall be appropriate for public use. Additionally some aggressive species of plants can spread rapidly outside their intended planting areas through seed dispersal or other means. These plants can quickly become a serious public nuisance. Planting of significantly poisonous plants and/or plants with large thorns is not permitted in any public area or areas generally accessible to the public.

E. Sight Distances and Plants

No section, portion, or requirement in this article is meant to construe that any plant including street trees, shrubs, groundcover, or other plantings shall be placed or planted within a site visibility triangle. All sight visibility triangles for intersections of driveways, service roads, curb cuts, or streets shall be kept clear of shrubbery over 24" in height or any plant or plants that would limit visibility at the standard elevations set out and established in the various AASHTO and AKDOT&PF design manuals and standards. If other sections of this article conflict with this requirement, this section shall prevail above all others.

F. Entry Landscaping

Entry way landscaping is encouraged and should include design elements which are common to the proposed development. Design elements may include, but are not limited to, entry wall monuments, perimeter fencing, landscape berms/mounds, water features (such as fountains or reflecting ponds), specimen trees, and upsized shrub plantings.

G. Frontage Landscape Requirements

The following street frontage landscape requirements apply to any side of a property that fronts

a public street and includes only the land within the public right-of-way:

- (1) Street trees are required and must be placed within the landscape strip/furniture zone between the curb and sidewalk.
- (2) Except for the minimum 32 square feet of pervious space required for each tree the remaining area of the landscape strip may be paved with brick pavers.
- (3) The trunk of the tree may be no closer than 20" to the sidewalk at time of planting.
- (4) Street trees shall be planted at a minimum of one (1) every 40'.
- (5) Except for driveways, walls, sidewalks, and utilities, the remaining undeveloped surface of the frontage shall be paved with decorative pavers or be permanently planted in turf grass, ground cover plantings or shrubbery.

H. Walls (other than building walls), Columns and Piers

- (1) The following standards apply to common fences and walls around businesses along public street frontages. (The following standards are in addition to any other standards that may be set forth in the City of Wasilla's Municipal Code.)
- (2) Allowable materials include: natural stone, clay brick, architectural concrete, or wood.
- (3) When the building fronts and sides are visible to a public street, any wall over two feet in height from finished grade shall not be opaque and shall have a minimum opening ratio of 50%.
- (4) When the back of the building is visible to a public street, walls shall be opaque (solid).
- (5) Applications for wall permits shall be reviewed by city planner.

I. Fences

- (1) Fencing made of barbed wire, razor wire, plastic, or cloth is prohibited unless otherwise stated in the City of Wasilla's Municipal Code.
- (2) All fences shall be at least 4 feet in height and not greater than 8 feet.
- (3) Simple plain wood picket fences are not allowed.
- (4) When the building fronts and sides are visible to a public street, any fence shall have a minimum opening ratio of 50%.
- (5) When the back of the building is visible to a public street, fences shall be opaque (solid).
- (6) Chain link fencing is not allowed to front a public right-of-way. Chain link fencing is permissible only for the following uses only:
 - (a) Along a rear or side property line as long as that fence is not readily visible from a public right-of-way or adjacent property owner.
 - (b) As a small enclosure for securing utilities or materials as long as such enclosure is not readily visible from a public right-of-way or adjacent property.
- (8) Applications for fence permits shall be reviewed by the city planner.

J. Parking Lot Landscaping

- (1) Where a parking lot or parking structure fronts directly on a public street, a continuous screen of evergreen planting (to be equally effective all year) shall be provided. Said screen shall be a minimum height of 2' at time of planting and capable of attaining a healthy maintained height of 4-5' or greater. The minimum bed width of the screen shall be 4'.
- (2) Parking lots shall be planted for the harsh environment they create. Trees, shrubs, and ground cover must be heat tolerant and well suited for the confined spaces they are planted in.
- (3) All trees in parking lots shall be medium to large canopy trees from the **approved planting list**. Other species of a similar type, height, canopy, etc. may be approved by the city planner on request.

- (4) All trees shall be a minimum of 2.5" caliper and xx feet tall at time of substantial completion.
- (5) All parking lot islands shall have construction debris including slag concrete, gravel, and asphalt removed completely. Fill soil and subgrade materials that have migrated into the islands during construction must be removed completely to a depth of 36" from the top of the curb or top of paving if no curb exists.
- (6) Islands and peninsulas shall be filled with a planting mix and or top soil or both to achieve the desired finished grade. Do not crown beds more than 3-6" as this will cause most of the water to run-off before it can percolate into the soil.
- (7) Evergreen ground covers or shrubs with mulch shall be utilized in parking lot landscape islands beneath the required trees. Turf grass is not permitted.

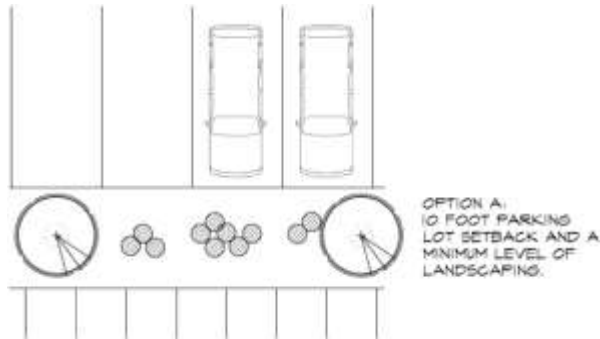


Figure 46 Typical 10' Landscape Strip – Mixture of Plant Sizes

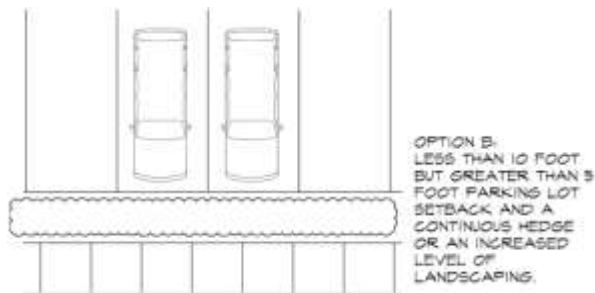


Figure 47 Typical Reduced Landscape Strip – Requires Hedge

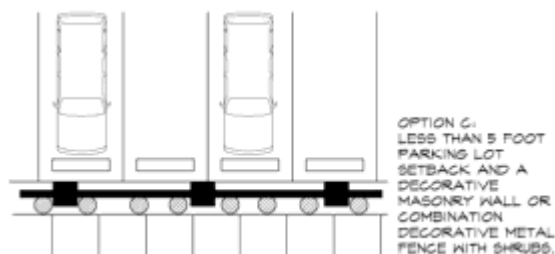


Figure 48 Typical Reduced Landscape Strip – Requiring Fence

K. Plazas, terraces, patios and other paved areas

- (1) Public hardscapes shall be detailed with decorative pavers, low walls, seating, etc. to create inviting open spaces.

- (2) Designs shall compliment the surrounding facilities and buildings and are subject to review and approval by the city planner.
- (3) Anti-vandal devices that discourage skate boards and other similar uses should be integrated into designs of steps, cheek walls, and railings.

L. Fountains

All publicly accessible outdoor fountains are subject to these requirements as well as all applicable local and state codes and standards:

- (1) All fountains must be designed by qualified designers possessing experience with fountain mechanics.
- (2) All fountains shall be designed to account for “shut-down gain” and have overflows routed to sanitary sewers if they are using treated water.
- (3) Fountains should be designed to look attractive even when not operating so they are still attractive in periods of drought, winter, or repair.
- (4) Fountains with reservoirs large enough that they might attract bathers are required to provide visible but discreet regulatory warning signs forbidding bathing or related activities.
- (5) All fountains are required to be kept in working order and in operable condition at all times except when weather conditions make it impossible to operate or when required to be shut off for repair.

M. Parking Deck Landscaping/Screening

- (1) When an owner/developer decides to screen a parking deck wall or side they must provide a landscape area or bed with a minimum depth of 8 feet containing at least one understory or over story tree, as appropriate, and 8 shrubs per 40 linear feet, and a minimum of 90 percent living shrubs, groundcover, sod, and/or annual or perennial color in the landscape strip surface area.
- (2) The areas between the trees must be landscaped or grassed.
- (3) The trees shall be evergreen and columnar or pyramidal in shape and be at least 10 feet tall at the time of planting.
- (4) Trees employed to meet the screening requirement may be counted toward the street tree and overall density planting requirements.

N. Buffers

- (1) Buffers shall comply with buffer standards in Title 16 of the City of Wasilla Municipal Code except that the following provisions shall be in addition:
 - (a) A buffer shall consist of at least 50% evergreen species. In situations where existing buffers are mostly deciduous or mature trees with no understory, evergreen shrubs and trees shall be added.
 - (b) Any undisturbed buffer that is not 100% effective at screening at time of planting must be improved with additional plantings or fencing so that the view is fully obscured at 5 feet height.
 - (c) When gaps or large areas of the buffer contain no shrubs or trees or when the buffer has to be disturbed for a perpendicular utility crossing, the buffer must be replanted with shrubs and trees in sufficient quantity to screen the site completely at 5' height.
 - (d) A fence may be used in addition to plants to increase the buffering capabilities as desired.

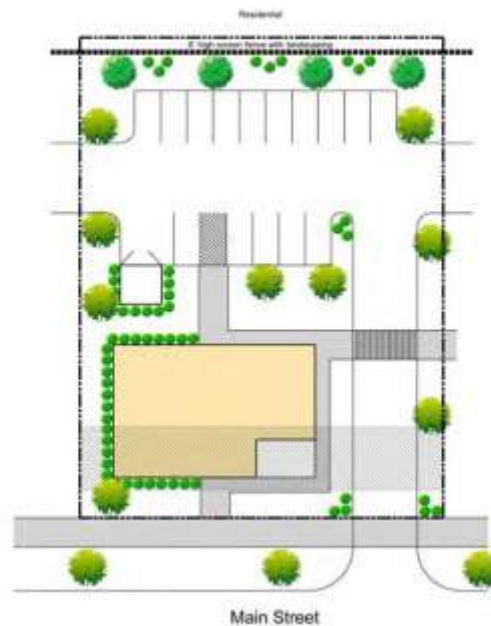


Figure 49 Landscape Buffers and Fences

O. Street Trees

Street trees are required along the streets in the Downtown Overlay District. Due to the difficult growing conditions for urban trees, it is important to use species which are well adapted for these conditions. Street trees for purposes of downtown Wasilla will be divided into two types. The first type is called the “canopy tree” which is the larger of the two types and will be used along sidewalks. These trees provide sufficient space for pedestrian movement under them and vehicular visibility.

