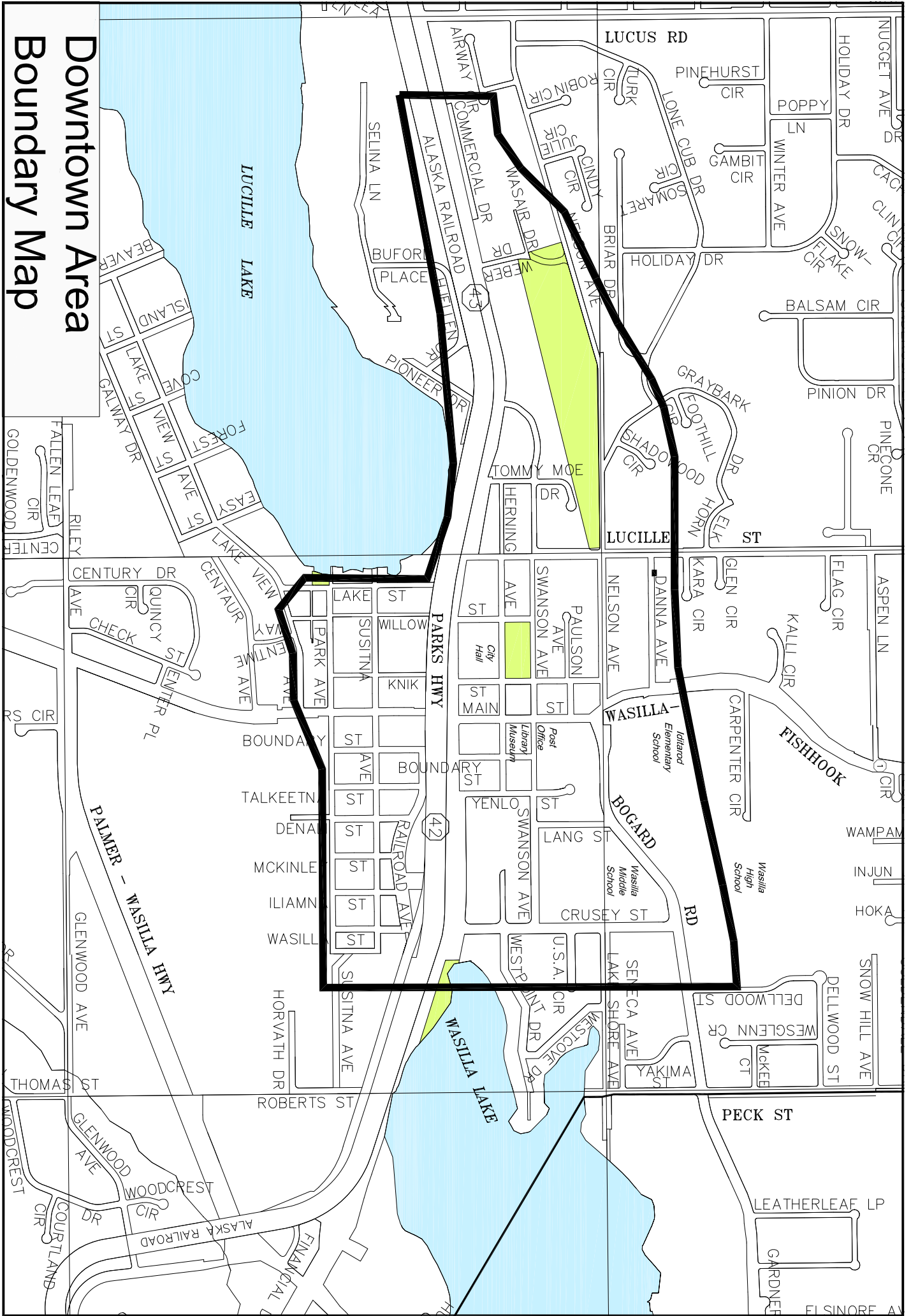


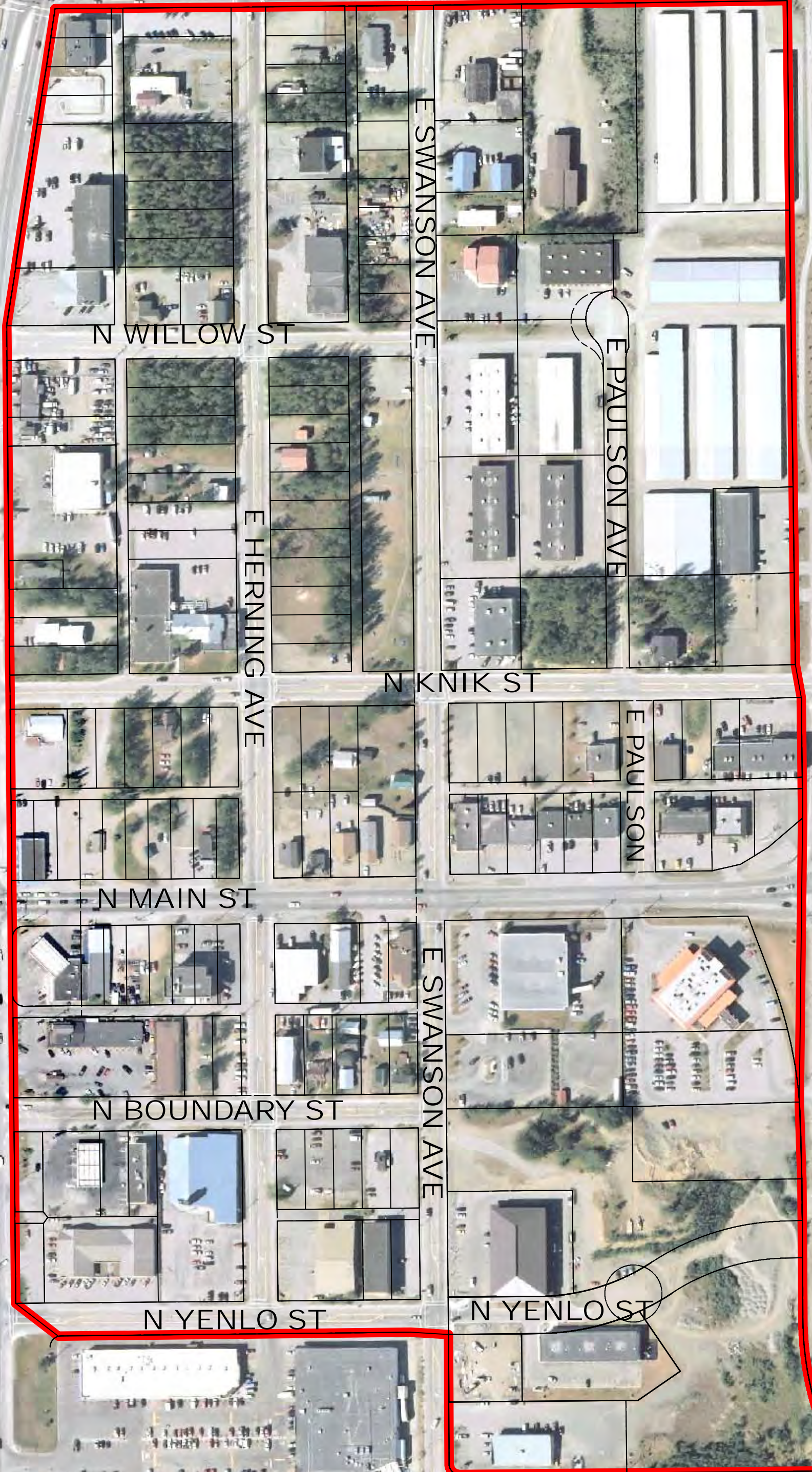
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 - c. Town of Pineville, North Carolina
 - d. City of Turlock, California

Downtown Area Boundary Map





N LUCILLE ST

N WILLOW ST

E SWANSON AVE

E PAULSON AVE

E NELSON AVE

E PARKS HWY

E HERNING AVE

N KNIK ST

E PAULSON

N MAIN ST

E SWANSON AVE

E BOGARD RD

N BOUNDARY ST

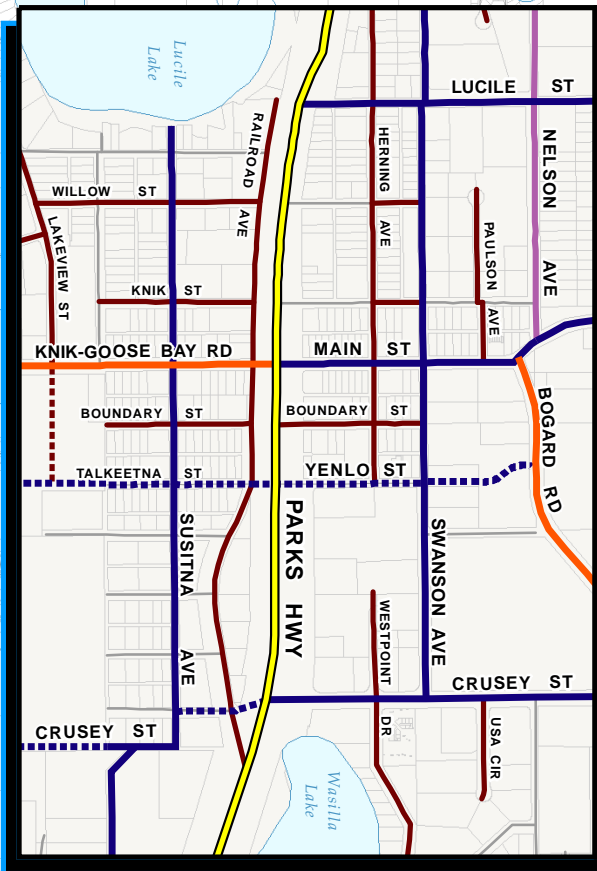
N YENLO ST

N YENLO ST

N LANG ST

DRAFT Downtown Overlay Boundary

DOWNTOWN WASILLA



CHURCH RD



E Kara-Cir

Danna Ave

E Fishhook Rd

E Nelson Ave

E Bogard Rd

Paulson Ave

E Swanson Ave

Main St

N Knik St

Willow St

E Parks Hwy

E Railroad Ave

3

Lucille St

S Knik St

N Boundary St

N Yenlo St

N Crusey St

E...

La...

Shaping Change with Design Guidelines

BEST PRACTICES

GUIDELINES ARE ONE OF PLANNING'S MOST EFFECTIVE tools. Well-conceived guidelines that are clear, use accessible language and illustrations, and are readily available to all stakeholders translate planning visions and policies into the physical environments in which we live, work, and play.

The precursors of contemporary guidelines embodied qualities that continue to shape how these tools are conceived. Let's consider three important examples: Congress enacted the Height of Buildings Act of 1899 to enshrine the Capitol as Washington, D.C.'s tallest building. In 1916 New York adopted landmark zoning that shaped the city's "wedding cake" skyscrapers to preserve light and air. And in 1925 Louisiana voters created the Vieux Carre Commission to preserve New Orleans's French Quarter. All three share five common aspects of successful guidelines. Each of these historic documents

- ▶ carried the legitimacy of action by elected officials or those who reported to them;
- ▶ managed the impacts of transformational (and unfamiliar) change brought about by rapid urbanization and evolving building technology;
- ▶ reflected public purpose, not stylistic taste;
- ▶ created civic, and frankly in most cases, economic value; and
- ▶ became viewed as living documents, subject to revision in response to changing circumstances.

Today's guidelines include a sixth quality: successful guidelines result from community-based public planning processes that fold in strong urban design components.

Guidelines represent a social compact in which participants in a planning process agree on how to implement the plan. The planning process's inclusiveness gives guidelines their legitimacy. Perhaps more important, creating

guidelines as part of such a process resolves opposition that stems from fear of change. Well-supported guidelines avoid the perception of mere NIMBYism.

Several examples illustrate how this is accomplished. Guidelines established in 2013 that delineated the scale and character of new mixed use, mixed income development in Kendall and Central Squares in Cambridge, Massachusetts, grew out of planning that gave neighborhood members a voice in determining densities and heights. Many residents had feared new development would undermine neighborhood quality.

In suburban Atlanta, the planning for the Clifton Corridor Urban Design Guidelines, prepared for the Clifton Corridor Partnership by Goody Clancy in 2010, included a forum in which Emory Univer-



IMAGES COURTESY STANTEC URBAN GROUP

To reinforce sense of place, enlist local artists and tech-startup community in design of street furniture, sculpture, digital displays, and murals. As an integral element of sense of place, guidelines should welcome novel media and formats.

Preserve important legacy structures, like the SCATV building.

Create a strong, coherent building presence that frames the square:
 • 5 to 7 stories
 • consistent design, materials



Along side streets, maintain mix of new and old, varied heights, and mix of uses.

Introduce a lively destination space:
 • Four-season public "room"
 • Broad range of activities appealing to many ages, backgrounds
 • Festival, performance space

Create complete streets:
 • Wide, landscaped sidewalks
 • Bike lanes
 • Traffic calming

Engage pedestrians:
 • Mix of retail, arts, food at street level
 • Mix of local and national businesses
 • Transparent street fronts
 • Fully lined sidewalk edge

Guidelines suggested by a master development team integrate significant development in ways that preserve the lively diversity of a traditional neighborhood square, Somerville, Massachusetts.

sity and residents of adjacent communities overcame years of tension. Together they framed a smart-growth vision for replacing arterial strip development with a denser, walkable corridor with mixed uses that met the aspirations of the university and community members alike.

In New Orleans, lower-income residents of neighborhoods along Claiborne Avenue insisted on a voice in directing wide-ranging redevelopment. Their fears of gentrification-driven displacement shaped guidelines that dealt with unconventional topics such as preserving deeply rooted neighborhood culture, as well as agreement on the location, scale, and character of development. The preservation outlined in the Livable Claiborne Communities Study, drafted by Kittelson Associates in 2013, was a precondition for participating in a city-led study for possible removal of an elevated expressway.

There are three dimensions in which to consider guidelines. The first is a continuum that ranges from “performance” guidelines that express values that should shape development to “prescriptive” guidelines that convey specific requirements (such as form-based zoning codes that specify dimensional parameters for buildings and public spaces).