- (1) Acceptable street trees and shrubs shall be selected from the approved lists.
- (2) A row of street trees along one road must be of a single species on any single property or block. (Note: other required trees on property need not be of a single species.) If previous developments have occurred on the same road, the species of trees approved and planted previously should be continued unless a different species is approved by city planner.
- (3) All matching street trees on one road frontage or in a continuous block shall be well matched in form and character.
- (4) Street trees (overhead canopy trees) are required at a minimum of 50’ intervals or portion thereof, and spaced roughly equal distance between each tree. Spacing shall not be less than 35’ on center except in situations where specific screening of a building, utility, or equipment is required. Spacing of street trees placed along the same road shall be as close to equal as possible.
- (5) Street tree placement shall accommodate the clear zones required by site triangles.
- (6) No tree trunk shall be placed closer than 5’ from the back of curb.
- (7) No tree trunk shall be planted closer than 10’ from a building wall.
- (8) When street lights are present trees shall not be closer than 15’ from a street light and spacing of trees should correlate with lighting to create roughly equal spacing and regular patterns of lights to trees. Spacing shall be subject to the approval of the city planner.
- (9) All street trees to be installed shall be a minimum of three caliper inches. Replacement

trees for trees damaged by vandals, storms, pests, disease or vehicles shall be installed to match the existing trees when possible; or the largest size possible from locally available commercially grown sources.

- (10) Street trees planted in a sidewalk cut must be provided a minimum pervious area of 32 square feet measuring 4' by 8' with the longer side running parallel with the street. This area may be covered by gravel, mulch, or ground cover but grates are not permitted. Other coverings such as flexible pervious pavements may be approved by the city planner by special request.
- (11) Root barrier systems are required at the tree base when planted in sidewalk cuts (tree planters).
- (12) Developers planting street trees on public property shall guarantee them for a full year from time of substantial completion.
- (13) Street trees shall be limbed up above 5' for visibility and at least 7' in situations where they are over pedestrian zones.
- (14) In locations where street-side parallel parking occurs directly adjacent to a street tree, locate parking spaces so that car doors will not hit tree trunks.
- (15) Trees that are known to produce heavy crops of nuts, seeds, fruits or other significant organic debris shall not be acceptable for street trees.
- (16) All street tree planters shall be planted with a permanent evergreen ground cover and or annual flowers.

P. Approved Plant Lists

*See City of Wasilla Landscape Ordinance- **NEED TO CREATE LIST OF ACCEPTABLE TREES AND SHRUBS***

5 Lighting

A well-lit downtown promotes and enhances safety. Aesthetically pleasing light which does not create a glare or light pollution can create an ambiance that is inviting and even contribute to creating a sense of place. Selecting low wattage long life fixtures can save energy and promote sustainability in all development. Lighting should serve both the vehicular and pedestrian circulation. The consistent use of a coordinated family of lighting fixtures throughout downtown helps to further unify the area.

A. Lighting Standard Requirements

- (1) It is the policy of the City that all street and sidewalk lighting design shall be based on ANSI/IESNA RP-8-00.
- (2) All lighting designs for the downtown area must be submitted to the City for review with the necessary back-up material. Shop drawings, lighting design data, cut-sheets, etc. must be provided. Where the City's standard details are not applicable, the designer shall submit the appropriate cut-sheets(s) and the proposed lighting plans to the City for review. No design shall proceed without the City's approval of the lighting plan and photometric layouts.
- (3) All lighting fixtures used shall be as specified in this section or an approved equivalent. Substitutions must be approved by the DDRC and have equivalent maintenance requirements, luminaires, power consumption, and lamping requirements in order to avoid unnecessary long term maintenance complications.
- (4) Specific lighting fixture placement and fixtures cut sheets must be shown on the plans submitted for review.
- (5) All lighting fixtures must come with a manufacturer's warranty of at least 5 years on components, workmanship and finish.

- (6) All light level requirements are to be tested at ground level or pavement surface.
- B. Streetlight Requirements**
- (1) Street Lights shall be used along all roads.
 - (2) The light levels to be provided are to follow IES recommended guidelines.
 - (3) Streetlights shall be spaced roughly equidistant between all required street trees. Small deviations in regular spacing shall be permitted for previously installed utilities, streets, curb cuts, etc.
 - (4) Street lighting may be provided through both public and private lighting providers.
 - (5) Street lighting shall be sufficient to provide for safety at intersections and heavily trafficked areas for both vehicles and pedestrians.
- C. Store front Lighting**
- (1) Window display lighting should be the dominant light. Other elements of the building should have more subdued lighting.
 - (2) Lighting shall be used in the storefront display window, around signage, entrance, and as an accent for building details.
 - (3) The lighting shall be indirect from either concealed fixtures or from decorative light fixtures in keeping with the style of the building.
 - (4) Storefronts shall utilize building mounted lighting to uplight any building mounted signage including addresses and businesses name.
 - (5) Protruding fixtures should complement the architecture and if necessary be painted in a weather resistant finish. All mounting hardware should also be appropriately weather resistant.
- D. Parking lot lighting**
- (1) Lighting in the parking lots and areas of pedestrian circulation shall be sufficient to avoid areas less than 0.2 Foot Candles and provide light levels adequate for safety.
 - (2) Shall not allow the use of incandescent or high pressure sodium (HPS) fixtures.
 - (3) All parking lot lighting in the parking lot or lots of one development shall be accomplished with the same fixture or family of fixtures when more than one type is used.
 - (4) All parking lot lighting shall be accomplished using cut-off style fixtures and anti-glare shields as needed to reduce light spill onto adjacent properties.
- E. Pedestrian/Sidewalk Lighting**
- (1) Pedestrian lights shall be used primarily for lighting sidewalks and public plazas near the street and shall maintain a minimum 0.2 foot candles on all areas of the sidewalk.
 - (2) Pedestrian lighting shall be installed when new or upgraded sidewalks are constructed.
 - (3) Pedestrian lighting shall be spaced to provide adequate light levels for sidewalks based on providing not less than 0.2 foot candles on any part of the sidewalk (exclusive of areas shaded by trees). Spacing shall be roughly equal and provide safe distance from required street trees.
 - (4) If designed with the fixture extending at an angle from the pole, the light fixture shall overhang the sidewalk.
 - (5) Fixtures in the public right of way shall be a maximum height of 16 feet and shall match or otherwise compliment the approved street light standards.
 - (6) Fixtures on private property shall also match or compliment the approved lighting standards however they may at times deviate to match or compliment the architecture of the building subject to the approval of the city planner.

- (7) On intra-parcel sidewalks, fixtures shall be installed to maintain a minimum lighting level on the pathway of 0.2 foot-candles and may be of any style appropriate to the architecture of the project.
- (8) Pedestrian lighting shall be located outside the required clear zone of sidewalk. The street furnishings zone is the preferred location.

F. Cut-Off Style Lighting requirements

Light pollution is an unwanted consequence of outdoor lighting and includes such effects as sky glow, light trespass, and glare, which are defined below:

- Sky glow: Brightening of the night sky caused by natural and human-made factors.
 - Light Trespass: Light being cast where it is not wanted or needed.
 - Glare: Objectionable brightness.
 - Disability glare: Loss of visibility from stray light scattered within the eye.
 - Discomfort glare: Sensation of annoyance or pain induced by overly bright sources.
- (1) In an effort to lead by example, the City has elected to adopt lighting standards similar to those developed around the country to help limit light pollution, glare and energy waste.
 - (2) Therefore all public street and pedestrian lighting shall be of the cut-off style and shall not create light pollution or glare per IES Guidelines.
 - (3) Any light fixtures submitted for approval by the Public Works Director shall meet the IES Cut-Off Style Guidelines and requirements.

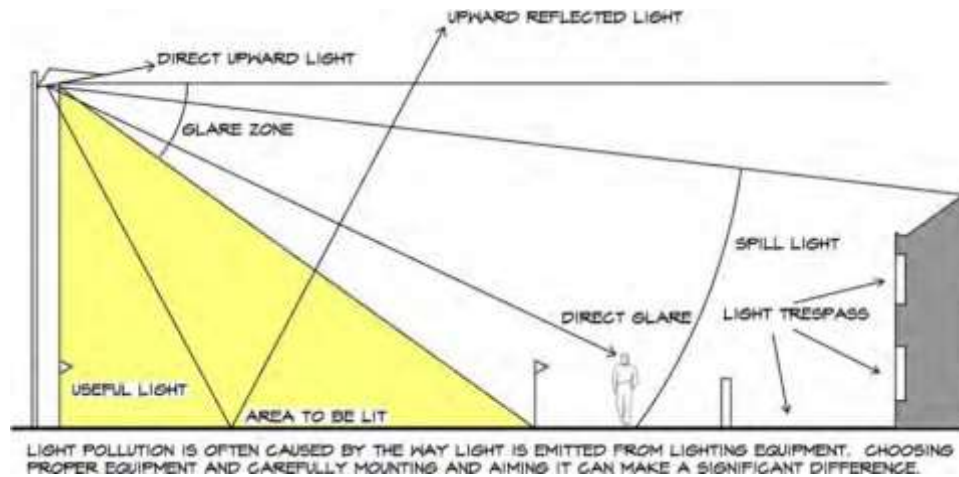


Figure 55 Light pollution can be eliminated or reduced by choosing the right fixtures

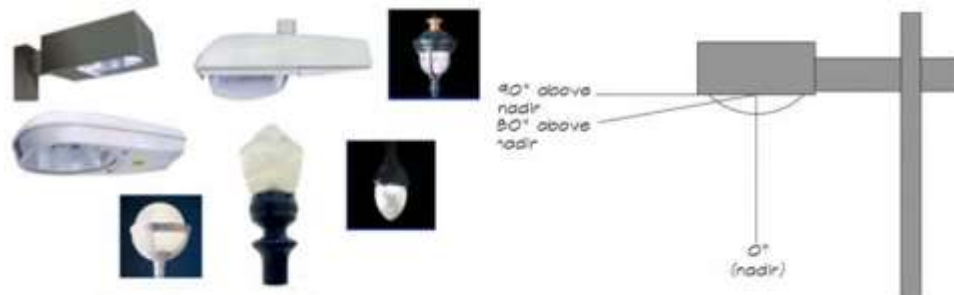


Figure 56 Sample of Cut-Off Style Light Fixtures and Diagram

6 Signage

Signs are an integral part of any downtown business area. A business sign can call attention to a store and help establish a business brand or image. Merchants often try to “out do” each other with large flashy signs. However, bigger, brighter, and attention grabbing signs are not better are often harmful and detract from the quality of life in the area. In the Downtown Overlay District, smaller, high quality, pedestrian-oriented signs that are often integrated with the building or high quality well detailed monument signs are required.

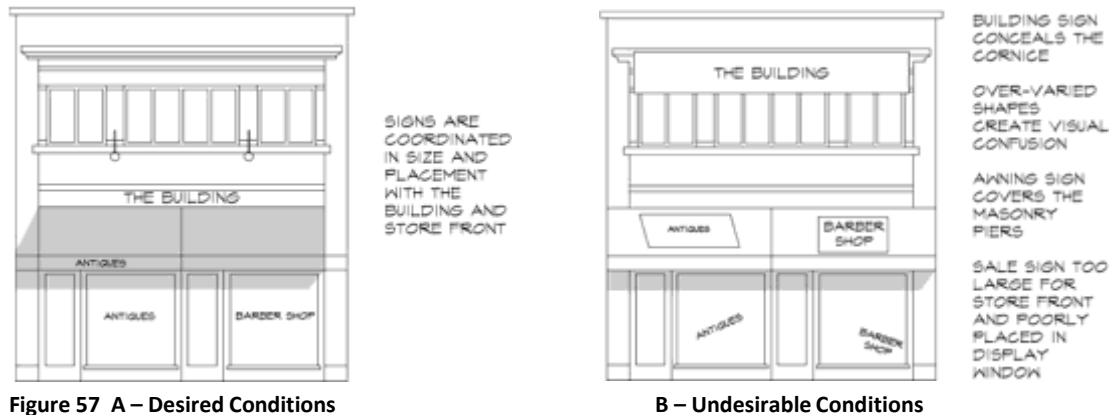


Figure 57 A – Desired Conditions

B – Undesirable Conditions

A. General requirements for all Signage

- (1) Requirements of the current sign regulations in WMC 16.32 apply to the Downtown Overlay District except as follows:
 - (a) Stanchion signs are not permitted in any part of the Downtown Overlay District except those that are grandfathered.
 - (c) Wall signs may project beyond the building face up to six (6) inches. Awning signs may be placed on any surface of the awning as long as that awning does not project over the public right-of-way or building set back line.
 - (d) The maximum height of a wall or awning sign shall be twenty four feet (24’). The minimum height to the bottom of a wall sign shall be eight feet (8’).
- (2) If a rear customer entrance is provided, a small version of the main entrance sign may be used to denote the store’s rear entrance.

B. Sign Colors

- (1) Colors shall be consistent with the architecture and theme of the building.
- (2) Day glow and fluorescent colors are not permitted.
- (3) Spots, stripes, lines, and similar patterns of paint shall not be permitted on signs.

C. Sign Materials

Materials shall not be limited except that all materials shall be appropriate for use in wet conditions if they are to be exposed to the elements. Signs may be made of wood, plastic, metal, or stone or any combination thereof.

D. Lighting of Signs

- (1) Signs shall be indirectly lighted.
- (2) Back lighting or internally lighting signs is not permitted except when signs are incorporated into awnings or on buildings and indirect lighting is not possible.
- (3) Free standing signs shall be lit indirectly and not backlit.
- (4) Neon Signs
 - (a) Neon signs are not permitted outside of any buildings.

- (b) Neon signs may be used inside of businesses as long as they are not larger than 48" in either direction and no more than one per 10 percent of the window space is used.

F. Digital Signs

- (1) Digital or electronic signs on which the display changes intermittently are not permitted except by special approval by the Planning Commission.
- (2) Large TV's or similar projection devices with screens over 32" in any dimension including digital signs placed inside of buildings that have windows or openings shall be placed and angled so the screen is not readily visible from the street. Any such device of any size, used as a sign with messaging is not permitted.

G. Directional Signage

Directional or way finding signage shall be provided as needed for a site requiring such signage.

- (1) This signage shall not include any logo, emblem or other marketing information and is only to be used for directing traffic.
- (2) Different way finding signs shall be designed to complement each other and the architecture.
- (3) Colors and materials shall match or compliment other site furnishings.
- (4) Way finding signs shall not exceed 6' in height nor exceed 4 square feet each.

H. Free Standing or Monument Signs PROHIBIT IN DOWNTOWN???

The following standards apply:

- (1) Properties with lots smaller than 40,000 square feet are not permitted free-standing signs.
- (2) All properties 40,000 square feet or larger with street frontages up to and including 500 linear feet are permitted one free-standing sign per street frontage.
 - (a) Height: Maximum 6' from finished grade,
 - (b) Maximum sign square footage is 32 square feet.
 - (c) Signs with supporting members equal to or greater than one-third the width of the sign face are allowed.
- (3) Properties with street frontages of 501-1,000 linear feet are permitted one free-standing sign per street frontage.
 - (a) Maximum sign square footage is 64 square feet.
 - (b) Free-standing signs shall not exceed eight (8) feet in height
 - (c) Signs with supporting members equal to or greater than one-third the width of the sign face are allowed.
- (4) Properties with street frontages over 1,000 linear feet are permitted one free-standing sign per street frontage.
 - (a) Maximum sign square footage is 72 square feet.
 - (b) Free-standing signs shall not exceed eight (8) feet in height
 - (c) Signs with supporting members equal to or greater than one-third the width of the sign face are allowed.
- (5) Note that in all circumstances if the location of the sign is lower than the road, the height of the sign may be increased 1 foot for every 2 feet in grade difference between the two locations up to a maximum of 12' sign height.

I. Prohibited Sign Types

- (1) Signs with supporting members less than one-third of the width of the sign face (known as "pylon, pole, or lollipop" signs) are prohibited.

J. Wall Mounted Signs



Figure 59 A – Acceptable Examples

B – Typical Acceptable Wall Sign

- (1) Every business is entitled to have one street-facing wall sign per street frontage.
- (2) Any business without a free-standing sign or a protruding sign and has more than one exposed side may have two wall signs which shall meet the following standards:
 - (a) Both wall signs may not be on the same wall.
 - (b) The street facing wall sign shall not exceed 5 percent of the applicable wall area.
 - (c) The non-street facing wall sign shall not exceed 5 percent of the applicable wall area.
 - (d) The total of both signs shall not exceed 225 square feet.
- (3) Wall signs may be incorporated into a retaining wall or other site hardscape feature, as recommended by the city planner.
- (4) In lieu of any free-standing signs, a building containing four or more tenants shall be allowed additional wall sign area to place the name of their center on the building. The allowable sign area shall be 5 percent of the applicable wall area, not to exceed 180 square feet, whichever is less.

K. Awnings and Canopies

All graphics within the entire illuminated area of the awning or canopy shall be calculated toward the allowable wall sign area.

L. Protruding Signs

- (1) Protruding signs are permitted and encouraged in the Downtown Overlay District.
- (2) Protruding signs may not protrude more than 6' from a building face; the lowest portion of any such sign shall be a minimum of 8' above the sidewalk or pedestrian zone.
- (3) Protruding signs must be securely fastened to a structure capable of supporting the weight and tension created by the sign.
- (4) Protruding signs shall be free to artistically highlight the businesses brand and style. The use of intricate metal work, carved wood, wrought iron and similar designs is encouraged. The following examples illustrate the type of sign desired in the Downtown Overlay District.



Figure 60 A thru E – Typical Examples of Acceptable Signage

M. Window Signage

- (1) Window signs are any signs placed on the glass both inside and out.
- (2) No signs are allowed on the outside of windows at any time.
- (3) Seasonal signs and messages related to holidays or special events may be painted on windows as long as the message area does not exceed 30% of the window.

N. Address and Unit Numbering CHECK WITH FIRE CHIEF REGARDING SIZE OF NUMBERS

Every commercial or retail building shall have the street address or building number clearly visible to the street for which the address applies.

- (1) The street address numbers shall be mounted or painted on either the free standing sign facing that street or placed above or adjacent to the main entrance door on the corresponding street.
- (2) The address shall not be displayed on signs that abut or face the right-of-way of other streets to which the address does not apply.
- (3) The size of the letters shall be suitable for viewing from the street and be a minimum of six (6) inches but not more than twelve (12) inches.
- (4) The color and material must make the numbers clearly stand out from the wall or sign in the background but should not be obtrusive in color. Black or white or simple solid colors are preferred. Pin mounted metal numbers are the most desirable. Tiles with painted numbers are also acceptable.

O. Artwork Perceived as Signs

Sometimes artwork is constructed in order to attract business and not simply to beautify the open

space. When an artwork such as a sculpture is greater than one story or approximately 8' in height or 12' in width, it tends to become an icon and therefore more of a sign than a piece of art. It is the intent of the City of Wasilla to control these types of elements. Therefore:

- (1) Any sculptural or painted artwork exceeding 8' in height or 12' in width must be qualified as public art before it can be permitted.
 - (a) To be qualified as public art, a scaled design concept or mock-up must be presented to the Planning Commission for review.
 - (b) The Planning Commission will meet to make the determination.
- (2) Any works perceived by the Planning Commission to be a sign shall not be permitted to be constructed. A typical example of artwork subject to this provision would be a large fish sculpture in front of a seafood restaurant.



Figure 61 Example of Questionable Public Art

7 Building Construction Standards

Downtown structures are traditionally located adjacent to sidewalks and neighboring buildings. Buildings located along sidewalks clearly define the street edge. This building placement also creates a pedestrian-friendly atmosphere that entices people to explore and invites them into the buildings. Throughout the United States these type of design symbolizes “downtown” in the minds of most citizens and Wasilla requires these design elements to be incorporated into new construction in the Downtown Overlay District. The goal of the Downtown Overlay District Design Standards is to create unique, well-designed building facades that will remain viable in the future and ensure the economic stability of the downtown area for future generations.

A. New Construction Standards for Buildings and Structures

- (1) Building Height

The appearances of individual buildings collectively create the visual image of an entire downtown. Varying building heights in the Downtown Overlay District will help create a pedestrian scale with architectural interest.

 - (a) Buildings are encouraged to be two or more stories.
 - (b) The minimum height of buildings in the Town Center and Main Street Village sub-districts with less than 5,000 square feet is two floors or 25 feet, whichever is less.