Like any tool, guidelines work best when designed for a specific job. Frequently local politics and an emphasis on development have strongly influenced whether a community prefers a performance or prescriptive approach. Communities that value strong government regulation and enjoy robust real estate markets, such as Boston and New York City, produce highly specific guidelines and back them with the force of zoning—in some cases explicitly rejecting development feasibility as the major concern (e.g., the Boston Redevelopment Authority’s Greenway District Planning Study Use and Development Guidelines, 2010).

Such prescriptive guidelines offer clear direction and reassure stakeholders that the letter of a plan will be implemented. Yet they also limit the potential to negotiate additional benefits that may advance the

spirit of the guidelines but require different massing or uses.

Performance guidelines might be better suited to communities that rely on private-sector leadership or that fear losing investors. While these documents provide useful direction, however, they often fail to produce outcomes that achieve the letter or the spirit of the underlying planning.

These distinctions are blurring. The new mayors of Boston and New York City have asked planners to provide new, more flexible guidelines that build in height and density incentives in return for public benefits like affordable housing and vibrant public waterfronts (Boston’s current Harbor Planning Advisory Committee process is one example). Traditionally conservative Wichita, Kansas, has seen remarkable success in revitalizing its downtown by using guidelines that concentrate development along key corridors and require developers to provide street-level retail that helps activate the street. Investors have reacted positively; they rely on the guidelines of the Downtown Wichita Plan to ensure that their individual investments work together to create a critical mass of activity and visible change.

The second dimension is size and location. Guidelines range from specific buildings to citywide or regional comprehensive plans. New Orleans’s Historic District Landmarks Commission, charged with the stewardship of the city’s heritage of historic buildings and places, commissioned the Preservation Design Partnership and Catherine E. Barrier in 2009 to prepare guidelines that open with a discussion of preservation’s role in an evolving city. The guidelines combine highly prescriptive requirements with performance standards. Prescriptive requirements aim to preserve historic buildings and include how-to guidance for everyday repairs. Broader performance standards determine the shape, massing, scale, and design of new buildings and public spaces in historic environments in ways that contribute to New Orleans’s rich legacy.

As mentioned in *The Commissioner’s* June 2014 article, suburban Dublin, Ohio,

faced a larger-scale task—transforming roughly 1,000 acres of outmoded strip malls and office parks. The Bridge Street Corridor Plan, developed by Goody Clancy in 2010, articulated principles to create a “higher-density, mixed-use, walkable downtown” from the first stages of development. Dublin subsequently added a form-based code (prepared by Leslie Olberhozer of Farr Associates) that provides detailed templates that are already shaping new streets, squares, and buildings.

At a far larger scale, Birmingham, Alabama; Shreveport, Louisiana; and Tyler, Texas recently completed comprehensive plans (drafted by planners at Goody Clancy and Stantec) that employ guidelines at citywide and regional levels to shape broad smart growth policies. These guidelines provide performance standards for new development, infrastructure investment, and zoning. One aim, for example, is to promote growth that reflects a sense of place, walkable mixed use centers, and connected networks of streets and public places.

The third dimension is the human element. While administration of guidelines can rely on checklists that require no judgment, guidelines are living documents that succeed best when coupled with active design review. At one end of the spectrum this process relies on agency staff. At the other, it can involve panels that convene leaders in planning, design, sustainability, development, and similar fields to review policies, plans, and designs that will have a significant impact on a community’s quality and character.

Guidelines represent a powerful tool for managing change in ways that embody a community’s interests and aspirations. The art of guideline development lies in ensuring that those who administer guidelines have the commitment, skill, information, and resources to undertake reviews that capture not just the letter of the guidelines, but also the spirit behind them.

—David Dixon

*Dixon leads urban design at Stantec. He is the coauthor of *Urban Design for an Urban Century: Shaping More Livable, Equitable, and Resilient Cities* (Wiley, 2014).*

Best Practice: New York City Public Spaces

The New York City DOT uses temporary materials to activate public spaces and create better bikeways throughout the city. Planters, bollards, epoxied gravel, seating and striping provide a low-cost toolkit for delineating these spaces and help to realize public support for full-scale capital implementation.

seating and striping provide a low-cost toolkit for delineating these spaces and help to realize public support for full-scale capital implementation.



Before



After

Union Square



Before



After

Gansevoort Plaza



Before



After

Allen Street

Alleys & Passageways

Alleys present cities with special challenges, but also opportunities. Typically built without standard street drainage, they tend to flood and many have never been significantly improved since the neighborhood was built. Today, cities around the US are realizing that alleys can be turned into community space and improved using green design.



Bardstown, KY



Fort Worth, TX



New Orleans, LA



San Francisco, CA



Figures 5.9–5.10. Before-and-after shots of pedestrian improvements on Sixth Avenue in Seattle

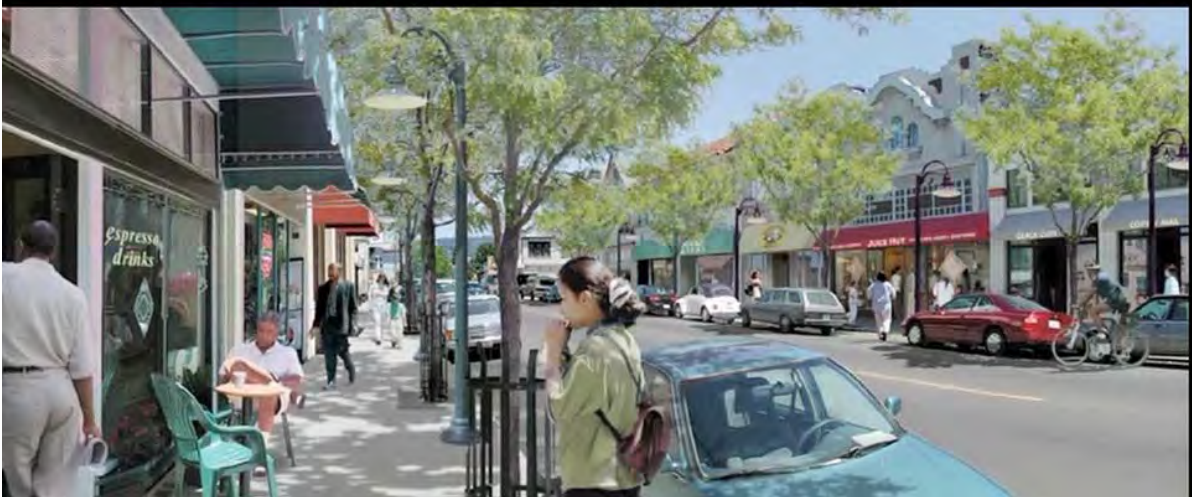




Courtesy of Steve Price, Urban Advantage



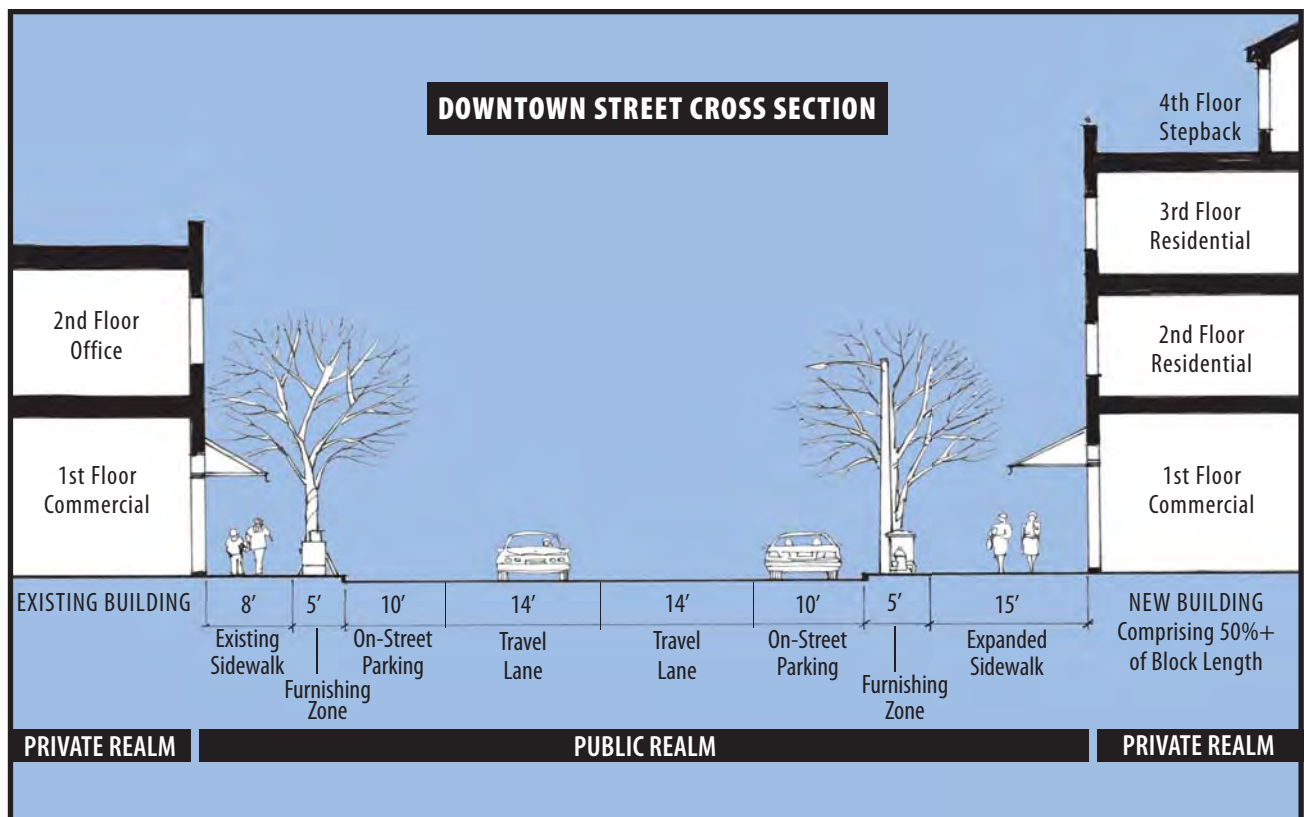
Courtesy of Steve Price, Urban Advantage







Downtown Knoxville DESIGN GUIDELINES



Prepared by the Knoxville/Knox County Metropolitan Planning Commission
for the City of Knoxville, Tennessee

March 18, 2014 Update

Effective Date: April 4, 2014

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Downtown Knoxville DESIGN GUIDELINES

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March 18, 2014 Update

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ADDITIONAL REFERENCES:

The Downtown Design Overlay District zoning, as well as the entire City of Knoxville Zoning Ordinance, can be viewed at the Metropolitan Planning Commission office or viewed online at <http://www.knoxmpc.org>.

The original guidelines were adopted by:

Knoxville Knox County Metropolitan Planning Commission - February 8, 2007

Knoxville City Council - March 27, 2007

The guidelines were updated and adopted by:

Knoxville Knox County Metropolitan Planning Commission - July 10, 2008

Knoxville City Council - August 26, 2008

Effective Date: September 12, 2008

The guidelines were updated and adopted by:

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Knoxville City Council - March 18, 2014

Effective Date: April 4, 2014

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Introduction



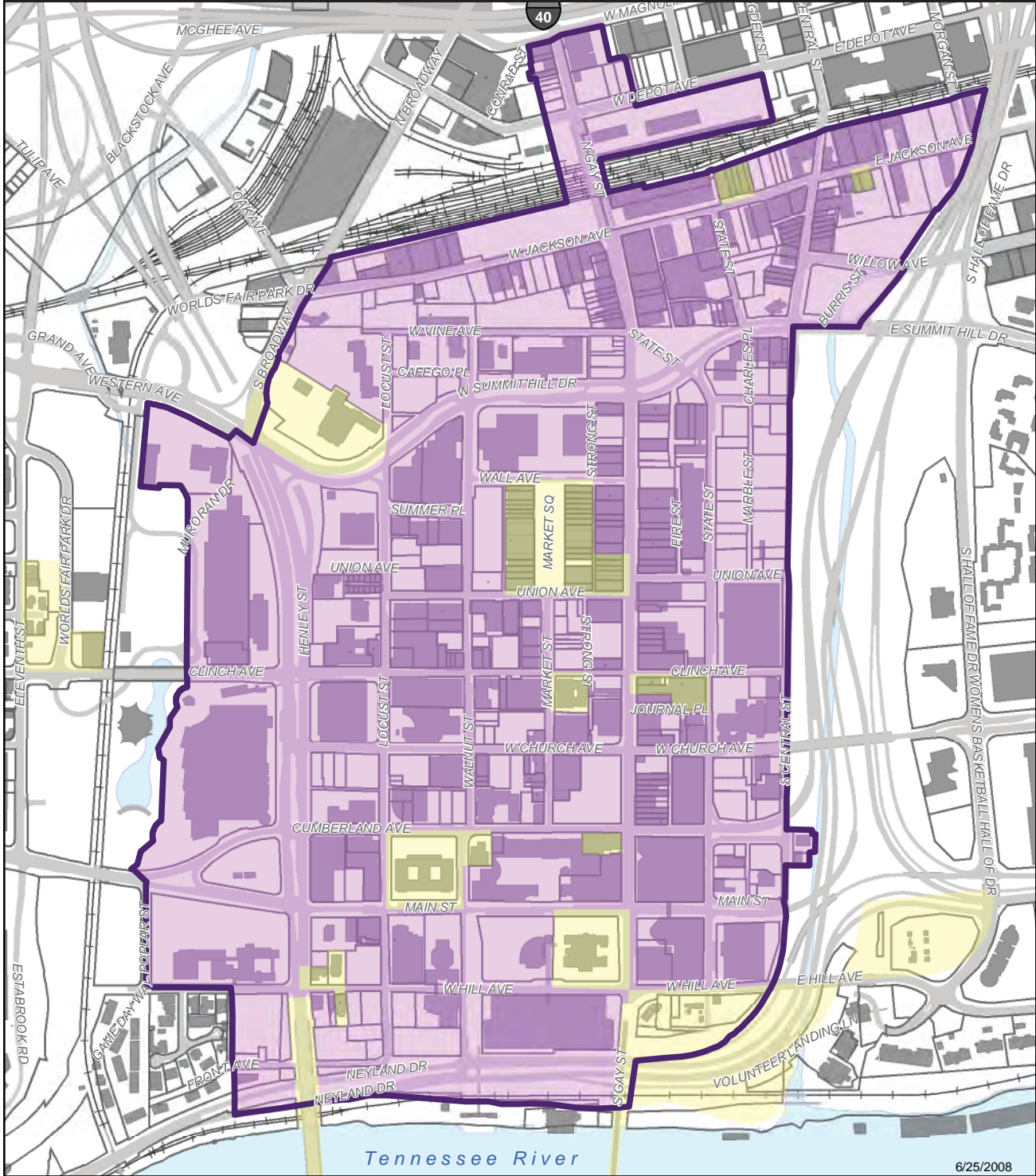
There have been several plans regarding the development of downtown Knoxville. The most recent *City of Knoxville Downtown Improvement Strategy* (March 2005) is a document that takes into account the work of Crandall Arambula and the Nine Counties One Vision Task Force. It includes an action plan that calls for the development of “downtown urban design guidelines” with the purpose that the establishment of design guidelines and streetscape improvement programs will enhance developer confidence and stimulate new investment.