Figure 62 A – Examples of building variation



B- Example 2 story with prominent features

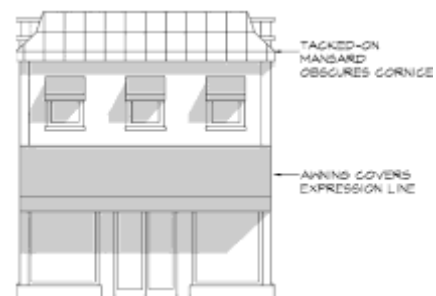
(2) Architectural Styles

The Downtown Overlay District does not require buildings to be designed to a particular style and instead requires buildings to be built to provide a diversity of styles with the particular dominating theme of timelessness. The intent is that there is enough diversity of both traditional and modern styles so that a change in any one building will not negatively impact the style and overall character of the downtown area. Therefore:

- (a) No building may match the exact style and treatments of its neighbor.
- (b) Owners are encouraged to create diversity of styles between buildings but also to include a small amount of similar details or materials that compliment or match neighboring buildings in order to promote a sense of continuity.
- (c) When a particular style is selected by an owner it should be true and architecturally correct to the period.
- (d) Occasionally it is appropriate to interject a building that radically departs in style and or materials from the adjacent neighbors. These buildings help develop the sense of character and create the talking pieces and interest of the overlay district. They also help to break up the strip center feel that a block of similar buildings can create.



Figure 63 A – Proper Treatment



B – Improper Treatments

(3) Building Harmony

- (a) Out-parcel buildings, which are identified on a site plan approved pursuant to a single zoning case, shall have architectural features consistent with the principal buildings.

(4) Building Scale and Massing

The use of smaller scale building components reduces the perceived scale of large buildings, and maintains the sense of pedestrian scale in a downtown. Variations in building mass enhance the visual image of the downtown by creating architectural interest and vitality. A simple long wall is not permitted in the Downtown Overlay District.





Figure 64 A – Not permissible

B – Desired example with variation

- (a) Discontinuous building massing for large buildings: Buildings shall reduce their perceived height and bulk by dividing the building mass into smaller scale components.
- (b) Building walls exceeding 75 continuous horizontal linear feet shall utilize offsets, such as projections, recesses, and changes in floor level.
- (c) In addition, any commercial building with primary tenant spaces greater than 50,000 square feet shall be structurally designed to be easily divided into smaller tenant spaces.
- (d) Discontinuous building massing for small buildings: Individual buildings may share the same setback for any 75-foot linear span as measured along the curb line. Beyond seventy five 75 linear feet, individual buildings shall setback a minimum of two feet greater or lesser than the adjacent building's setback.



Figure 65 Example showing minimal changes in building faces and awning to create character.

(5) Building Materials

The use of quality building materials relating to trends in established historical materials found on existing downtown buildings is essential to maintaining a consistent relationship among the downtown structures. Each building should use materials and design that compliment that of its neighbor with few exceptions.

- (a) Prohibited Materials:
 - (i) Prohibited exterior building materials include materials which are not textured; non-architectural metal panel systems, as-cast smooth concrete masonry or plain reinforced concrete slabs, aluminum, plywood, press-wood or corrugated steel (exceptions: mechanical penthouses & roof screens).
 - (ii) Prohibited exterior building components, if visible from any public street, include: steel gates, burglar bars, chain link fence, and steel roll down curtains. If not visible from any public street, such treatments are allowed.
 - (iii) Imitation brick panels, faux (cast concrete) stone, rough textured wood siding, concrete pavers (used vertically) and traditional metal and plastic siding are prohibited
- (b) Traditional materials such as glass, clay brick, terra cotta, stucco, and natural stone shall be used.



Figure 66 A – Example with materials variations B – Example showing brick and precast

- (c) Four-sided design is required and discontinuity of building materials is prohibited. For example, if brick is placed as the major element on the primary front wall of a building it must continue on all four sides in similar fashion. However, if a material is only used as an accent and is not the dominant material it does not have to be re-used on other walls.
 - (d) All exterior walls and facades shall be required to use a minimum of two of the following elements: brick, glass, wood, real stucco, or stone. No single element shall constitute greater than 80 percent of the total of the elements used.
 - (e) Exterior walls for all new buildings shall consist of a minimum of seventy percent (70%) of one or a combination of the following durable materials: brick; tile; stone; textured traditional cement stucco (real stucco); architectural concrete masonry with fluted, split-face, or broken face finish; portland cement plaster and lath systems; architectural (either pre-cast or tilt-up) concrete either fluted or with exposed aggregate finish; or fiber cement-board.
 - (f) Sloped roofs shall be standing seam metal, slate, concrete roof tiles, or composition shingles.
 - (g) Exterior building walls, decorative elements, and parapet or cornice are exempt from the building material requirements if they meet the following conditions:
 - (i) If the exterior wall is not visible from any public right-of-way; and
 - (ii) If the exterior wall does not include a public entrance.
- (6) Roofs and parapets
- (a) Commercial buildings shall comply with the following standards:

- (iv) Variation in building rooflines for small buildings: Individual buildings may share the same roofline and roof pitch for any 100-foot linear span as measured along the curb line. Beyond 100 linear feet, individual buildings shall vary the roofline and roof pitch from that of the adjacent building's roofline and roof pitch.
- (v) Variation in building rooflines for large buildings: Variation in the roofline of buildings and offsets in pitched roofs and gables shall be required. Parapets in building masses exceeding 100 continuous linear feet shall be varied in height and projection and shall use decorative elements such as crown moldings, dental, brick soldier courses, or similar detail.
- (vi) A decorative parapet or cornice shall be constructed along all flat roof lines.
- (vii) Roof-mounted equipment shall be screened from view by a decorative parapet or cornice (point of view shall be across any public street, from the edge of right-of-way furthest from the building).
- (viii) Roof line and building offsets shall be varied by a minimum of two feet for every three tenant spaces or 75 feet of building face, whichever is greater.

(7) Storefronts

Variations in individual storefront designs create architectural interest and will help draw businesses and visitors to the unique downtown area. Storefronts should appear as if they were constructed over a period of time. Storefront differentiation may be accomplished by utilizing a variety of different building materials, paint colors, parapet heights, setbacks, awning types, and window sizes and spacing.



Figure 67 Example showing typical desired storefront and awnings

- (a) Repetitive, uniformly designed storefronts are not permitted in the Downtown Overlay District.
 - (b) Buildings constructed to accommodate more than one tenant shall be designed with substantial architectural differentiation to clearly delineate each individual storefront.
 - (c) Delineation of building floors at the third story above sidewalk level and lower shall be executed through windows, belt courses, cornice lines or similar architectural detailing.
- ## (8) Street-side Facades of Commercial Buildings

Most building elevations will be visible from public and private streets, sidewalks, parking areas and/or adjacent buildings. Therefore, all sides of a building are important to the downtown's overall appearance. Building elevations seen by the public are to be made interesting and attractive through the use of windows and architectural features.



Figure 68 Example of acceptable architectural treatments

- (a) Each building elevation shall be fully designed and consistent with the building's primary façade. Discontinuity of building materials or architectural design elements is prohibited.
- (b) First floors and street level floors fronting a street or sidewalk shall not have blank walls.
- (c) Building materials, architectural details and patterns shall be varied per tenant or every 75 feet, whichever is greater.
- (d) New, remodeled and rehabilitated buildings, parking decks, and other structures shall employ street level design elements that relate to a pedestrian scale through the following means:
 - (i) First floor building walls shall have window and door openings of at least 50 percent of its length or one of the other options described below.
 - (ii) Works of art, fountains and pools, street furniture, landscaping and garden areas, architecturally articulated facades, and display areas may also be considered in meeting this requirement.
 - (iii) The length of façade without intervening fenestration or entryway shall not exceed 20 feet.
 - (iv) Fenestration shall be provided for a minimum of 75 percent of the length of all street frontages. Fenestration shall not utilize painted glass, reflective glass or other similarly treated or opaque windows. Entrances may be counted towards fenestration requirements.
- (9) Encouraged Architectural elements
Encouraged architectural elements include: columns, arcades and covered entry-walkway, arches, facade offsets, windows, balconies, undulating walls, clock towers, cupolas, and courtyards.
- (10) Entrances
Entrance doors and architraves (architectural door surrounds and moldings) are critical design elements for a building's facade. Entrance doors provide a sense of entry both

visually and physically. Doors should be pronounced and welcoming. They should also be recessed to allow space for opening the door, to provide pedestrians cover and shelter, and to create visual interest.

- (a) Architraves consist of the door casing or brick molding and the surrounding trim. Architraves may be recessed into the wall plane or applied on top of masonry cladding. Small stock trims and standard metal casings should be avoided. Varying door types and architraves from storefront to storefront will differentiate each facade, giving each shop its own unique character.
- (b) Primary Entrance Orientation: The principal entry area of a building shall be articulated and express greater architectural detail than other portions of the building. Individual tenant space entries shall also be articulated and express greater architectural detail than the building wall.
- (c) Entrances shall be emphasized with architectural details and oriented toward sidewalks and public rights-of-way.
- (d) The primary pedestrian access to all sidewalk level uses and business establishments with public or private street frontage shall be directly accessible and visible from the sidewalk adjacent to such street.
- (e) On corner buildings where both streets are prominent owners are encouraged to locate the main entrance doors at the intersection as illustrated below. In locations where corner buildings are located on two streets where one is significantly dominant to the other the entry should face the dominant street. In both circumstances a rear entry may also be provided for circumstances having significant parking to the rear.



Figure 69 Example of appropriate treatment of a corner building

- (f) When parking is situated behind a building, a secondary entrance convenient to the parking lot may be provided; however, the main storefront facade shall be oriented toward the street of which the building is addressed in order to enhance pedestrian activity in the downtown.
- (g) At least one public (e.g. open to the public during normal business hours) pedestrian oriented entrance shall be located on the street side of the building. There shall be

pedestrian access directly from the sidewalk to the principal building entrance.

(h) Entrances shall have; awnings, canopies, or other types of covered-projected entry.

(11) Doors and Windows

The traditional downtown storefront is comprised primarily of glass. Doorways and display windows create a visually interesting atmosphere for pedestrian shoppers and may showcase retail products and services. Fenestration (the arrangement, proportioning, and design of windows and doors) is important to creating an atmosphere that promotes the economic success of a downtown business district.

(a) The use of mostly glass on the first-floor facade is encouraged. Transom windows placed above display windows and raised panels below create accurate architectural details and interest. Storefront glass display windows should be framed by molding painted in accent colors.

(b) Transom windows, transom panels and sidelights are traditional design elements that add accurate detail to entrances and display windows. Transom windows may be decorative in nature and do not need to function. When used, transom lights should be placed above the entrance door or display windows. They may also be placed above an awning so that the transom remains visible. Sidelights may be all glass or a combination of glass lights and raised panels.

(c) Upper-story windows of downtown buildings can create repeated patterns that tie together downtown facades. With the exception of multiple-story foyers, fixed pane sashes are prohibited; instead the use of decorative lunette windows, transom windows and Palladian windows are encouraged.



Figure 70 Example showing prominent 2nd story windows and focal points.

(d) Doors:

(i) Entry doors shall be recessed or the building face set back from the sidewalk clear zone to allow space for opening the door and to provide pedestrians cover and shelter.

(ii) Primary entry doors for commercial uses shall be composed of more than 50 percent glass.

(iii) Door surrounds shall include a combination of sidelights, transoms, paneling, pediments or other decorative features.

- (e) Windows:**

 - (i)** Commercial storefronts shall be composed mostly of glass with wood or metal glazing systems.
 - (ii)** Large display windows shall be incorporated on the ground floor of all commercial buildings.
 - (iii)** Display windows shall be framed with molding or architectural details to visually separate the ground floor from upper stories.
 - (iv)** The bulkhead above and below the display windows should consist of brick, stone, raised paneling or trim details.
 - (v)** Prominent display windows, bay windows, transom windows and sidelights are required.
 - (vi)** Wood or metal muntins and mullions shall be used; vinyl is not permitted.
 - (vii)** A combination of transom windows and panels shall be used to compliment storefront windows.
 - (viii)** Building facades shall be designed with consistent spacing of similar shaped windows with trim or other decorative molding on all building stories.
 - (ix)** Upper-story windows shall have a uniform appearance with the same number of panes, similar trim style and complimentary decorative colors.
 - (x)** Movable window sashes are required on upper-story windows; vinyl-clad or fixed panes are not permitted.
 - (xi)** Reflective glass is prohibited on ground floors of all buildings. A minimum of 60% of ground level facades shall be transparent glazing.
 - (xii)** For building faces oriented toward a street, windows shall be placed at distances no greater than ten (10) feet apart.
- (f)** Doors and windows shall be prohibited from being flush with the exterior walls and facades. All doors and windows shall utilize design trim treatments or offsets to accentuate said doors and windows.
- (g)** The Planning Commission may grant design exceptions to the door and window design criteria if a proposed project is a unique and exceptional design concept that architecturally enhances the downtown area.
- (12) Projections**

The use of awnings, decks, porches, and balconies on downtown buildings may provide protection from rain and sun, making the downtown shopping experience more enjoyable. An awning also helps to reduce the scale of the building. Balconies can serve the same purposes as an awning and function to serve the second floor.

 - (a)** Canvas, vinyl, and decorative metal awnings are permitted.
 - (b)** Translucent, plastic, and wood awnings are prohibited.
 - (c)** Support poles are prohibited.
 - (d)** Dining canopies are awnings that extended over dining areas that can be permanent or moveable so that they may be retracted in good weather or added during inclement weather to protect diners from the elements.

 - (i)** Permanent awnings unique to each storefront shall be used; temporary awnings, tarps, or tents are not permitted.
 - (ii)** Dining canopies are exempt from size requirements, but all dining canopies must be approved by the city planner.

- (e) Upper story balconies hung from exterior walls shall extend no greater than six feet from the building façade.
 - (f) Balcony railings should be constructed of decorative wood, cast concrete, cut stone, or metal materials. Plastic is not permitted.
- (13) Porches and Decks
 - (a) All porches and decks must be maintained.
 - (b) The top hand rails of railings for porches and decks of dining areas for restaurants shall not be constructed of wood.
 - (c) Decks and elevated porches are included as building architecture and subject to all building set back and “build-to” lines.
- (14) Architectural Accents
 - (a) The trim and sculpted or ornamental elements added to any building shall be appropriate in scale, detailing, and color and shall be accurate elements for the style selected by the architect or owner.
 - (b) The application of elements of art to the face of a building that would not normally be architecturally appropriate may be acceptable only if approved by the Planning Commission.
- (15) Colors
 - (a) Building color should be carefully chosen so that each building complements that of its neighbor. An entire block of buildings should blend together even though each building will possess its own identity. The main building is usually painted in more subdued earth tones or brick shades and building trim is painted in a decorative manner in a contrasting shade lighter or darker than the main building.
 - (i) Paint colors shall generally be selected from “earth tone colors”. Earth tones are the colors most typically found in soils and soil minerals such as browns, reds, tans, grays and warm whites.
 - (ii) Bright garish colors are generally not permitted.
 - (iii) For purposes of the design review the colors are classified by the following categories:
 - Base Color – Predominant wall color used on the majority of building surface.
 - Trim Color - Used on window trim, fascia, balustrades and posts.
 - Accent Color - Used on signs, awnings and door only.
 - (iv) A building’s colors shall complement its neighbors, but shall not duplicate the same color scheme of an adjacent building.
 - (v) The Planning Commission may grant exceptions to the approved color palate if desired colors meet the intent and goals of the Wasilla Downtown Area Plan.
 - (vi) Primary or fluorescent colors shall not be employed except on sign faces, awnings, canopies or as accent colors (not to exceed 10% of building faces exclusive of window areas).
 - (vii) Patterns such as polka dots, striping or similar are generally not permitted. **All painted color schemes must be approved by the city planner.**
 - (viii) Murals – Murals may be acceptable if the concept is approved by Planning Commission. Murals over 8’ in height or 12’ in width are subject to the sign standards and require additional approvals.



Figure 71 Left – Generally Acceptable



Right Generally Not Acceptable

- (16) Accessory Buildings and Structures
- (a) Accessory buildings and structures shall not be located in any yard adjacent to a public street.
 - (b) Accessory buildings and structures shall be subject to all set back and “build-to” lines of the property.
 - (c) Accessory buildings and structures shall be designed and detailed to complement the primary buildings.

B. Standards for Existing Buildings

The Downtown Overlay District includes areas containing existing buildings, structures and amenities including homes, businesses, walls, fencing, lighting, sidewalks, drives, etc. These elements constructed prior to the implementation of the Downtown Overlay District shall be considered “existing buildings”. As such they may be exempted from some of the requirements of this article as detailed below.

- (1) Exemptions for Existing Buildings
- Except as noted below, all existing buildings or portions thereof are exempted from Section xxx until such time that they are substantially renovated. Substantial renovation shall mean a major change involving more than 50% of the building. Any new portion of such building is subject to all sections of Section xxx.
- (2) Renovation requirements
- (a) All buildings, on being substantially renovated, shall conform to all of the requirements of Section xxx unless otherwise approved by the Planning Commission except as follows.
 - (b) Building and Structure Locations: The locations of existing buildings and site amenities including parking, curb-cuts, sidewalks, utilities, loading areas, and walls shall be considered grandfathered and will be exempt from the requirements of this article until such time when the original building is completely demolished.
- (3) Minor Changes and Repairs
- (a) A minor repair using similar or like materials and colors does not require review. For example repainting in the same color, covering graffiti, replacing a single broken widow sash, repointing old brick, etc. do not require review.
 - (b) The following specific changes in the exterior finish require review and approval by the city planner:
 - (i) Change in visible exterior surface finish materials (ex. stucco over brick)
 - (ii) Changes in exterior paint colors including trim
 - (iii) Changes in sets of windows
 - (iv) Changes in doors
 - (v) Changes in canopies or awnings
 - (vi) Changes in balconies, decks and porches

8 Sustainable Maintenance Requirements

Adequate ongoing maintenance is critical to the success of any built project. Without proper regular cleaning, maintenance and repairs to buildings, pavement, furnishings, and landscaping these elements can quickly become unsightly and even unsafe. Deferred maintenance can lead to unsightly conditions and have a substantial negative effect on the surrounding properties. Additionally, regular maintenance is part of any good sustainability program. Systems that provide returns to the users in the form of lower energy costs and reduced lifecycle costs require maintenance to keep them performing optimally.

Therefore the City requires that all owners maintain their properties in a clean and working condition. All areas of a property within the Downtown Overlay District visible from a public right-of-way are subject to the provisions of this section.

A. All properties vacant or otherwise

- (1) All grassed areas shall be mowed regularly and no grass or weeds may be allowed to exceed 8" in height.
- (2) Leaves and debris from the regular maintenance of trees, shrubbery and grass must be removed from paved areas and lawns and properly disposed of or composted off site.
- (3) Fall leaves are to be removed from parking lots, sidewalks, plazas, and streets weekly during the leaf drop season to avoid the potential for damage that leaves may cause which include: clogged storm drains, dangerous pavement conditions and the creation of conditions favorable for fungus to develop in landscape areas.
- (4) Natural (wooded) areas shall be minimally maintained as follows:
 - (a) Dead and downed trees, hazardous (as determined by an ISA Certified Arborist) trees, and large dead branches shall be removed from the sites.
- (5) Obvious vandalism including graffiti and damaged furnishings shall be removed, repaired, and or painted over; graffiti shall be painted over with a color matching the predominant base color within 15 days of notice by the City.
- (6) Dumping: Any waste materials that have been dumped on a site shall be removed from the site within 15 days' notice from the City.
- (7) Site elements not required to be maintained by the City or utility company such as site furnishings, light fixtures, or other similar amenities that are visible from a public right-of-way and have been broken, vandalized, or severely damaged shall be either removed or repaired within 90 days of notice by the City.
- (8) Debris caused by storms, such as downed trees, limbs, roofing, etc. occurring in the front yard shall be removed from the site within ten business days.
- (9) Fencing and walls, temporary or otherwise (excepting silt fence and tree protection fencing) shall not be allowed to fall into disrepair. Damaged, broken, leaning, rotten or otherwise unsightly fencing and walls must be repaired within 30 days' notice by the City.

B. Vacant, cleared, and undeveloped lots

- (1) All vacant, cleared, and undeveloped lots, which are not used for parking, shall be grassed and landscaped.
- (2) No debris or stock piles of materials, other than stone, gravel, soil and brick reclaimed from the existing buildings and pavement, may be left on the site unless a land disturbance or construction permit has been issued. Any such stock piles stored on a site prior to issuance of a construction permit shall be adequately screened using fencing or other means so as not to be visible from an adjacent public right-of-way at typical eye level.

C. Maintenance Standards for All Developed Property in the Overlay District

The maintenance of various street furnishings, pavements, structures, and landscapes is to be split between the City and the property owners. In an effort to correctly place responsibility for maintenance between the city and property owner, the following division of responsibly has been established.