In addition to the action plan, the Downtown Improvement Strategy created a civic vision: *“Downtown Knoxville . . . will be a vibrant, walkable place where people congregate to live, work, shop and play.”*




The goals of the Guidelines are to define expectations and allow flexibility, while fostering high-quality design. The Guidelines have been drafted to respect the existing downtown qualities, community desires and the need for reasonable provisions for both public and private improvements. In order to accomplish this, MPC has hosted several public meetings (see Appendix C).

The Guidelines are formatted into three sections: 1) General Principles relating to the Public Realm, the Private Realm and Historic Resources, 2) Specific Recommendations regarding Districts - the Grid district, the Boulevard district, the Warehouse district and the Promenade District, and 3) Administration of the Guidelines.

MAP 1: Adopted Boundary for the Downtown Design Review Zoning Overlay



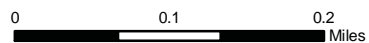
LEGEND

-  D-1 Overlay Boundary
-  D-1 Zoning Overlay
-  H-1 Zoning Overlay*

*Any H-1 overlay areas within the D-1 boundary are not subject to D-1 guidelines

Official maps are available for inspection in the Metropolitan Planning Commission offices. The zoning maps are amended frequently through action of the City Council and County Commission. Therefore, recent zoning changes that have been approved by the City Council or County Commission may not be reflected here. Verify all zoning with the Metropolitan Planning Commission staff at (865) 215-2500.

1 inch equals 650 feet



Section 1: General Principles



A. PUBLIC REALM AND PUBLIC BUILDINGS

The public realm is composed of streets, sidewalks, and public open spaces. Public space is defined by development and supports a diversity of uses. It promotes transit use and pedestrian activity. It can be considered the “outdoor room” created by surrounding buildings.

Public buildings should also be designed in accordance with the guidelines of this document. The same principles regarding private development (see pages 9-20) should be applied to local, state and federal government building design.

A. PUBLIC REALM

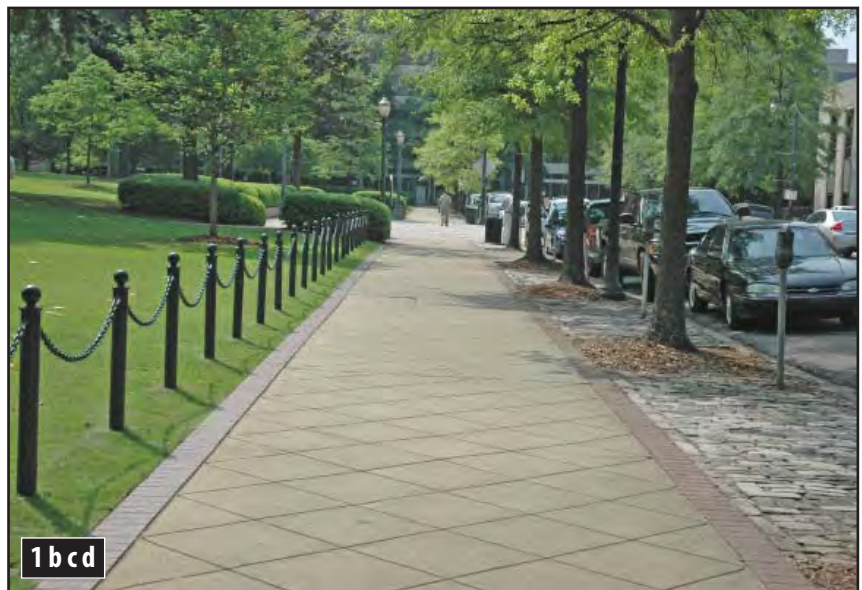
1. PEDESTRIAN AND BICYCLIST SAFETY

Consider pedestrians first, then transit, then the automobile in designing and developing downtown places. Public utilities and streetscape amenities should be located to support safe, convenient, and unimpeded pedestrian flow. Due to the nature of the narrow downtown streets with low traffic speeds it is relatively safe to bike within the downtown area. However, bike lanes and greenways leading to downtown, and places to store bicycles once downtown should also be considered. For more information, please see the *Knoxville Regional Bicycle Plan (2002)*.



GUIDELINES:

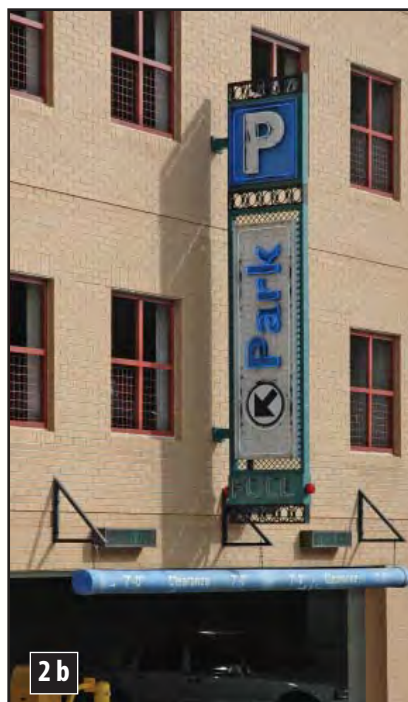
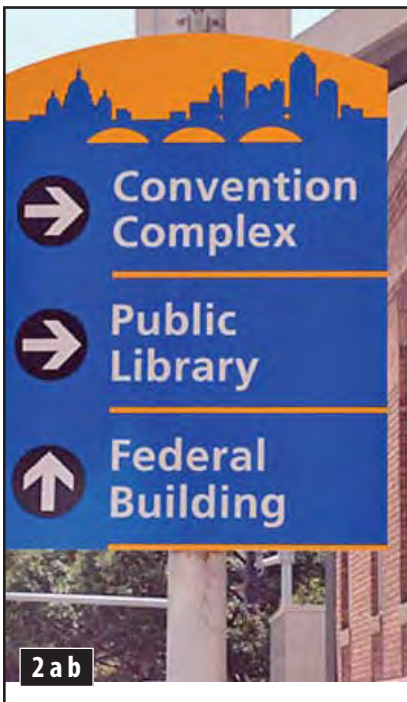
- 1a. Prioritize pedestrian safety and comfort through public amenities, such as pedestrian-scale lighting, benches, and trash receptacles.
- 1b. Require sidewalks and crosswalks that are accessible to all and are aesthetically pleasing.
- 1c. Create standards for sidewalks (including size and materials) that establish a sense of visual continuity.
- 1d. Widen sidewalks to accommodate street trees and amenities with a minimum 5-foot clear pedestrian passage.
- 1e. Establish a “furnishing zone” in which the sidewalk furniture creates a buffer for pedestrians from vehicular traffic.
- 1f. Adopt standards for types of sidewalk furniture, like benches, trash receptacles, newspaper stands, etc.
- 1g. Consolidate curb-cuts and locate driveways near mid-block, when necessary; alley access should be provided for service and parking, if feasible.
- 1h. Install and time traffic signals to maximize pedestrian safety and convenience.
- 1i. Provide safe bicycle connections to downtown and accommodate bicycle parking.
- 1j. Incorporate consistent, clearly marked bus and trolley stops and provide route schedules through signs or kiosks.
- 1k. Repair pavement surfaces (asphalt, brick, concrete, etc.) to original standards when underground utility or other repairs are necessary.



A. PUBLIC REALM

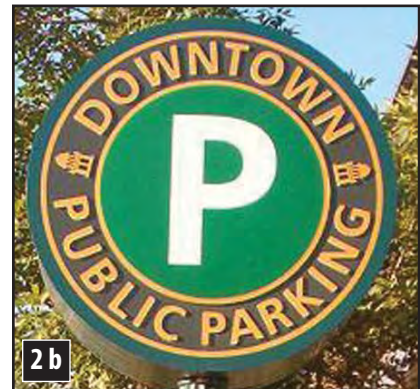
2. RESIDENT AND VISITOR ORIENTATION

People like to easily understand and remember the places they inhabit. Landmarks and views help residents and visitors orient themselves and find their destination. Additionally, signs, maps, and other way-finding tools are important.



GUIDELINES:

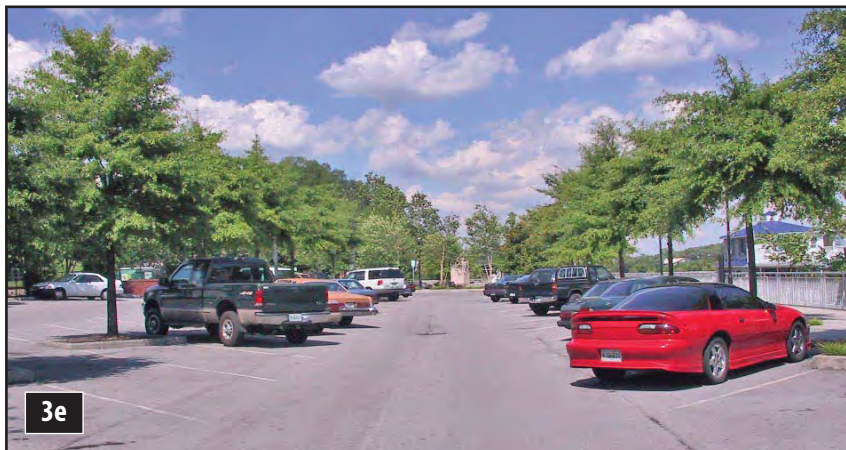
- 2a. Establish a comprehensive way-finding system for pedestrians.
- 2b. Create consistent parking signs and directional signs for both pedestrians and vehicular traffic.



A. PUBLIC REALM

3. PARKING FACILITIES

It is important to ensure that parking facilities (both public and private) are safe, accessible, and clearly marked. New parking facilities should be designed to be attractive, compatible additions to downtown. In general, new parking facilities should remain subordinate to the street scene.



GUIDELINES:

- 3a. Create parking garages that do not contain blank walls. Allow for future commercial uses that may not be feasible at the time of construction.
- 3b. Locate parking garages under structures, or provide for retail, residential or office uses that line the garage. Corner locations are preferable for commercial uses.
- 3c. Locate surface parking lots to the side or rear of buildings. No surface parking lots should be created in front of buildings.
- 3d. Screen surface lots, where they abut a public sidewalk, with decorative walls, fencing and landscaping.
- 3e. Distribute shade trees within surface lots at a ratio of 1 tree per 8 parking spaces. Trees may be planted in wells between spaces.
- 3f. Provide pedestrian-scale lighting (10-15 feet in height) that uniformly illuminates the lot.
- 3g. Access to parking garages should not limit options for future development of contiguous or adjoining space, especially on corners.

A. PUBLIC REALM

4. DOWNTOWN BEAUTIFICATION

Beautifying downtown can occur through many different elements including architecture, landscape architecture, horticulture, art, and performing art. These elements provide expressions of local history and culture. They contribute to local identity and unique qualities of downtown. Public spaces should be designed to include art and beautification.



GUIDELINES:

- 4a. Foster downtown beautification with landscaping and plantings, public art, and public open space.
- 4b. Establish performance spaces for the arts including opportunities for artists to perform, display, or create work.
- 4c. Plant street trees where possible. Choose tree planting locations that will not significantly alter the setting of, or harm the materials of historic buildings.





B. PRIVATE REALM

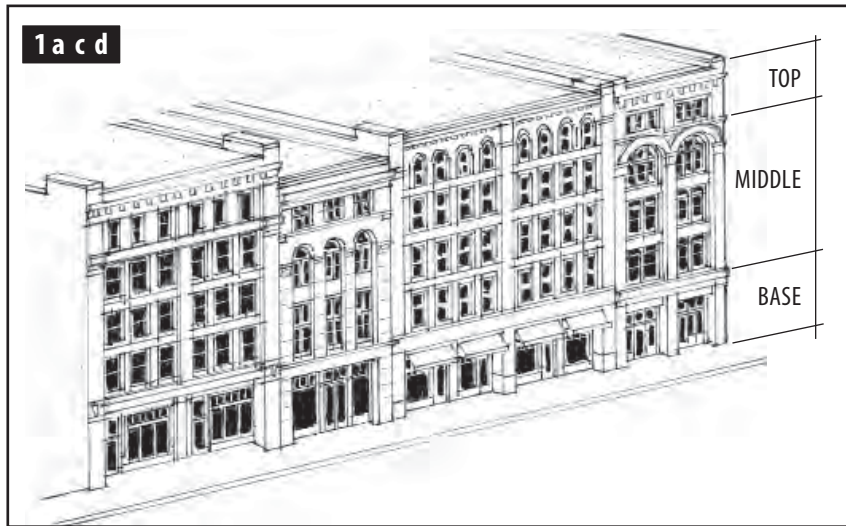
The private realm is composed of the buildings, structures, and private or quasi-public open spaces. The private realm is commonly defined by building envelopes. These guidelines are not intended to govern the use of the structures, but to foster complementary design between the public and the private realms.

Various architectural styles have contributed to the character of downtown development. The goal of these guidelines is to recognize potential for architectural diversity while adhering to the principles outlined in this section.