- (1)** Elements to be maintained by the City
 - (a)** Street Trees or any trees – within the Public right-of-way
 - (b)** Curb and Gutter - along public streets and within the Public right-of-way
 - (c)** Public Signs
 - (d)** Public Street paving within the Public right-of-way
 - (e)** Public Crosswalks including pavers, striping and signals within the Public right-of-way
 - (f)** Bus Stops
 - (g)** Public On-Street Parking Areas and Striping within the Public right-of-way
 - (h)** Public Trash Receptacles within the Public right-of-way
 - (i)** Landscaping areas within the Public right-of-way between the street and sidewalk.
 - (j)** Benches and street furniture within the Public right-of-way
 - (k)** Sidewalks, pedestrian pavers, fencing and walls within the Public right-of-way
 - (l)** Street, sidewalk and public lighting within the Public right-of-way

- (2)** Elements to be maintained by the property owner

The owner of each designated overlay district property or site, shall keep in good repair all of the exterior portions of such property and site and all interior portions thereof which, if not maintained, may cause or tend to cause the exterior portion of such property or site to deteriorate, decay or become damaged or otherwise to fall into a state of disrepair.

- (a)** The following are the responsibility of the property owner:

- (i)** Removing trash and ice from sidewalks fronting owner's property
- (ii)** Any building improvements
- (iii)** Awnings
- (iv)** Business and way-finding signs
- (v)** Lighting attached to the building or on the owner property.
- (vi)** All turf, lawn or grass including that which extends into the public right-of way between the owner's property and the sidewalk or street.
- (vii)** All woody landscaping other than that which lies in the Public right-of-way shall be maintained by the property owner of the abutting property.
- (viii)** Potted plants or planters which the owner places between the Public right-of-way line and the public sidewalk's clear zone shall be maintained by the owner.
- (ix)** All trees and shrubs planted on private property are the maintenance responsibility of the property owner.

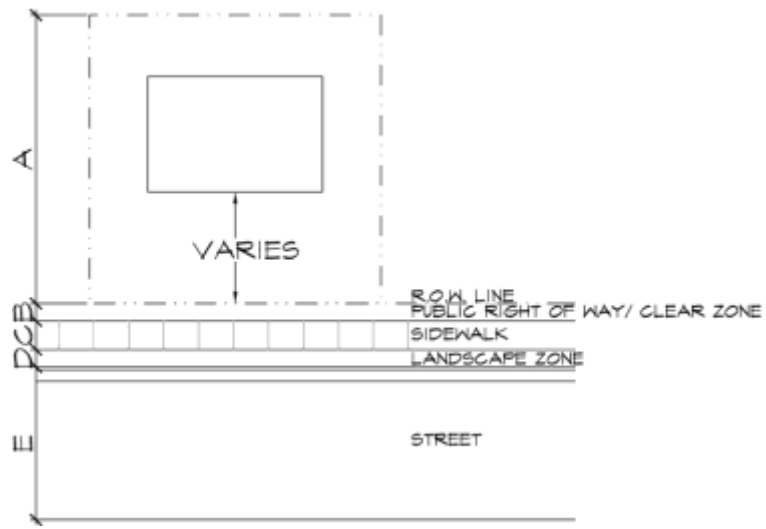


Figure 72 Maintenance Zones Diagram

ZONE	Responsible Party
A	Owner
B	City
C	City
D	City
E	City

**Downtown Overlay District
Design Standards**

Version: **8.8.11**

Downtown Overlay District Map



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PERMIT INFORMATION 2014

APPLICATION RCVD	APPROVAL DATE	PERMIT #	TYPE	SQ FTG	TAX ID	SUBDIVISION	APPLICANT	SITE ADDRESS	ZONE	AS-BUILT SURVEY
ADMINISTRATIVE APPROVAL										
01/06/14	PENDING	A14-01	COMM <10,000 SQ FT	6,390	1113B03L001	WASILLA ACRES	KUDRYN, VITALY	351 N SOUTHWAY ST	RR	
01/08/14	01/09/14	A14-02	TENANT SPACE	1,200	7095000L003A	CREEKSIDE PLAZA WASILLA CENTER	T&C UPHOLSTERLY	1830 E PARKS HWY	C	
01/23/14	01/23/14	A14-03	TENANT SPACE	840	9108000U002	CONDOS UNIT 2	TEAMSTERS LOCAL 959	609 S KNIK GOOSE BAY RD	C	
01/23/14	01/30/14	A14-04	TENANT SPACE	1,400	5797000L002A	IDITPARCEL ADDN 1	MUCHO FRIO INC	481 W PARKS HWY	C	
01/27/14	01/28/14	A14-05	HOME OCCUPATION	2669B12L004		MISSION HILLS	BURRELL, ANTHONY	925 N ARNOLD PALMER	R-1	
01/31/14	01/31/14	A14-06	ADD TO GARAGE	498	1319B03L012	INDEPENDENCE EST	LARSON, BRIAN & CHERYL	360 E HYGRADE LN	RR	
02/06/14	02/07/14	A14-07	TENANT SPACE	864	9155000U001B	WASILLA CENTER	CHRISTENSEN CHIROPRACTIC	701 S KNIK GOOSE BAY	C	
02/07/14	02/07/14	A14-08	TENANT SPACE	777	3099B01L001	CONDOS	PRIMERICA	1590 E FINANCIAL DR	C	
02/19/14	02/27/14	A14-09	TENANT SPACE	1,577	5889000L003D	COTTONWOOD PARK	MARLIN, GLENN	172 S LAMONT CIR	C	
02/20/14	03/04/14	A14-10	SUBDIVISION	6740000L001		CREEKSIDE TOWN SQ	THEOBALD, LARRY & SARAH	900 S HERMON RD	C	
03/04/14	03/05/14	A14-11	SHED	240	2767B09L010	MISSION HILLS PH 2	KREIDER, SETH	975 N SAM SNEAD LP	R-1	
03/05/14	03/06/14	A14-12	TENANT SPACE	7,500	2789B01L003A	WASILLA ARPRK	ZMG	300 W SWANSON AVE	C	
03/06/14	03/06/14	A14-13	HOME OCCUPATION	150	17N01W18D029		WALDEN, ROBERT	2422 W JAMES T CIR	RR	
03/11/14	03/13/14	A14-14	COMM <10,000 SQ FT	1,040	2524B03L001 &L5	CENTURY PARK 2	NORTHERN ENCLOSURES	221 E CENTAUR	C	
03/11/14	03/13/14	A14-15	COMM <10,000 SQ FT	840	7027000L001	DISCOVERY HILLS PH V	NORTHERN ENCLOSURES	1446 W MYSTERY AVE	I	
02/27/14	PENDING	A14-16	SUBDIVISION		6826B01L005	DISCOVERY HILLS PH IV	BLUE GLACIER LLC	1281 W MYSTERY AVE	RR	
03/13/14	03/13/14	A14-17	TUP	320	17N01W09A006		LANGLOIS, JANA	251 W PARKS HWY	C	
03/19/14	03/20/14	A14-18	DUPLEX	3,800	2689B03L001	SPIRIT RIDGE	FLETCHER, BILL	940 E SNOHOMISH	RR	
03/18/14	04/04/14	A14-19	METAL BLDG							
03/18/14	04/23/14	A14-20	WAREHOUSE	4,800	2389B01L006	KOHRING	BIG SKY DEVELOPMENT LLC	200 E FLAG CIR	RR	
03/25/14	04/01/14	A14-21	COMM >10,000 SQ FT	27,300	4802000L002	SUN PLAZA	CORPORATE WAY PROP	2701 E SUN MTN AVE	C	
03/26/14	03/28/14	A14-22	SUBDIVISION			CREEKSIDE PLAZA	JYG INVESTMENT GROUP LLC		C	
03/26/14	03/28/14	A14-23	DUPLEX	3,000	6826B01L005	DISCOVERY HILLS PH IV	BLUE GLACIER LLC	1281 W MYSTERY AVE	RR	
03/28/14	04/04/14	A14-24	TENANT SPACE	1,070	4061B01L001A-1	CAREFREE ACRES	PTF INVESTMENTS	1261 S SEWARD MERIDIAN	C	
03/28/14	04/04/14	A14-25	SUBDIVISION		2483B01L016L17	RAVENSWOOD DIV III	SMITH, SANDRA	461/465 E RAVENSWOOD LP	RR	
03/28/14	04/04/14	A14-26	TENANT SPACE	635	9007000U00D	MAIN PROF BLDG CONDO	DEBUS, DANIEL	500 N MAIN ST	C	
04/02/14	04/02/14	A14-27	TENANT SPACE	2,927	5797000L002A	IDITPARCEL ADDN 1	BROWN JUG	509 W PARKS HWY	C	
04/11/14	04/11/14	A14-28	CHANGE OF USE		1190B01L009	ADVENTURE EST	WINCHESTER, ELISA	174 W SPRUCE AVE	RR	
04/11/14	04/14/14	A14-29	DUPLEX	1,800	6824B02L012C	WASILLA WOODS	HEWITT, JEFF	1563 N RAVENS BEST CIR	RR	
04/14/14	04/14/14	A14-30	SFD	2,364	7039000L00F	CENTER POINT	HARMEN EXCAVATING	1495 S CENTER POINT DR	RM	
04/14/14	04/14/14	A14-31	SFD	1,806	7039000L00I	CENTER POINT	HARMEN EXCAVATING	1500 S CENTER POINT DR	RM	
04/14/14	04/14/14	A14-32	SFD	2,158	7039000L00J	CENTER POINT	HARMEN EXCAVATING	1490 S CENTER POINT DR	RM	
04/14/14	04/14/14	A14-33	SFD	2,423	7039000L00G	CENTER POINT	HARMEN EXCAVATING	1401 S CENTER POINT DR	RM	
04/15/14	04/15/14	A14-34	SFD	2,068	1261B03L011	CENTURY PK	NARINO, ALUARO	900 S CENTURY DR	R-1	
04/16/14	PENDING	A14-35	ADD	720	7090B01L015A	PARKS MANOR	FAMILY CENTERED SVC	301 E DANNA AVE	C	
04/23/14	04/23/14	A14-36	ADD TO SFD	1,152	2818B12L017	MISSION HILLS	TURNBULL, MATT	900 N CRAIG STADLER LP	R-1	Y
04/23/14	04/23/14	A14-37	ADD TO COMM	2,000	1097B05L001	SHADOWOOD VALLEY	CLAYTON, RICHARD	201 W NELSON AVE	C	
04/24/14	WITHDRAWN	A14-38	HOME OCCUPATION	576	1357B02L007	TERRACE MANOR	HOLCOMB, RALPH	601 W PONDEROSA LP	R-1	
04/29/14	05/01/14	A14-39	TUP			NELSON FRED RSB	CUSTARD, BOBBY		C	
04/29/14	05/01/14	A14-40	TENANT SPACE	40	2523B01L005A		WICK, WENDY	290 N YENLO	C	
04/25/14	05/01/14	A14-41	TENANT SPACE		1108B02L017	WASILLA ARPR HTS	BENCH TRANSMISSION & GEAR	675 W WASAIR DR	C	
04/29/14	05/01/14	A14-42	TUP		2705000L014A-1	SNIDER #4	CHEPOS	731 W PARKS HWY	C	
05/01/14	05/05/14	A14-43	SFD		7039000L00H	CENTER POINT	HARMEN EXCAVATING	1510 S CENTER POINT DR	RM	
05/01/14	PENDING	A14-44			9108000U004	WASILLA CENTER	WESTERN ENTERPRISES INC	613 & 615 S KGB RD	C	
05/08/14	05/08/14	A14-45	TUP		6879000T00G-2	CONDOS	ELGEE, KEVIN	2150 S ENDEAVOR	RR	
05/08/14	05/08/14	A14-46	SHOP/GARAGE	1,104	1104B03L009	TALLERICO	LAUGHLIN, JADE	686 W HOLIDAY DR	RR	
05/08/14	05/14/14	A14-47	DUPLEX	2,700	1113B05L019	WASILLA ACRES	ZHUCHKOV, IGOR & NATALIYA	1960 W MELANIE AVE	RR	