B. PRIVATE REALM

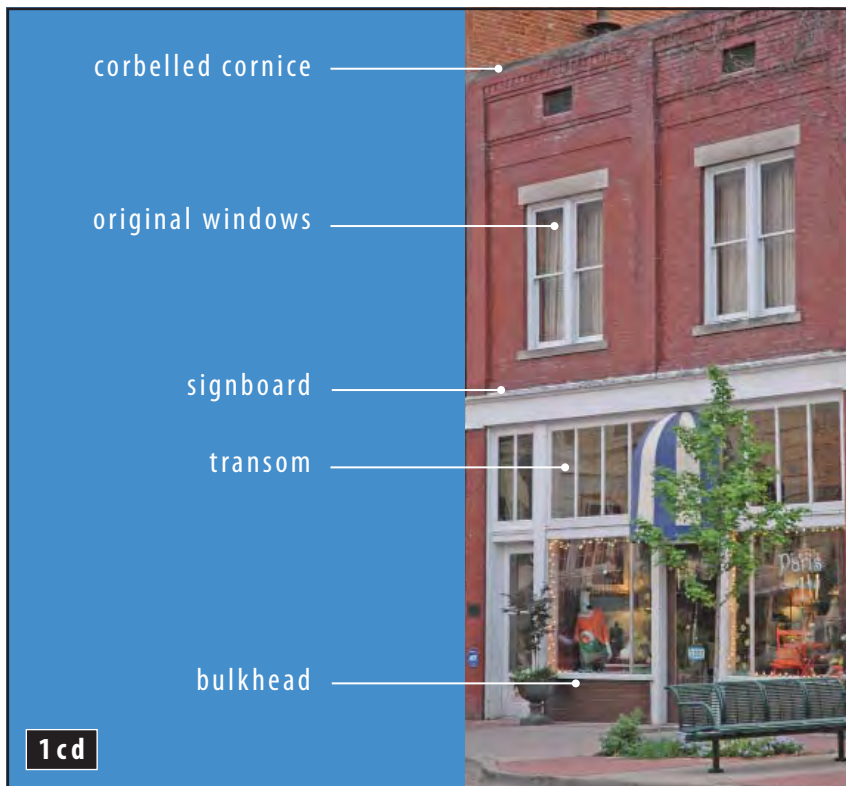
1. BUILDING MASS, SCALE AND FORM

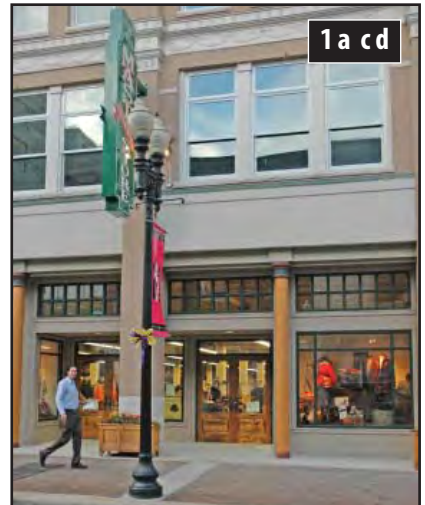
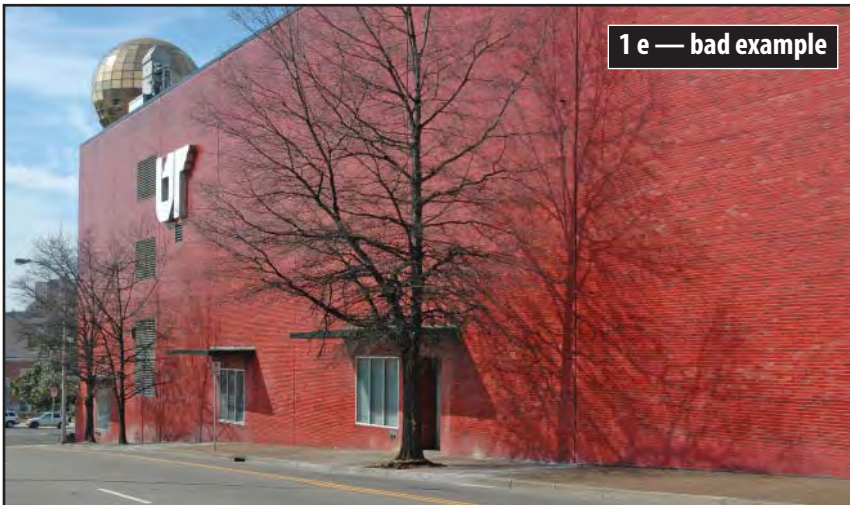
Building form should be consistent with the character of downtown as an urban setting and should reinforce the pedestrian activity at the street level. Creating pedestrian-scale buildings, especially at street level, can reduce the perceived mass of buildings. Historically, building technology limited height and subsequently created pedestrian-scaled buildings typically less than 10 stories. Building technology no longer limits the height of buildings and there are no height limitations imposed by the zoning ordinance for downtown Knoxville. However, there is still a need for buildings that respond to pedestrians. The use of 'human-scale' design elements is necessary to accomplish this. Human-scale design elements are details and shapes that are sized to be proportional to the human body, such as, upper story setbacks, covered entries, and window size and placement.



GUIDELINES:

- 1a. Maintain a pedestrian-scaled environment from block to block.
- 1b. Foster air circulation and sunlight penetration around new buildings. Buildings may be designed with open space, as allowed under existing C-2 zoning; or buildings may be 'stepped back' on upper floors with lower floors meeting the sidewalk edge (see Area Regulations of the C-2 Zoning District in Appendix B).
- 1c. Use building materials, cornice lines, signs, and awnings of a human scale in order to reduce the mass of buildings as experienced at the street level.
- 1d. Divide larger buildings into 'modules' that are similar in scale to traditional downtown buildings. Buildings should be designed with a recognizable base, middle, and top on all exposed elevations.
- 1e. Avoid blank walls along street-facing elevations.





B. PRIVATE REALM

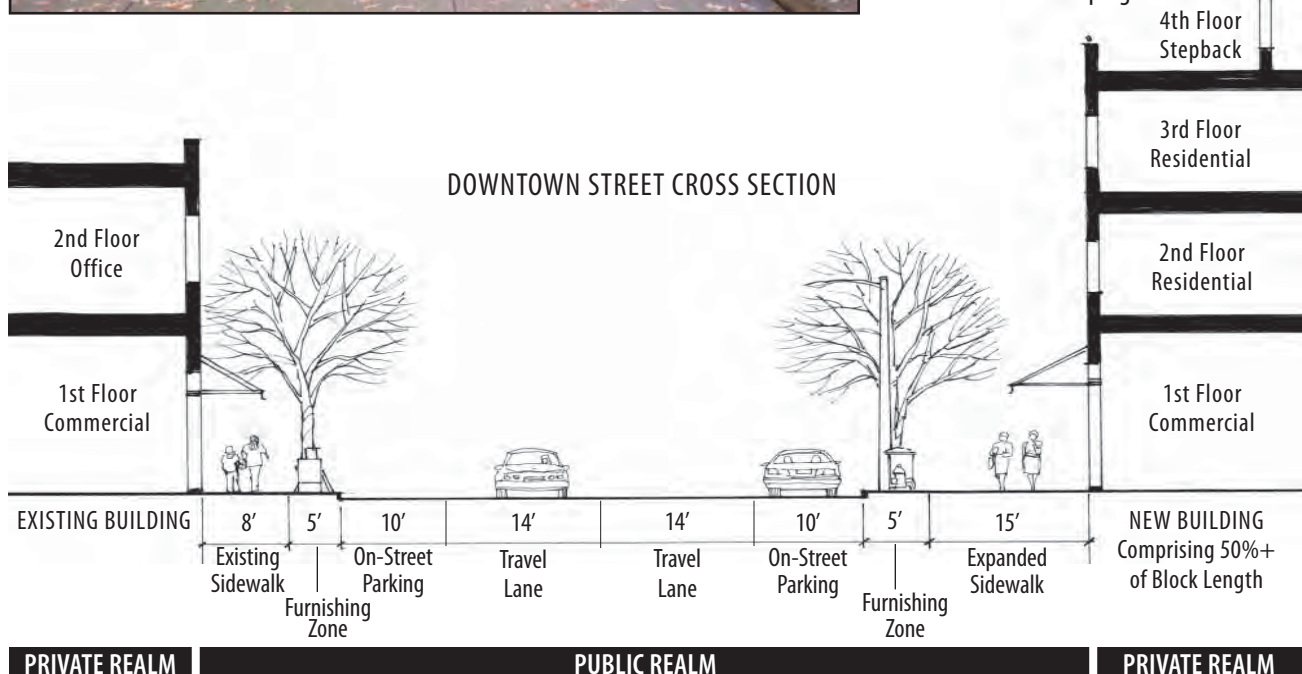
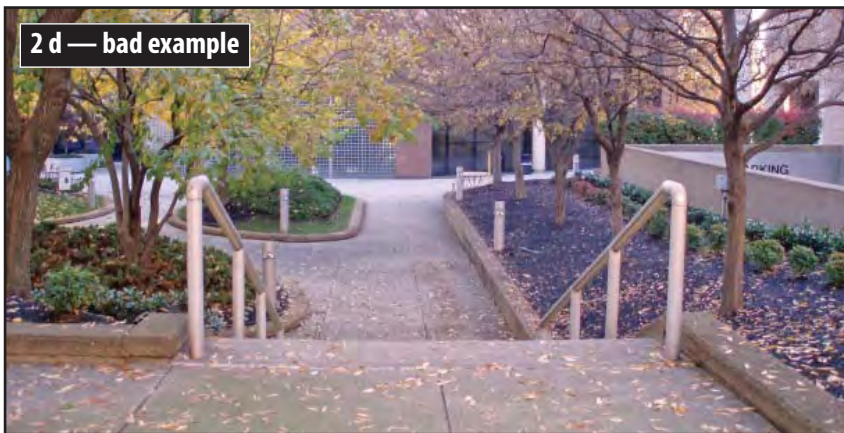
2. BUILDING LOCATION

It is important to establish a strong relationship among buildings, sidewalks, and streets. This is typically accomplished through consistent setbacks that locate buildings on the same line.



GUIDELINES:

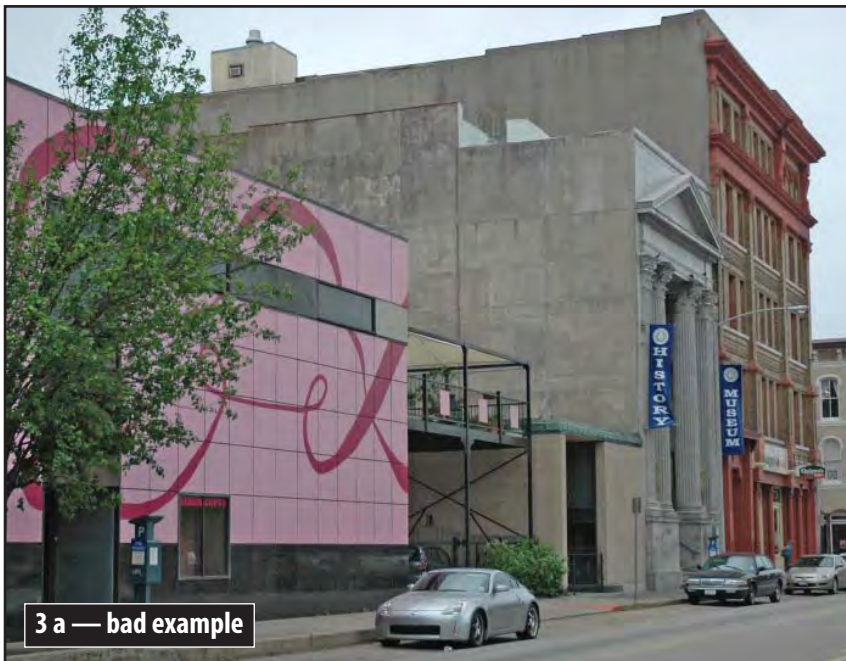
- 2a. Set buildings back five feet in order to provide wider sidewalk space when new construction in non-historic areas is to be more than half the length of the block.
- 2b. Consider using landscape elements to define the sidewalk edge where a building is to be set back from the sidewalk.
- 2c. Maintain sight lines to historic buildings that were originally located in an open setting, providing setbacks for new buildings next to historic structures in order to preserve views.
- 2d. Limit grade separations above or below the sidewalk, generally no more than 3 feet. Allow for clear sightlines into and out of buildings and plazas.
- 2e. Design private plazas to be pedestrian-friendly. Provide human-scale amenities and include landscaping.



B. PRIVATE REALM

3. BUILDING MATERIALS

New building materials should relate to the scale, durability, color, and texture of the predominate building materials in the area.



GUIDELINES:

- 3a. Use complimentary materials and elements, especially next to historic buildings.
- 3b. Rehabilitate historic structures in accordance with the Secretary of Interior's Standards (see Appendix A).

B. PRIVATE REALM

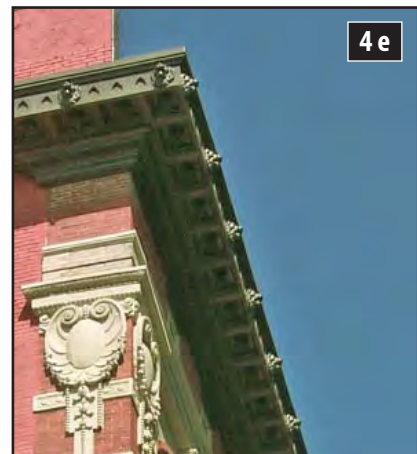
4. ARCHITECTURAL CHARACTER

Buildings should be visually interesting to invite exploration by pedestrians. A building should express human scale through materials and forms that were seen traditionally. This is important because buildings are experienced at close proximity by the pedestrian.



GUIDELINES:

- 4a. Encourage first floor uses that draw walk-in traffic; businesses that do not require pedestrian traffic should be located on other floors.
- 4b. Enhance pedestrian interest in commercial and office buildings by creating a largely transparent and consistent rhythm of entrances and windows.
- 4c. Scale first floor signs to pedestrians.
- 4d. Differentiate the architectural features of ground floors from upper floors with traditional considerations such as show-windows, transoms, friezes, and sign boards.
- 4e. Design top floors to enhance the skyline of the block through cornices and details that are harmonious with adjacent architecture.
- 4f. Encourage the use of 'green roofs' and other sustainable practices, while minimizing the visual impact from the street.



B. PRIVATE REALM

5. GROUND FLOOR DOORS AND WINDOWS

Entrances and ground floor windows should foster pedestrian comfort, safety and orientation. Not every building in downtown needs to have the same window or entry designs; however, repeating the pattern of historic openings helps to reinforce the character of downtown, differentiating it from suburban areas.



GUIDELINES:

- 5a. Use consistent rhythm of openings, windows, doorways, and entries.
- 5b. Orient primary front entrances to the main street; secondary entrances should be clearly defined and oriented to streets or alleys, as appropriate.
- 5c. Design entrances according to the proportions of the building's height and width.
- 5d. Consider corner entrances at the ends of blocks.
- 5e. All windows at the pedestrian level should be clear
- 5f. Recess ground floor window frames and doors from the exterior building face to provide depth to the facade.



continued . . .

B. PRIVATE REALM

5. GROUND FLOOR DOORS AND WINDOWS



B. PRIVATE REALM

6. RESIDENTIAL BUILDINGS

Solely residential buildings, such as townhouses and apartment buildings, are rare in downtown Knoxville. Privacy and safety are concerns with residential units that meet the sidewalk. Mixed use buildings, with apartments above shops or offices, can avoid these challenges and add to downtown vitality.



GUIDELINES:

- 6a. Elevate the first floor of townhouses and apartment buildings so that pedestrians cannot look directly into the residence from the sidewalk level.
- 6b. Design entrances to residential buildings so that access is separated from pedestrian flow on the sidewalk.
- 6c. Encourage the development of mixed-use buildings with apartments over lower story commercial uses.
- 6d. Provide yard space for apartment buildings in the Boulevard District.

B. PRIVATE REALM

7. MECHANICAL EQUIPMENT AND SERVICE UTILITIES

Utilities can include telephone and electrical lines, ventilation systems, gas meters, air conditioners, fire protection, telecommunication and alarm systems. Adequate space for these utilities should be planned in a project from the outset and they should be designed such that their visual and noise impacts are minimized.



GUIDELINES:

- 7a.** Minimize the visual impact of mechanical equipment through screens or recessed/low-profile equipment.
- 7b.** Do not locate units on a primary façade.
- 7c.** Screen rooftop vents, heating/cooling units and related utilities with parapet walls or other screens. Consider sound-buffering of the units as part of the design.
- 7d.** Locate utility connections and service boxes on secondary walls.
- 7e.** Reduce the visual impacts of trash storage and service areas by locating them at the rear of a building or off an alley, when possible.
- 7f.** Screen dumpsters from view.
- 7g.** Locate satellite dishes out of public view, where possible.
- 7h.** Allow solar panels and other technological advances on rooftops and other unobtrusive locations. Solar panels should not be considered on the elevations of historic buildings.

PLEASE NOTE:

Guidelines for signs that are appropriate for private or public development are outlined in Section 2: The Districts, see pages 33-42.

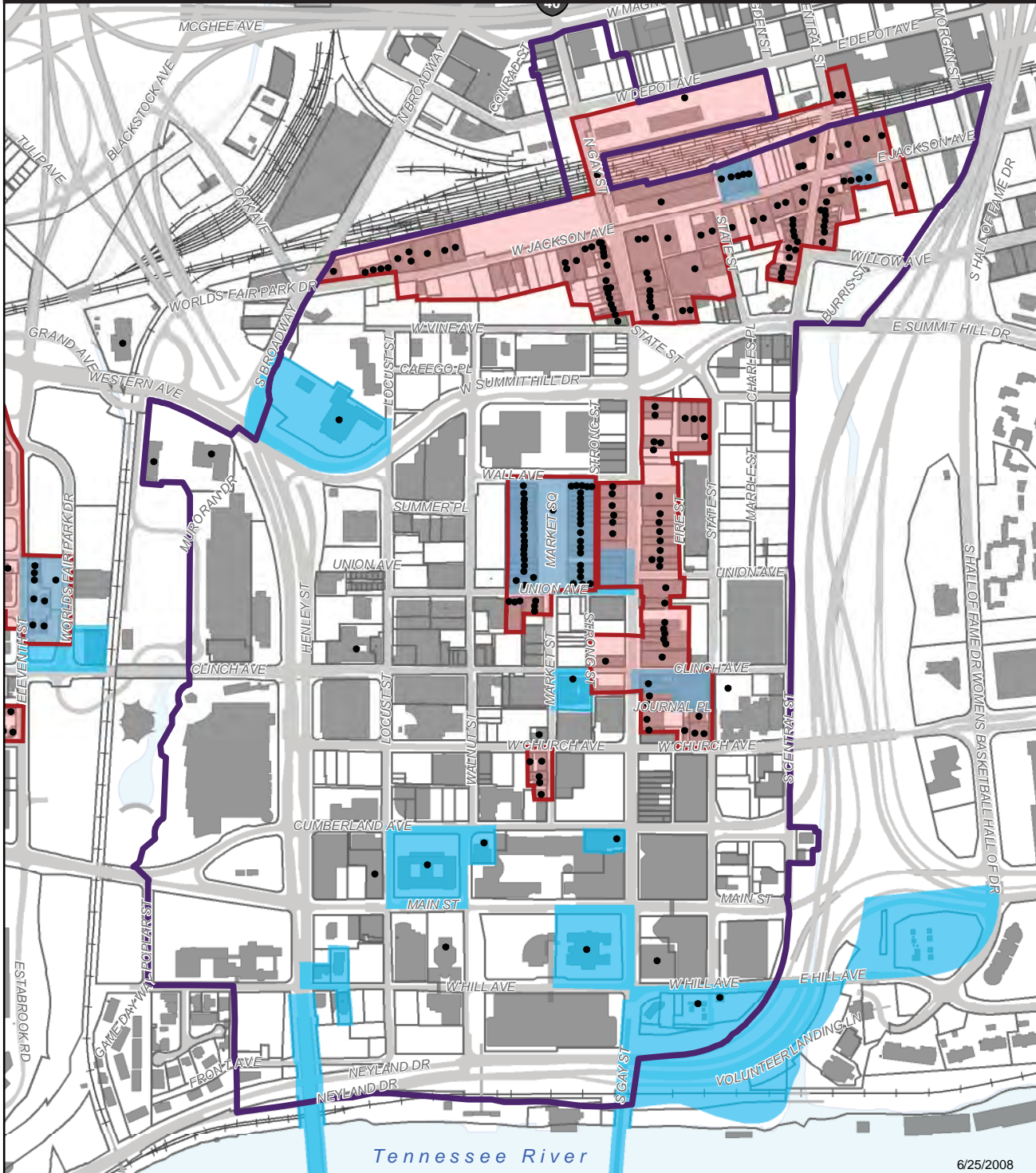


C. HISTORIC RESOURCES

Downtown contains four districts and several individual landmarks which are listed on the National Register of Historic Places. The buildings differ in ground-floor appearance and architectural details, reflecting their original materials, stylistic era and uses. The guidelines on the following pages apply to National Register properties and do not apply to locally-designated (H-1) historic resources, which are reviewed by the Historic Zoning Commission.

NOTE: Design guidelines for historic resources within downtown Knoxville are based on the Secretary of Interior's Standards for Rehabilitation which are listed in Appendix A, and on design principles that will safeguard the historic integrity of buildings. There are some basic questions to consider before pursuing exterior changes to a historic structure; those questions are addressed in Appendix B. Developers who wish to pursue Preservation Tax Incentives should consult with the appropriate state and federal officials regarding proposed designs.

MAP 2: Historic Designations in the Downtown Design Review Overlay



6/25/2008

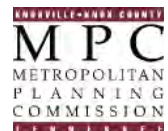
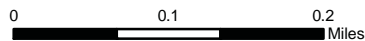
LEGEND

- National Register - Historic Sites
- ▭ D-1 Overlay Boundary
- ▭ National Register - Historic Districts
- ▭ Historic Overlay (H-1) - Current Zoning*

*Any H-1 overlay areas within the D-1 boundary are not subject to D-1 guidelines

Official maps are available for inspection in the Metropolitan Planning Commission offices. The zoning maps are amended frequently through action of the City Council and County Commission. Therefore, recent zoning changes that have been approved by the City Council or County Commission may not be reflected here. Verify all zoning with the Metropolitan Planning Commission staff at (865) 215-2500.

1 inch equals 650 feet



C. HISTORIC RESOURCES

1. ROOFLINES AND ADDITIONS

Alterations of the rooflines of historic buildings are not appropriate. A one-story rooftop addition, including railings, may be possible on taller buildings if it is inconspicuous from the public right-of-way. Additions should be set back from the primary elevation of the building, and should not damage character-defining features, including parapets and side walls. These walls are often topped by coping stones offering contrasting color or texture, or contain cornices, decorative grills, chimneys, corbelled brickwork and other architectural elements. Rooftop additions are almost never appropriate on buildings less than four stories in height.



GUIDELINES:

- 1a. Preserve or restore historic roofline features, including parapet walls and cornices.
- 1b. Design rooftop additions to be complimentary to the historic building in terms of materials and color.
- 1c. Avoid construction that maintains only the historic facade.
- 1d. Do not alter, obscure or destroy significant features of historic resources when constructing additions.
- 1e. Design rooftop additions so that they are not seen from adjoining streets and sidewalks.

C. HISTORIC RESOURCES

2. STOREFRONTS

Throughout downtown, historic buildings present a front elevation with an individual façade that is usually 25-35 feet wide. The storefronts are divided horizontally into three sections: bulkheads, solid or opaque, usually 18-24 inches tall; a plate glass storefront window 6-8 feet tall; and above it, a clear or patterned glass transom.



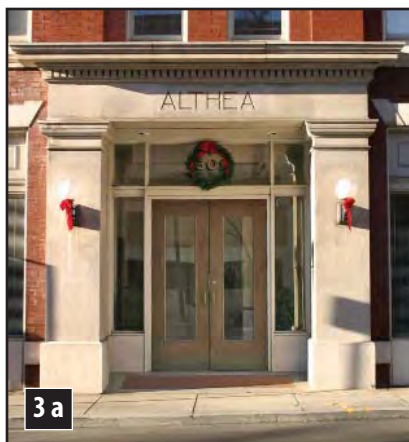
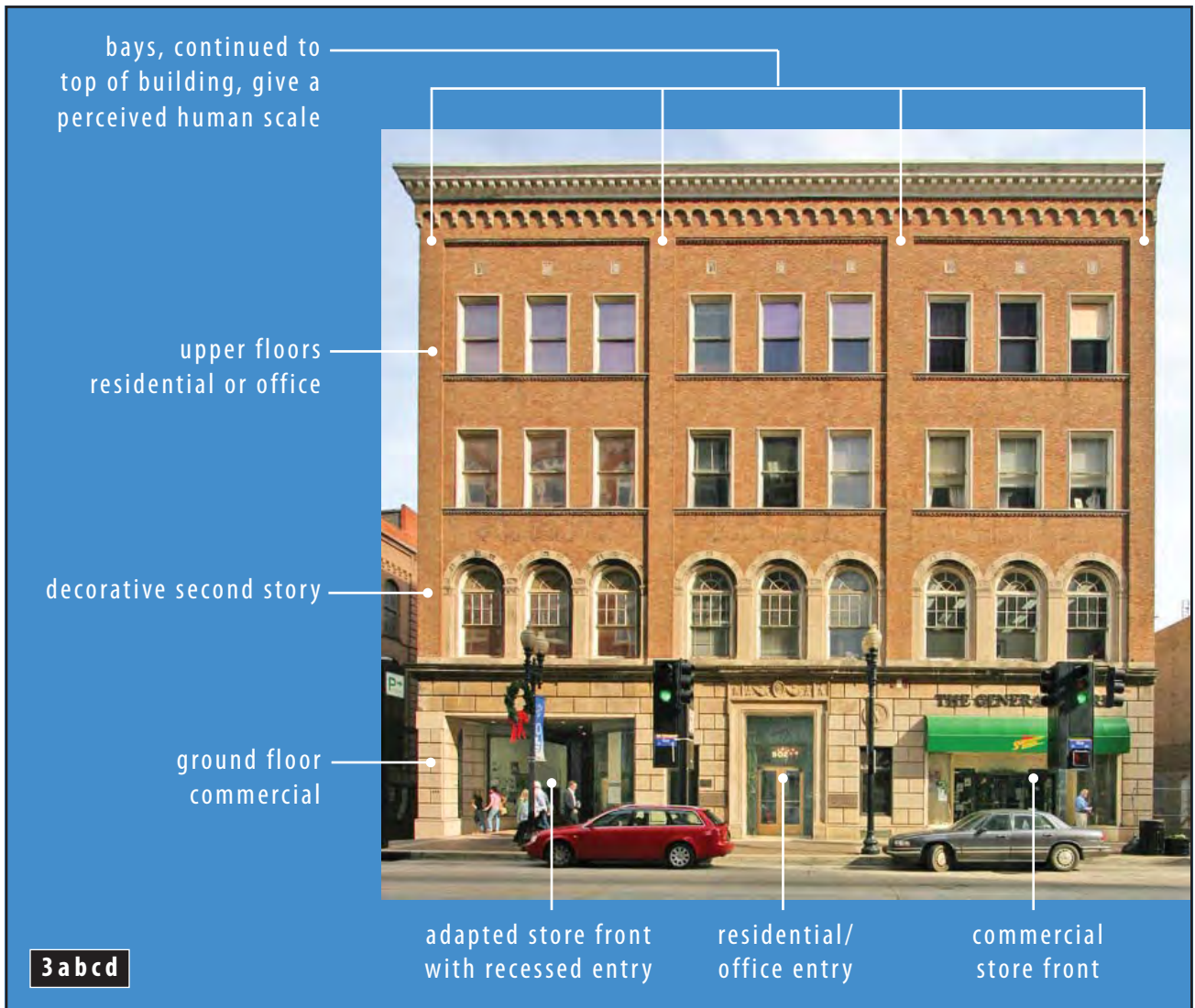
GUIDELINES:

- 2a. Restore and maintain storefronts as they were originally.
- 2a. Along Jackson Avenue, retain industrial loading dock or garage doors (usually 10-12 feet wide and constructed of metal); these features may be incorporated in new construction (for example, where a loading dock or parking entrance is needed).

C. HISTORIC RESOURCES

3. ENTRANCES

Formal entrances to front facades should be retained. This includes entrances that are located above street level and accessed by exterior stairs. Altering or removing the main entrance to grant street-level access is not appropriate.