APPLICATION RCVD	APPROVAL DATE	PERMIT #	TYPE	SQ FTG	TAX ID	SUBDIVISION	APPLICANT	SITE ADDRESS	ZONE	AS-BUILT SURVEY
05/14/14	05/16/14	A14-47	MULTI FAMILY(10 UNITS 4 PLEX)	253,739		BELLA VISTA WEST	JYG INVESTMENT GROUP LLC	OLD MATANUSKA RD	C	
05/14/14	05/15/14	A14-48	TUP		1046000T005-1	OLSON	LORD, SUZETTE	1451 E PARKS HWY	C	
05/20/14	05/20/14	A14-49	TENANT SPACE	500	2705000L0014A-1	SNIDER #4	EZ MOBILE LLC	735 W PARKS HWY	C	
05/20/14	05/22/14	A14-50	CHICKENS/ROOSTER	16	1118B01L005	PROSPECTOR HILLS	PRESTON, RONIE & DIANA	1460 N GRUBSTAKE DR	RR	
05/16/14	05/16/14	A14-51	DUPLEX	2,500		EXECUTIVE PROPERTIES 2	PREMIER HOME, LLC	901 W CACHE DR	RR	
05/16/14	05/16/14	A14-52	DUPLEX	2,500		EXECUTIVE PROPERTIES 2	PREMIER HOME, LLC	931 W CACHE DR	RR	
05/23/14	05/04/14	A14-53	TENANT SPACE	1,415	2523B01L001A	NELSON FRED RSB	ROYAL SPA	224 N YENLO ST	C	
05/30/14	05/30/14	A14-54	TUP		17N01W15B013		JOLT CONSTRUCTION		RR	
05/30/14	06/06/14	A14-55	TENANT SPACE	400	1046000T005-1	OLSON	STAND UP ALASKA	1451 E PARKS HWY	C	
06/06/14	06/10/14	A14-56	DUPLEX	3,574	6647B02L003A	WASILLA WOODS	LACROSSE, MARK	441 E SPRUCE AVE	RR	
06/11/14	06/11/14	A14-57	DUPLEX	3,000	2323B03L013	GVC #2 DIV 4	FARRELL, LARRY	1160 E SNOWHILL AVE	RR	
06/12/14	06/12/14	A14-58	ADDITION TO SFD	915	1081B03L006	CREEKSIDE EST #1	DRORBAUGH, LISA	1400 S BERTHA LN	RR	
06/12/14	06/13/14	A14-59	SUBDIVISION		1524000L001&2	RAVENSWOOD DIV I	EVANS, JAMES		RR	
06/12/14	06/12/14	A14-60	TUP		1056B02L019	SNIDER #3	HARRELL, BEN	340 N LUCILLE ST	C	
06/16/14	06/17/14	A14-61	SFD	1,500	5627B03L012	CENTER POINT	SELYUTIN, MYKOLA	420 W GOLDENWOOD	RM	Y
06/17/14	06/20/14	A14-62	SFD	2,500	1261B03L005	CENTURY PARK	NARINO, ALUARO	1090 S CENTURY PK	R-1	
06/18/14	06/23/14	A14-63	SIGN	46	6915000L002	THOMAS PARK	PAYNE MGMT, LLC	546 N MAIN ST	C	
06/20/14	06/23/14	A14-64	HOME OCCUPATION		1190B01L001	ADVENTURE EST	CONNER, MIKE & DALA	400 W SPRUCE AVE	RR	
06/24/14	06/25/14	A14-65	SIGN	65	5203B03L012B	WASILLA HTS #1	BURCHELL HS	1775 W PARKS HWY	C	
06/24/14	PENDING	A14-66	SIGN		1116B02L001	OVERLOOK BUS PK	DEVINE, MIKE	2200 E PARKS HWY	C	
06/24/14	07/31/14	A14-67	SUBDIVISION		1095B02L002, L3, L4	THE MEADOWS	FRIESEN, ROBERT		RR	
06/26/14	06/26/14	A14-68	SFD	1,527	1261B03L008	CENTURY PARK	LIFETIME INVESTMENTS	990 S CENTURY DR	R-1	
06/27/14	07/21/14	A14-69	SUBDIVISION	15	7232000T00A	SERENITY EST ADD #1	NEWCOMB, KURT		RR	
06/30/14	06/30/14	A14-70	SFD	2,934	1104B06L008	WASILLA ESTATES	DROBENKO INV	901 W BRIAR	RR	
07/14/14	07/21/14	A14-71	TUP		17N01W09A006				C	
07/15/14	07/28/14	A14-72	SIGN	144	5568B02L018A	PARKS MNR RSB	TRIPLE B'S LLC	700 N WASILLA-FISHHOOK	C	
07/18/14	07/21/14	A14-73	HANAGER	5,200	5912000L014	NEW WASILLA ARPT	BURWELL, JEFFERY	900 S BEACON ST	I	
07/23/14	07/24/14	A14-74	GARAGE	1,500	1102B01L004	NORTHERN CAPITOL EST	HOEFR, SCOTT	2201 MYSTERY	RR	
07/23/14	07/24/14	A14-75	ADDITION	60	4171B01L016A	SNIDER	PARTRIDGE, JAMES	824 W SELINA LN	R-1	
08/05/14	08/14/14	A14-76	SUBDIVISION		7158000T004A-1 4A-2				RR	
08/13/14	08/18/14	A14-77		3,680	7034000L001	ERINWOOD	MCNEIL, SUSAN		RR	
08/14/14	PENDING	A14-78		289	1038B04L007	LAKE VIEW EST	LUOTKE, PAUL & MOYA	621 W LAKEVIEW AVE	R-1	
08/15/14	08/18/14	A14-79		720	1066B03L002	WASILLA TWN	ADOIR, BRENDA	285 E PARKS HWY	C	
08/15/14	PENDING	A14-80		2,304	4755B01L012A	RICHMOND VIEW	CLARK, PATRICK	1500 E COURRETAND CIR	R-1	
08/22/14	08/22/14	A14-81	COMM<10,000 SQ FT	3,752	6888B03L002A	CENTURY PK 2	COW/PW	191 E CENTAUR DR	C	
08/25/14	PENDING	A14-82	COMM<10,000 SQ FT		116B02L001	OVERLOOK BUS PK	DEVINE, MIKE	2200 E PARKS HWY	C	
08/25/14	08/25/14	A14-83	SIGN	32	1066B03L002	WASILLA TWN	HALL, CARLEEN	285 E PARKS HWY	C	
08/27/14	08/28/14	A14-84	COMM<10,000 SQ FT	175	2523B01L005A	WASILLA ARPT HTS	BERG, MATTHEW	971 W PARKS HWY	C	
08/29/14	09/03/14	A14-85	COMM<10,000 SQ FT	500	9155000U001B	NELSON FRED RSB	TEELING, JASMINE	290 N YENLO ST	C	
09/04/14	09/18/14	A14-86	COMM<10,000 SQ FT	7,000	6826B01L003A	DISCOVERY HILL SUB	DEAN, JESSICA	701 S KNIK-GOOSE BAY RD	C	
09/16/14	09/16/14	A14-87	DUPLEX	3,500		EXECUTIVE PROPERTIES 2	PREMIER HOME, LLC	981 W CACHE DR	RR	
09/16/14	09/16/14	A14-88	DUPLEX	3,500		EXECUTIVE PROPERTIES 2	PREMIER HOME, LLC	951 W CACHE DR	RR	
09/18/14	09/18/14	A14-89	ADD TO SFD	308	2398B01L009	KOHRING	KOHRING, DOLORES	161 FLAD CIR	RR	
09/22/14	09/22/14	A14-90	SFD & DETACHED GARAGE W APT	3,500	17N01W18A008		HUBBARD, SAM	1501 S MACK RD	RR	
09/24/14	09/25/14	A14-91	COMM<10,000 SQ FT	700	9007000U00H	MAIN PROF BLDG CONDO	WALKER, BROCK	500 N MAIN ST	C	
09/25/14	09/25/14	A14-92	COMM<10,000 SQ FT	1,400	2186B02L005	GVC II DIV I	FILYUK, IRINA	1051 E BOGARD RD	C	

APPLICATION RCVD	APPROVAL DATE	PERMIT #	TYPE	SQ FTG	TAX ID	SUBDIVISION	APPLICANT	SITE ADDRESS	ZONE	AS-BUILT SURVEY
09/26/14	11/05/14	A14-93	COMM<10,000 SQ FT	1,200	066B05L010 & L11	WASILLA TOWNSITE	WANG, JOESPH	111 E HERNING AVE	C	
09/30/14	10/01/14	A14-94	COMM<10,000 SQ FT	670	4932B01L003A	THOMAS ADD #2 PH I	FIRST IMPRESSIONS	231 E SWANSON	C	
09/26/14	10/06/14	A14-95	SIGN		4802000L002	SUN PLAZA	KENDALL FORD	2701 E SUN MTN AVE	C	
10/01/14	PENDING	A14-96	SUBDIVISION		7078000T00N, T.J.	CREEKSIDE TOWN SQ	1ST NATIONAL BANK OF ANC		C	
10/15/14	10/20/14	A14-97	COMM<10,000 SQ FT	2,800	5682B03L003B-1	MTN VLG PLZ RSH	THOMPSON, MICHAEL	2521 E MTN VLG DR	C	
10/15/14	10/20/14	A14-98	DUPLEX	4,000	1060B01L005	UPPER WASILLA HTS	NORTHERN QUALITY HOMES	1451 W MELANIE AVE	RR	
10/16/14	10/20/14	A14-99	COMM<10,000 SQ FT	5,000	6704000L004	ARR-DOT	ENGINE 557 REST CO	1400 E WASILLA SHOPS CIR	C	
10/24/14	10/28/14	A14-100	COMM<10,000 SQ FT	900	7011B660000	FLOYD 2010	FRONTIER TUTORING LLC	741 E SUSITNA AVE	C	
10/31/14	11/04/14	A14-101	CLEARING, GRADING & LANDSCAPING	9,600	17N01W05B003		LAMB OF GOD LUTHERAN CH	1221 N CHURCH	RR	
11/06/14	11/06/14	A14-102	SFD	4,000	5521000L001	HANSON TRAIL	BEREZYUK, VLADIMIR	1650 S BAYVIEW DR	RR	
11/06/14	11/06/14	A14-103	COMM<10,000 SQ FT	1,100	2523B01L005A	FRED NELSON RSB	ROSA/KAITLYN	290 N YENLO ST	C	
11/10/14	PENDING	PENDING	COMM<10,000 SQ FT	2,795	1004B02L008	BIRCH PK	GENACTA IN HOME CARE	545 N KNIK ST	C	
USE PERMITS										
05/29/14	06/30/14	UP14-01	CHURCH	13,410	17N01W05A005		SLAVIC EVANGELICAL CHURCH	1350 N LUCAS RD	RR	
07/31/14	PENDING	UP14-02	GRAVEL MINING		17N02W13A004		MTN VILLAGE LLC	1614 S CLAPP ST	I	
08/28/14	10/28/14	UP14-03	PAVILION	2,340	27310000000	ASLS 83-091	WASILLA YOUTH BASEBALL	2000 S KNIK-GOOSE BAY RD	P	
CONDITIONAL USE PERMITS										
03/28/14	05/13/14	CU14-01	STORAGE ADD	750	7011B5B0000	FLOYD 2010	WASILLA STATION	600 E RAILROAD AVE	C	
04/11/14	05/13/14	CU14-02	CAR WASH	11,600	5816B02L002	CAROL	K&S ENTERPRISES	1900 W RUPEE CIR	C	
04/21/14	05/13/14	CU14-03	COMMS-10,000	6,000	17N01W10A019	LAKESHORE	KURANI, KURBAN	101 N CRUSEY ST	C	
04/21/14	05/13/14	CU14-04	COMMS-10,000	8,280	4574B01L016A	FERN PLAZA	KURANI, KURBAN	918 E WESTPOINT DR	RM	
05/08/14	06/10/14	CU14-05	COMMS-10,000	11,940	6910000L002		NEWCOMB, KURT	1689 S KGB RD	C	
05/19/14	06/10/14	CU14-06	COMMS-10,000	60,000	17N01W13A008		SCHWEIGER, JOHN	1450 S SEWARD MERIDIAN	C	
05/19/14	06/10/14	CU14-07	ADD TO MOVIE THEATER	10,136	17N01W13A009		SCHWEIGER, JOHN	3331 E OLD MATANUSKA RD	C	
07/11/14	08/12/14	CU14-08	COMMS-10,000	30,000	6704000L004&3	ARR-DOT	AK RAILROAD	630 OLD MAT RD	C	
07/21/14	08/12/14	CU14-09	ADD PORTABLE BLDG	880	5522000L008A	HALEY HLS PK RSB	DENALI GYMNASICS	300 E KALLI CIR	C	
10/24/14	PENDING	CU14-10	LIBRARY	23,500	7143000T00T-1B	WASILLA MIDDLE SCHOOL	CITY OF WASILLA	500 N CRUSEY ST	C	
PLANNED UNIT DEVELOPMENT (PUD)										
03/14/14	04/08/14	PUD14-01	PUD			CREEKSIDE PLAZA	JYG INVESTMENT GROUP		C	
REZONE										
04/01/14	05/13/14	R14-01	REZONE	11,97	6704000L004	ARR-DOT	AK RAILROAD	630 E OLD MATANUSKA RD	RR	
LEGAL NON-CONFORMING USE										
SHORELINE SETBACK										
07/10/14		SH14-01	SFD SETBACK EX		1036000L001	LAKE LUCILLE SOUTHSHORE	GADBERRY, DEBORAH	1775 W TILLCUM	R-1	
AMNESTY										
VARIANCE										
03/28/14	05/13/14	V14-01	SETBACK REAR YARD		7011B5B0000	FLOYD 2010	WASILLA STATION	600 E RAILROAD AVE	C	
04/21/14	05/13/14	V14-02	SETBACK REAR YARD SIDE & FRONT SETBACK		17N01W10A019		KURANI, KURBAN	101 N CRUSEY ST	C	
04/21/14	05/13/14	V14-03	SETBACK FRONT YD		4574B01L016A	LAKESHORE	KURANI, KURBAN	918 E WESTPOINT DR	RM	
05/19/14	06/10/14	V14-04	SETBACK FRONT YD		17N01W13A008		SCHWEIGER, JOHN	1450 S SEWARD MERIDIAN	C	



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9/2/2014	FUP	Best Western		N	Dog welfare check	14-62274
9/2/2014	S	Lake Lucille Park		N	Facility/security check	14-62454
9/3/2014	S	Lake Lucille Park		N	Facility/security check	14-62633
9/3/2014	C	1501 S Mack		N	Land use violation	14-62633 refer to planner
9/4/2014	C	2278 Carlsbad		N	Dog bite	14-62930 unfounded
9/5/2014	S	Lake Lucille Park		N	Facility/security check	14-63163
9/6/2014	D	Famous Footwear		Y	Squirrel loose in store	14-63320 returned to woods
9/6/2014	D	WPD		Y	Public assist	14-63366
9/9/2014	D	PWH & Hurley		N	DOA cat in road	14-64055 UTL
9/9/2014	D	Snowbird & Vixen		Y	Illegal dumping	14-64110 unfounded
9/9/2014	C	601 KGB		N	Signs in ROW	14-64118 removed
9/9/2014	C	1101 Lucille		Y	Business license violation	14-64123 verbal warning
9/9/2014	D	McDonalds		Y	Cat welfare check	14-65154 unfounded
9/10/2014	D	Parks & Lucille		N	RAL dog	14-64289 UTL
9/10/2014	D	201 Kalli		Y	RAL dog	14-64290 RTO/verbal warning
9/10/2014	D	Parks & PWH		N	RAL dog	14-64355 UTL
9/10/2014	S	Parks & Crusey		Y	ATV violations x2	14-64369 citations x2
9/11/2014	D	700 Creekside		Y	RAL dog	14-64551 verbal warning
9/11/2014	S	Lake Lucille Park		N	Facility/security check	14-64564
9/11/2014	FUP	MUSC		N	Trespassing	14-64598
9/11/2014	D	300 W Spruce		Y	Cat bite	14-64627 unfounded
9/11/2014	PAT	Parks & Swanson		N	MVA traffic control	14-64651
9/15/2014	PAT	1201 Jack Nicklaus		N	Assist patrol securing scene/dogs	14-65518
9/16/2014	D	KGB & Lakeview		N	Traffic hazard	14-65769 traffic control
9/16/2014	S	Lake Lucille Park		N	Facility/security check	14-65775
9/16/2014	C	470 Hallea		N	Dog welfare check	14-65845
9/16/2014	D	Parks & Lucille		N	Dog welfare check	14-65846 dog RAL
9/17/2014	FUP	Lake Lucille Park		N	Facility/security check	14-65775
9/17/2014	D	Chevron		N	Duck welfare check	14-66009 unfounded
9/17/2014	D	Wasilla Lake Park		Y	Report of vandalism	14-66095 unfounded
9/17/2014	FUP	Lake Lucille Park		N	Facility/security check	14-65775
9/18/2014	D	Parks & Lucille		N	RAL dog	14-66299 UTC



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DATE	COMPL. DISP. SELF	NAME/ADDRESS	INF. CON.	LTR. ISS?	CASE STATUS	NOTES
9/18/2014	C	835 Blind Nick		N	RAL dog	14-66335 impound
9/19/2014	FUP	Parks & Lucille		N	RAL dog	14-66299 set dog trap
9/19/2014	S	Lake Lucille Park		N	Facility/security check	14-66526
9/19/2014	D	Parks & Main		N	RAL dog	14-66510 (66299)
9/19/2014	D	2051 Rupee		Y	RAL dog	14-66546 verbal warning
9/19/2014	FUP	Parks & Lucille		N	RAL dog	14-66299 RTO
9/22/2014	D	Denali & Susitna		Y	Garbage complaint	14-67188 unfounded
9/22/2014	FUP	470 Hallea		N	Dog welfare check	14-65845 unfounded
9/22/2014	S	Lake Lucille Park		N	Facility/security check	14-67203
9/23/2014	PAT	305 Kalli Cir.		N	Assist patrol with scene/dog	14-67418 impound
9/23/2014	S	Lake Lucille Park		N	Facility/security check	14-67469
9/24/2014	S	MUSC		N	Facility/security check	14-67642
9/24/2014	S	Fred Meyer		Y	HCP parking violation	14-67681 unfounded
9/24/2014	D	935 Westpoint		Y	RAL dog	14-67700 RTO/verbal warning
9/24/2014	D	Carter Park		Y	Duck hunters	14-67728 verbal warning
9/25/2014	S	Airport/MUSC		N	Facility/security check	14-67899
9/25/2014	FUP	Sun Mountain		Y	Abandoned veh in ROW	14-67881 red tag
9/25/2014	S	Lake Lucille Park		N	Facility/security check	14-67955
9/26/2014	D	MUSC		N	Abandoned veh	14-68234 red tag
9/29/2014	D	900 Hermon		Y	Abandoned veh	14-69038
9/29/2014	S	Lake Lucille Park		N	Facility/security check	14-67955
9/29/2014	D	Lithia Dodge		N	Parking complaint	14-69062
9/29/2014	D	Lucille & Crestwood		N	Traffic hazard	14-69088 removed
9/29/2014	S	MUSC		N	Facility/security check	14-69106
9/30/2014	D	Lucille & Swanson		N	RAL dog	14-69311 UTL