GUIDELINES:

- 3a. Establish recessed entries, either rectangular or with slightly canted sides, which are appropriate in storefronts.
- 3b. Allow for multiple entries on the first floor of the building, giving access to commercial space that may be divided into bays.
- 3c. Provide access to upper stories through additional entries.
- 3d. Maintain original height and materials for doors that are consistent with the use of the building, such as residential, commercial, or banking purposes.

C. HISTORIC RESOURCES

4. WINDOWS

Appropriate window appearance is significant in finishing a rehabilitation project. From a preservation standpoint, the first and best answer when determining a treatment for windows is to repair rather than replace them. If that is not possible, replacing only deteriorated portions is the next best alternative to total replacement. It is possible to replace window sills, rebuild all or parts of window sashes, and replace window glass, making original windows energy efficient and functional.



GUIDELINES:

- 4a. Repair rather than replace historic windows.
- 4b. Replace windows if repairs are not possible with matching windows, including duplicating design, operation, material, glass size, muntin arrangements, profiles, and trim.
- 4c. Insert windows with the same pane configuration, materials and size as other buildings of the same general construction date, if no original windows are present.
- 4d. Maintain the relationship of solids to voids with new construction that is similar to other buildings in the district, including the typical width, height, spacing, and horizontal alignment of windows.

C. HISTORIC RESOURCES

5. MASONRY

Masonry features should be retained and repaired; materials, including mortar, should match the original mortar in color and composition. Mortar joints should be sized and struck to match the original. Belt courses, string courses, dripstones, quoins and contrasting brick and stone are common. These features should be preserved and repaired if necessary, and should be introduced on infill buildings.



GUIDELINES:

- 5a. Repair masonry with stone or brick and mortar that match the original.
- 5b. Do not paint masonry that has never been painted.



6. SANDBLASTING

The use of sandblasting, water blasting, or other abrasive or corrosive methods to clean buildings destroys materials by eroding their hard exterior surfaces, exposing the softer interiors, which are then subject to accelerated deterioration.

GUIDELINE:

- 6a. Do not sandblast, water blast, or use other abrasive or corrosive methods to clean or restore historic structures.

C. HISTORIC RESOURCES

7. RECOMMENDED SIGNS

Commercial establishments need to advertise. However, advertising signs should be effective and appropriate to historic areas without contributing to visual clutter. Primary concerns are a sign's location, size, material, and illumination.



GUIDELINES:

- 7a. Locate signs above storefront windows, below second-story windows on the sign board, or on the storefront windows themselves (30% is maximum coverage), or off the front of the building as a projecting sign (maximum size: 9 square feet).
- 7b. Create signs that are proportional to the building where they are located.
- 7c. Do not light signs internally.
- 7d. Allow painted signs on building walls in the warehouse area along Jackson Avenue, and in some other locations along Gay Street.
- 7e. Preserve signs that are historic elements of buildings.



C. HISTORIC RESOURCES

8. AWNINGS

Awnings are allowed on historic buildings when they are appropriate to the building and are designed with traditional shapes, forms, and materials. If awnings are used, their overall size, shape, and projection from the building must be in proper proportion and scale to the building and contained within the window or door they shelter, and not cover adjacent wall surfaces. Canvas is usually the appropriate material for awnings.



GUIDELINES:

- 8a. Allow awnings in traditional shapes and materials.
- 8b. Contain signs or advertising only within the valence of the awning.



C. HISTORIC RESOURCES

9. LIGHTING

Storefront windows may be lit with interior fixtures, entrances may be lit with overhead fixtures, and gooseneck fixtures can be used to highlight signs. Illumination may also be used to wash the building in light, emphasizing its distinctive architectural finishes.



GUIDELINE:

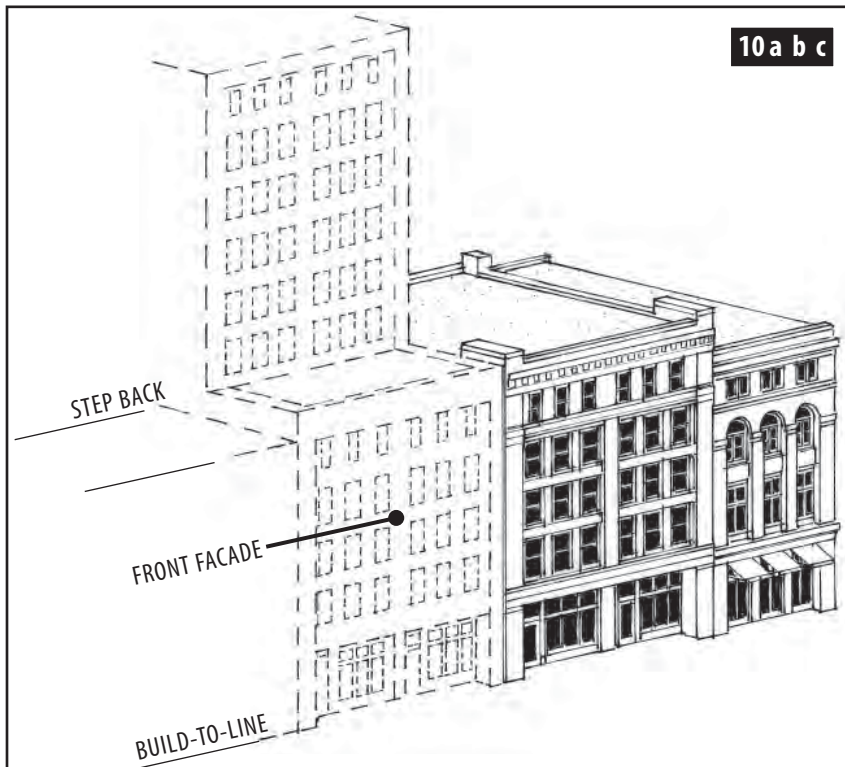
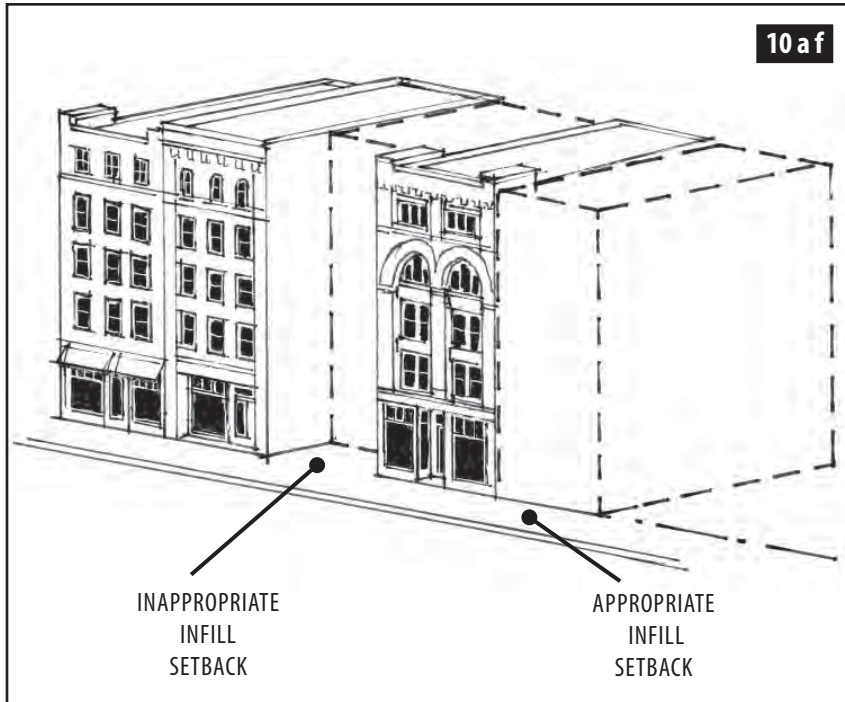
- 9a. Use indirect lighting of the building façade where appropriate.



C. HISTORIC RESOURCES

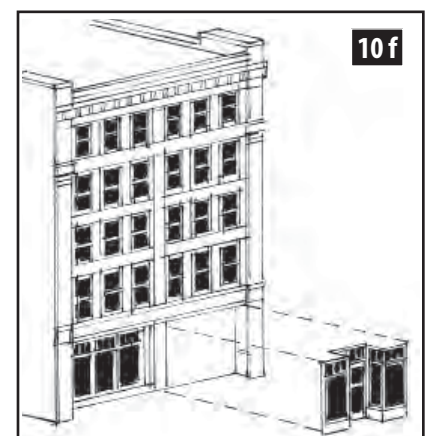
10. NEW CONSTRUCTION WITHIN OR ADJACENT TO AN HISTORIC DISTRICT OR BUILDING

Infill construction should be designed to reflect architectural and historic qualities. Designs should not duplicate current buildings. Issues of concern will be the siting, size, shape, proportion, materials, and the relationship of all of those to the prevalent character of the historic district.



GUIDELINES:

- 10a.** Maintain the setback of adjacent historic buildings. The height of the lower stories should be similar to adjacent historic buildings. Upper floors may be 'stepped back' behind the front facade.
- 10b.** Duplicate the horizontal floor divisions of existing buildings.
- 10c.** Design windows to be of similar proportions to the adjacent historic building windows.
- 10d.** Use ornamental stone, brick work, and trim appropriate to the style of the infill building.
- 10e.** Recognize the belt courses, strong courses, cornices, and other elements of adjacent buildings.
- 10f.** Incorporate storefronts that complement the openness, bulkheads, and transoms of historic buildings.



C. HISTORIC RESOURCES

11. INAPPROPRIATE PRIOR CHANGES

Buildings may have been altered over time; some of those alterations may be inappropriate. In planning exterior rehabilitation, inappropriate changes should be reversed.



GUIDELINE:

- 11a. During rehabilitation of historic buildings, restore components to the original or an approximate design.





A. THE BOULEVARD DISTRICT

There are four areas within the Boulevard District, the development surrounding Summit Hill Drive, Henley Street, Main Street and Neyland Drive. Its character can be attributed to two basic design features:

- Automobile-oriented thoroughfare designs with Summit Hill and Henley being traditional boulevards with medians and street trees; and Main Street and Neyland operating as wide conduits through the southern portion of downtown.
- Newer buildings that were generally developed with yard or other substantial open space beyond the street travel lanes. In the case of Main Street, a kind of ‘outdoor room’ was fashioned and is framed by Bank of America, the First Baptist Church and City-County Buildings on the south side with the Post Office Building and the Howard Baker Jr. Federal Courthouse on the north side.

The open landscape—the ‘street yards’—was repeated with lawns, plazas, and variable setbacks as buildings were created. Most of the investment in these areas is relatively new and not likely to appreciably change. Consequently, the design characteristics set a tone for the following guidelines.



A. THE BOULEVARD DISTRICT

1. YARDS/SETBACKS

Create yards that compliment the green space of adjacent buildings.



GUIDELINES:

- 1a. Separate new buildings from the sidewalk with lawn or other landscaped area.
- 1b. Plant native or naturalized trees and other landscape materials in the open spaces.
- 1c. Compliment the architecture and landscaping of adjoining property.
- 1d. Allow for plazas or similar quasi-public spaces in a portion of these private open spaces.

2. BUILDING CONSIDERATIONS

Enhance the architectural harmony of all buildings along the street.



GUIDELINES:

- 2a. Design building entrances to be clearly oriented to the street.
- 2b. Encourage building forms that are complimentary to the mass of adjacent buildings.
- 2c. Design building elevations to compliment the buildings along the side or back streets when buildings are to face more than one street.
- 2d. Screen service facilities or incorporate them into the design of new buildings so that they are not obtrusive.

3. RECOMMENDED SIGNS

Signs within downtown Knoxville are regulated by Article 5 Section 10 of the *Zoning Ordinance for Knoxville, Tennessee* available at MPC. These guidelines for the boulevard district recognize that certain types of signs are more appropriate to specific areas and should be encouraged within these areas.



GUIDELINES:

- 3a. Wall signs, mounted flush to the building facade or on the building's sign board
- 3b. Monument signs



B. THE TRADITIONAL GRID DISTRICT

The Traditional Grid District is formed from the historic Plan of the City of Knoxville. The block pattern was established in part due to the location of the City within the confines of First and Second Creeks and the Holston River, later known as the Tennessee River. These blocks were typically about 300 feet by 300 feet. This area has predominately retained this typical block size. Another pertinent consideration of this grid pattern is the narrowness of the street rights-of-way. This reduced width tends to affect the public realm by minimizing the widths of sidewalks in order to maintain building fronts and travel lane widths. However, the small block size and narrow streets that calm traffic are also what makes downtown Knoxville feel so walkable to pedestrians.

B. THE TRADITIONAL GRID DISTRICT

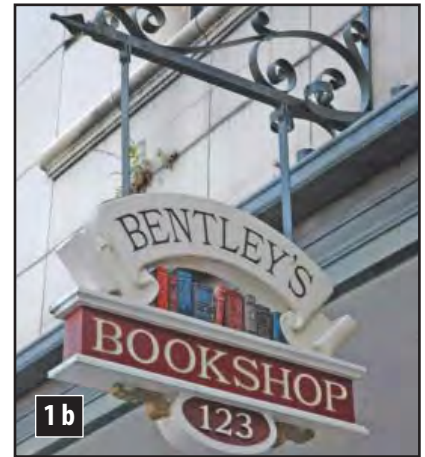
1. RECOMMENDED SIGNS

These recommendations for signs in the traditional grid district recognize that certain types of signs are more pedestrian-friendly and should be encouraged within the grid district.



GUIDELINES:

- 1a. Wall signs on sign boards that are above a transom or first story and mounted flush to the building façade
- 1b. Projecting signs of modest size (9 square feet, maximum); a larger sign must be approved by the board
- 1c. Window signs, less than 30 percent coverage, including neon signs
- 1d. Building name sign and/or building directory





C. THE WAREHOUSE DISTRICT

The area of Downtown Knoxville thought of as the Warehouse District is composed of three distinct parts, all of which are historically significant. Geographically, it is situated along Jackson Avenue from the intersection with Broadway to approximately 1½ blocks east of Central Street and includes properties on Central Street beginning at Summit Hill Drive and extending north to Depot Avenue. There are three areas with different architectural character in this district; each is eligible to be considered for a local historic zoning overlay. The district has been designated as a Redevelopment Area by the City of Knoxville. The guidelines of this publication should be used in rehabilitation and redevelopment projects within the area, particularly when public funds are utilized.

The following are general considerations for the overall Warehouse District. Specific guidelines should be drafted for each of these areas based on the Secretary of Interiors Standards, listed in Appendix A.

● **Jackson Avenue area, from Broadway to Gay Street:**

This area has a number of vacant parcels, along with several mid-rise brick warehouse buildings. One of the architectural characteristics of this area is that, mixed with the storefront designs of the ground floor are some loading docks that could, with interpretation in new construction, serve as entrances to garage parking without harming the architectural character of the street. Buildings that once formed the parallel building lines fronting W. Jackson Avenue were developed with individually designed facades in 35-foot-wide buildings which retain individual design characteristics on many storefronts.



● **Jackson Avenue area from Gay Street east to Hall of Fame Drive:** This area is composed of masonry buildings ranging in height from one to five stories, with varying street frontages, giving a physical manifestation of the warehousing character that developed in this section of Knoxville. There are a number of vacant parcels in this section, as well, and redevelopment should recognize the masonry, storefront windows, and varying setbacks and ages of construction that make the area unique.



● **Central Street, from Depot Avenue south to Summit Hill Drive:** The Central Street section is composed of one- to two-story buildings that are unremarkable as individual buildings, but draw significance as a collection of commercial buildings that supported warehouse employees and visitors that arrived on the railroad. In the rehabilitation that occurred in the 1980s, details were added that are inappropriate (for instance, wrought iron balconies). Re-creation of the authentic architecture of such buildings is preferred and additional inappropriate details should be avoided. New construction in this area should focus on the storefront designs, masonry, window sizes, setbacks and massing that complement the historic buildings.

C. THE WAREHOUSE DISTRICT

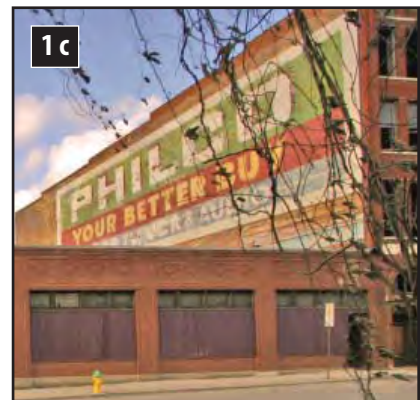
1. RECOMMENDED SIGNS

The entire Warehouse district is already listed on the National Register of Historic Places and these buildings are also eligible for local overlays. Signs should therefore be governed by historic standards. These recommendations recognize that certain types of signs are dominant in the Warehouse District and should be encouraged in the future.



GUIDELINES:

- 1a. Projecting signs of modest size (9 square feet, maximum); a larger sign must be approved by the board
- 1b. Wall signs on sign boards mounted flush to the building facade
- 1c. Painted wall signs
- 1d. Painted or new window signs, less than 30 percent coverage, including neon signs
- 1e. Building name sign and/or building directory





D. THE PROMENADE DISTRICT

The Promenade is a unique structure downtown that is located behind the buildings that front on the east side of the 400 block of S. Gay Street. The Promenade was created in the 1950s in an attempt to coordinate business interests to compete with a suburban shopping center. A convenient rear parking lot was created with access to the Promenade, which acts as a secondary entrance/storefront for the buildings. A rear facade covering was installed to give the building a unified look. As the result of changes over time, many of the buildings have been renovated and the rear facade covering was removed to expose windows.

D. THE PROMENADE DISTRICT

1. RECOMMENDED SIGNS

These recommendations for signs acknowledge the uniqueness of the Promenade and needs of the businesses that access the walkway. The signage on the Promenade shall count toward the maximum allowable signage for the associated buildings.

GUIDELINES:

- 1a. Arcade signs of modest size (6 square feet, maximum) centered on the Promenade walkway.
- 1b. One Promenade sign per building, located above the concrete support structure and at the bottom edge of the metal awning. The sign should be no wider than the distance between two concrete support structures, no taller than 5 feet and not over 60 square feet. Signs should be located in every other concrete support structure bay.
- 1c. Signs should be lighted externally and the Promenade sign should not have upward facing lights.



Section 3:

Administration of the Guidelines



A. Downtown Design Review Board and Zoning Overlay

The guidelines contained in this document are to be administered by a Downtown Design Review Board. The board, created through the Downtown Design Review Overlay District Ordinance, has the following duties:

- Review/recommend approval for all City projects (streets, sidewalks, landscaping, parks, public facilities and public way-finding) within the boundary of the overlay. Encourage other governments (e.g., State and Federal agencies) to participate in creating positive design improvements Downtown.
- Review and approve private development plans, based upon adopted design guidelines
- Advise the mayor, council, Metropolitan Planning Commission and Historic Zoning Commission on means to improve downtown design and programs to foster beautification, safety and related public purposes.

B. Objectives of the Overlay and the Review Board's Mission

- Foster street level development that is a pedestrian-friendly environment.
- Provide quality public spaces such as streets, sidewalks, parks and squares that are safe and beautiful.
- Create harmony in architectural and landscape architectural elements that provide beauty, commerce and vitality along sidewalks.
- Protect investments of owners who renovate or construct new buildings.
- Foster new development that complements adjacent historic resources.
- Provide for the development of areas of special character, like the Warehouse District along Jackson Avenue.

C. Underlying Zoning and the Relationship to Existing or Future H-1 Overlay Districts

The overlay does not regulate land use. Property in the overlay may be used for the purpose permitted by the base zoning (such as C-2 and O-2 zoning). Activities that add to sidewalk-level vitality would be encouraged.

Existing Historic Zoning Overlay (H-1) Districts would be excluded from the Downtown Overlay. Separate guidelines and overlays would apply to future H-1 overlays; the Historic Zoning Commission would review demolition, rehabilitation and development plans within H-1 districts.

D. Administrative Procedures

Developers of major downtown projects (new construction, changes to a building façade that faces a street, demolitions and parking facility development or redevelopment) are required to obtain a *Certificate of Appropriateness* from the Review Board before a building permit is issued. Exemptions from the Board's review include ordinary repairs, interior alterations that do not cover windows, temporary signs or structures and emergency safety repairs. The Executive Director of MPC or his/her designee may approve signs, replacement of windows and other minor modifications that conform to the guidelines.

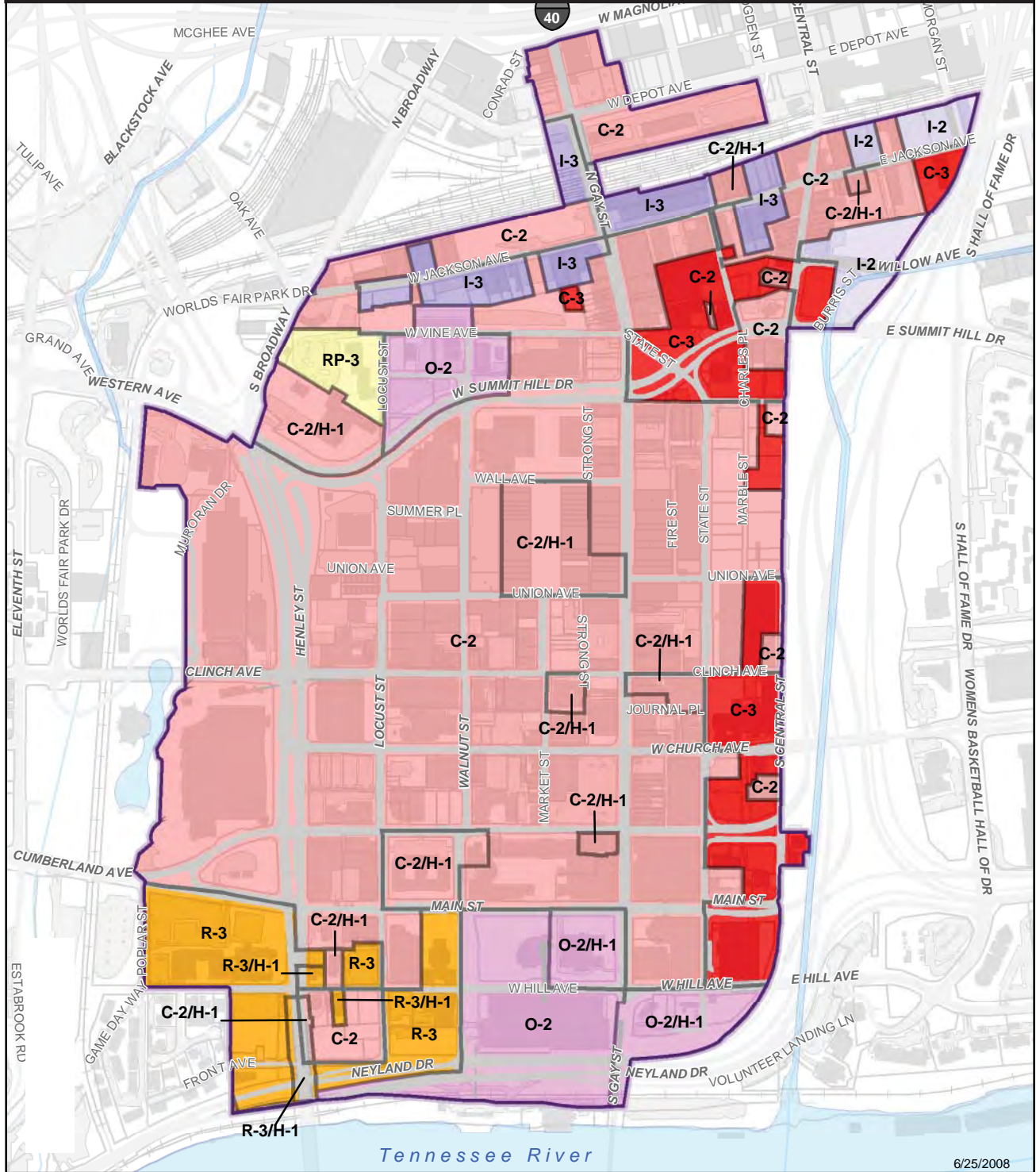
Procedures For Major Project Approval:

- The developer should meet with staff (MPC and City's Policy Development Directors) to discuss the proposed development and the implications of the design guidelines. Preliminary drawings or sketches, or renderings or photographs of similar projects are appropriate at this stage.
- To initiate the Board's review, an application for a Certificate of Appropriateness must be filed with the Metropolitan Planning Commission, including a site plan, building elevations and a written description, noting the intended ground level uses.
- The Review Board has 30 days following the submittal of a complete application to grant a Certificate of Appropriateness with or without conditions or deny the Certificate. Appeals are made to the Metropolitan Planning Commission.

E. Adoption and Amendment Processes

The Downtown Design Review Zoning Overlay Ordinance text, zoning map (depicting the overlay area) and Downtown Design Guidelines, and subsequent changes to those items, must be submitted to both MPC and City Council for adoption.

MAP 4: Zoning for the Downtown Design Review Boundary



LEGEND

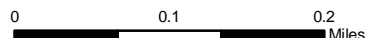
Zoning

- Office
- Commercial
- Central Business District
- Light Industrial
- Industrial
- Planned Residential
- Multifamily Residential
- D-1 Overlay Boundary
- Zoning Boundaries

Official maps are available for inspection in the Metropolitan Planning Commission offices. The zoning maps are amended frequently through action of the City Council and County Commission. Therefore, recent zoning changes that have been approved by the City Council or County Commission may not be reflected here. Verify all zoning with the Metropolitan Planning Commission staff at (865) 215-2500.



1 inch equals 650 feet



Appendix A

The Secretary of the Interior's Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

For more information: www.cr.nps.gov/hps/tps

Appendix B

The Basics of Determining Appropriate Exterior Changes

There are some basic questions that should be answered before pursuing any exterior changes. They can help an owner organize proposed changes and their impact on the building.

The Building's Appearance:

1. Will changes affect the symmetry or asymmetry of the façade or other primary elevations?
2. Will alterations affect the orientation of or public access for the building?
3. Will the amount of the building devoted to openings (entrances, windows) change?
4. Are the proportions of the alterations similar and sensitive to the proportions of the building?
5. Will alterations alter historic design elements?
6. What alterations involve the replacement of historic building elements?
7. Will alterations include new signs or awnings?
8. Will alterations impact any unique characteristics of the site?

The Building's Impact on Other Properties:

1. Will the alterations reduce the integrity of the historic resource or site?
2. Does the proposed alteration make reasonable attempts to respect and integrate with the existing design?
3. Are the alterations designed so they are reversible with minimal impact to historic design and materials if they were removed at a future time?
4. What is the effect of the alterations on the property, on adjacent properties and nearby properties, and on properties in the historic district?

Careful consideration of these questions will assist in designing appropriate details that protect the historic and architectural integrity of the buildings.

Appendix C

Meetings Schedule and Public Involvement Opportunities

Meeting 1: Steering Committee		Agenda:
January 24, 2006 5 p.m. City County Building		Basic Considerations: * Geographic scope * Historic resources * Typical guideline content * Administration
Meeting 2: Steering Committee		Agenda:
February 8, 2006 12 p.m. UT-Downtown Design Center		General Content: * Urban amenities * Connections to outlying areas * Examples from other Cities
Meeting 3: Public Workshop #1		Agenda:
March 7, 2006 5:30 p.m. East Tennessee History Center 60+ Attendees		Qualities of Downtown: * Vision statement * Study area * Zoning * Public and private realm * Historic resources
MPC Website		Agenda:
Posted comments received from Public Workshop #1		* Allowed for further comment via e-mail.
Meeting 4: Steering Committee		Agenda:
March 27, 2006 4:30 p.m. UT-Downtown Design Center		General Content: * Results of Public Workshop #1 * Creation of districts based on public comment
Meeting 5: Steering Committee		Agenda:
April 12, 2006 12 p.m. UT-Downtown Design Center		General Content: * Guidelines for districts * Examples of public realm guidelines * Public Workshop #2 outline
Meeting 6: Public Workshop #2		Agenda:
May 10, 2006 5:30 p.m. City County Building 50+ Attendees		Framing Guidelines: * Proposed districts * Principles * Visual preference survey * Administration
MPC Website		Agenda:
Posted Comments received from Public Workshop #2		Allowed for further comment via e-mail
Meeting 7: Steering Committee		Agenda:
May 25, 2006 12 p.m. UT-Downtown Design Center		General Content: * Identify stakeholders * Discuss results from survey * Review comments

Meeting 8: Steering Committee	Agenda:
June 14, 2006 12 p.m. UT-Downtown Design Center Attendees included representatives from: KUB, City Engineering, and City Public Service	General Content: * Explain process * Review public meetings * Discuss implications of guidelines * Comments/Concerns
Meeting 9: Steering Committee	Agenda:
June 21, 2006 12 p.m. UT-Downtown Design Center Attendees included 25+ Stakeholders	General Content: * Explain process * Review public meetings * Discuss implications of guidelines * Comments/Concerns
Meeting 10: Public Workshop #3	Agenda:
June 29, 2006 6:30 p.m. City County Building 15+ Attendees	Framing Guidelines * Proposed guidelines * Administration models * Comments
Meeting 11: Knoxville City Council Workshop	Agenda:
July 13, 2006 5 p.m. City County Building	* Review Content of Public Workshops 1-3 * Discussion of administration and adoption
MPC Website	Agenda:
Posted Draft Guidelines	* Allowed for Public Comment and Review via e-mail
Meeting 12: Steering Committee	Agenda:
July 26, 2006 12 p.m. UT-Downtown Design Center	General Content: * Discussion of City Council comment * Recognized need for public meeting on administration of guidelines
Meeting 13: Public Workshop #4	Agenda:
September 18, 2006 5:30 p.m. City County Building 30+ Attendees (600+ Postcards announced meeting)	* Reviewed guidelines and administration * Discussion period
Meeting 14: Steering Committee	Agenda:
January 4, 2007 12 p.m. City County Building	General Content: * Reviewed draft document
MPC Website	Agenda:
Posted Draft Guidelines	* Allowed for Public Comment and Review via e-mail
Meeting 15: Public Open House	Agenda:
January 23, 2007 4:00 - 6:00 p.m. City County Building 20+ Attendees (600+ Postcards announced meeting)	* Reviewed guidelines * Discussion period

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KNOXVILLE • KNOX COUNTY

M P C

METROPOLITAN
P L A N N I N G
C O M M I S S I O N

T E N N E S S E E

Suite 403 • City County Building
400 Main Street
Knoxville, Tennessee 37902
8 6 5 • 2 1 5 • 2 5 0 0
F A X • 2 1 5 • 2 0 6 8
w w w • k n o x m p c • o r g

5.0. General provisions.

5.0.1. Introduction. Overlay districts address specific aspects of land use control or development design that transcend provisions of underlying basic, planned development or form districts. Overlay districts are intended to provide flexibility of design and to avoid the need for variances, preserve and protect sensitive and established structures and neighborhoods, and promote cohesive and compatible development through the use of design guidelines and/or regulations adopted for each district.

5.0.2. Applicability. Overlay districts shall be depicted as a mapped geographic area applied to the official zoning map according to the amendment procedures of article 7, section 6. Overlay districts may be applied over any basic, planned development, or form districts established by this code, and may encompass one or more of those districts. Unless expressly stated otherwise in this section, all lands encumbered by an overlay district shall conform to all other applicable provisions of this code.

5.0.3. Permitted land uses. The range of land uses permitted within an overlay district shall be those afforded by the underlying district(s).

5.0.4. Additional requirements.

- A. *Design guidelines.* Alternative development standards within the overlay districts may be set forth for each specific district at subsections [5.1](#) through [5.5](#). In addition, each overlay district, when created, shall include design guidelines - which should be the result of a small area planning process - for a specific area of sufficient detail to demonstrate how the design goals and objectives will be accomplished.
- B. *Project review.* Development proposals are subject to review by the proper authority as set forth in each specific district in subsections [5.1](#) through [5.5](#)

5.5. D-1 downtown design overlay district.

- A. *General description.* This overlay district is intended to foster attractive and harmonious development and rehabilitation in Downtown Knoxville that reflects the goals of adopted plans, and the principles of the downtown design guidelines that are to be adopted when the zoning map is amended to create this district. Additionally, a downtown design review board will be established to review and approve the plans for public and private improvements in the district. Pursuant to procedures and conditions provided in this chapter, the design review board shall work to realize the following objectives:
 1. Promote downtown as a place for a viable mix of commercial, office, civic and residential uses, including street level development that creates a pedestrian-friendly environment.
 2. Create quality publicly-oriented spaces, including streets, pedestrian ways, parks and squares that are safe and beautiful.
 3. Create harmony in architectural and landscape architectural elements to provide a pleasing environment and continuous commerce and interest along sidewalks.
 4. Create efficient processes for the review and approval of downtown projects.
 5. Establish a means for design review for public improvements and building development and renovation to protect overall downtown investments.
 6. Foster new development that complements adjacent historic resources.
 7. Provide for the development of areas of special character, including the older grid street district (including such streets as Gay and Market streets and Clinch and Cumberland avenues), the Warehouse District (the Jackson-Central vicinity) and areas that are

characterized by boulevard-like streets (such as sites along Summit Hill Drive and Henley Street).

- B. *Permitted uses.* Permitted uses shall be determined by the base zone of the property (such as the C-2 or O-2 zoning districts).
- C. *Area regulations.* The dimensional requirements of the base zone, such as the five-foot front yard setback and the open space requirement for taller buildings in the C-2 zoning district, will not always be consistent with the intent of the downtown design guidelines. The downtown design review board may issue a certificate of appropriateness (referenced in subsection F) to avoid the need for variances in cases where a development has been conceived to respect the historic context of the block, provide greater pedestrian activity at sidewalk level or meet other provisions of the guidelines.
- D. *Downtown overlay district defined and required guidelines.* The downtown design overlay district shall be shown on the city zoning map. Downtown design guidelines shall be adopted with changes to the zoning map to create boundaries for this overlay and shall be used by the design review board as a basis of their recommendations and decisions.

Historic zoning overlay (H-1) districts, which have their own boundaries and guidelines, shall not be included within the D-1 overlay.

- E. *Design review board: Creation, responsibilities, membership and administrative rules.* For the purpose of making decisions relative to the downtown design guidelines, a downtown design review board shall be established. The design review board's function is not to impose any architectural preferences. In no way are the guidelines meant to bring uniformity in design or approach or to require specific materials. They are meant to be applied in as flexible manner as possible to meet the needs of the building designer while encouraging the design to respect the context of nearby buildings and the streetscape. The guidelines are thus not a rigid set of rules, but rather a set of key principles to guide development. The review board's task is to provide certainty that both immediate surroundings as well as downtown as a whole are taken into account with each building project. Administrative rules, including rules governing the board, terms of membership and application schedules, shall be approved by the metropolitan planning commission. The responsibilities of the board and its membership are outlined below.

Responsibilities:

1. Review the designs for all public projects, including, but not limited to, street and sidewalk design, landscaping, park improvements, public facility improvements and public way-finding systems.
2. Review and approve private development plans, based upon the adopted design guidelines as set forth at the time of amendments to the zoning map.
3. Advise the mayor, city council, metropolitan planning commission and historic zoning commission on means to improve downtown design, incentives that could be used to foster good design, and programs that should be pursued to foster beautification, safety and related public purposes downtown.

Composition: The design review board shall be appointed by the mayor with the approval of a majority of the city council and shall be composed of permanent staff and other rotating members set forth as outlined below.

Staff (permanent members):

- (a) Metropolitan planning commission executive director (or designee), who shall be an ex officio non-voting member.
- (b) City's director of policy development (or designee).

Other (rotating members):

- (a) One architect (from a slate recommended by AIA Knoxville).
- (b) One urban design professional with a background in architecture or urban planning (selected from nominations from AIA Knoxville and the local chapter of the American Planning Association).
- (c) Two downtown residents.
- (d) Two businesses, development or real estate professionals whose work is largely focused upon downtown.
- (e) A member of the central business improvement district board (from a slate proposed by the board).
- (f) A member of the city's historic zoning commission.

Ex-officio members: The following may be called on to serve as non-voting members when cases require their technical and professional expertise.

- (a) Metropolitan planning commission and historic zoning commission staff.
- (b) Building official (or designee).
- (c) City engineering director (or designee).
- (d) Central business improvement district staff.
- (e) Knoxville Utilities Board staff.
- (f) Knoxville's community development corporation staff.
- (g) City Law Department staff.

Administrative rules: The board shall adopt administrative rules and shall submit the rules to the metropolitan planning commission for adoption. The rules shall outline the terms of board members, election of its chair, its schedule of meetings, voting procedures, application requirements regarding certificates of appropriateness, and appeal processes to the planning commission.

F. *Administrative procedures.*

Public improvements

1. The design of projects that are initiated by the city and Knoxville Utility Board, such as improvements to or new construction of streets, sidewalks, way-finding and other signs, lighting, parks and civic buildings, must be submitted to the review board for approval. The board shall send a report to the mayor and city council, and utility board director regarding their findings.
2. The board may request the mayor's assistance to pursue board review of other public projects, including those of county, state and federal governments.

Private development: The board must issue a certificate of appropriateness before a building permit can be issued. The following procedures are to be utilized:

1. The developer shall meet with staff (see subsection E) to discuss preliminary concepts of the proposed development; staff may waive this provision should they find the project to be of a minor nature (such as window, door or sign board replacement) or if the renovation is not oriented to a publicly-oriented space (such as a street, plaza or pedestrian way). Sketches, draft architectural drawings or photographs of similar projects are means which may be used to provide an understanding of the project. Staff, in turn, will discuss the implications of the design guidelines relative to the proposed concept. A brief report will be provided to the developer. Any requests for sign lighting or electronic message center exceptions within the

- D-1 (Downtown Design Overlay) shall be reviewed and approved by the downtown design review board and a certificate of appropriateness issued to the applicant.
2. An application for a certificate of appropriateness shall be filed with the metropolitan planning commission and shall include the application form and the following information for the review board's consideration:
 - a. A site plan, including property lines, sidewalk location, building footprint, landscaping, and parking and access points (as applicable);
 - b. Building elevations, showing entrances, windows, sign(s), construction materials and parapet or other structures to avoid visual or noise problems associated with heating/cooling or other utility units (other drawings such as perspectives are encouraged, but not required by the review board); and
 - c. A written description, stating the intended uses for the floors of the building(s); these may be presented as notes on the elevation(s).
 3. Certificates of appropriateness will be issued in accordance with the following:
 - a. All applications for certificates of appropriateness shall be considered by the review board, which shall have the power to approve, approve with conditions or deny certificates of appropriateness.
 - b. No permit shall be issued for the following activities without issuance of a certificate of appropriateness by the design review board:
 - (1) New construction,
 - (2) Facade changes to a publicly-oriented space or interior changes that would obscure windows and doors (such as drop ceilings or display cases),
 - (3) Parking facility development or redevelopment, and
 - (4) Removal of building features facing a publicly-oriented space.
 - c. Exemptions to the board's review include ordinary repairs, removal of signs (without replacement), temporary signs or structures, emergency safety repairs and interior alterations that do not obscure windows.
 - d. Staff may approve the following when they find that the design conforms to adopted guidelines: new signs, in-kind replacement of building features, removal of non-historic building features facing a publicly-oriented space, replacement of windows at ground level with transparent glass, or other replacements of building features that are consistent with the design guidelines.
 - e. The review board shall, within thirty (30) days following the availability of sufficient data, grant a certificate of appropriateness with or without attached conditions or deny said certificate, and shall state the reasons for denial or the conditions attendant with the granting of a certificate in writing.

Appeals: As to application for certificates of appropriateness located within the D-1 Design Guidelines Overlay boundaries of the city, the applicant submitting an application, or any person who was a party for or against the application at the downtown design review board meeting, may appeal approval, conditions of approval, or disapproval of such application to the metropolitan planning commission, in accordance with article IX of the city downtown design review board administrative rules and procedures. A staff decision, based on judgment, may be appealed to the downtown design review board, in accordance with article VII, section 3, city downtown design review board administrative rules and procedures.



**DOWNTOWN DESIGN REVIEW
Standards and Guidelines
NEW CONSTRUCTION, EXISTING
BUILDINGS, STREETScape**

Kalamazoo, MI

July 2012

March 7, 2005—Kalamazoo City Commission adopted the Downtown Design Guidelines under Resolution #05-16 and enacted Ordinance 1783

July 16, 2012—Kalamazoo City Commission adopted the Downtown Design Guidelines by Resolution and enacted changes to the City of Kalamazoo Zoning Code 2.3G (5) under Section 6.5C of Appendix A-Zoning Ordinance

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

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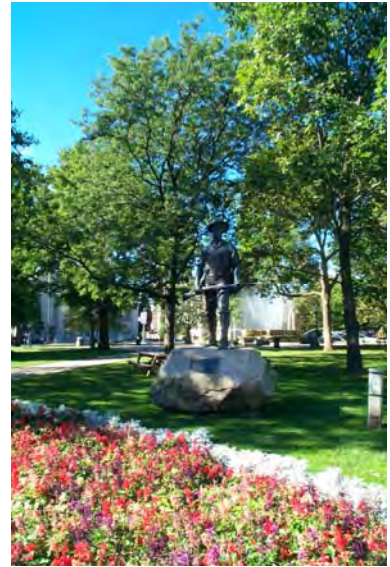


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DDRC STANDARDS AND GUIDELINES - 2012

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Standard - a minimum requirement all projects must/shall meet.

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DDRC STANDARDS AND GUIDELINES - 2012

Downtown Streetscape Three-Tier Design
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Layout and Circulation
Parking Structures
Surface Parking Lots
Emerging Technologies
Standards Checklist



Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

I. OVERVIEW

Purpose

The Downtown Design Review Committee (DDRC) Standards and Guidelines have been developed to give direction to public and private improvements within Kalamazoo’s downtown. The standards and guidelines serve as a basis for common decision-making among downtown businesses, property owners, and City government. They also outline an approach for creating a coordinated design theme for downtown that is simple and elegant and encourage designs that are complementary to the current fabric of the city’s core.

The DDRC Standards and Guidelines promote the evolution of a downtown supported by a lively, pedestrian-friendly space for commerce, government, residential, and social uses. The standards and guidelines integrate growth and new construction with historic buildings to encourage the creation of a vigorous and attractive urban hub.

The DDRC Standards and Guidelines are not intended to serve as, or supersede any MDOT, Historic District Commission or other safety or regulatory standards.

Statement of Intent

The City of Kalamazoo’s DDRC Standards and Guidelines are a tool for architects, developers, and property owners who plan to build, renovate and rehabilitate projects within the downtown. The purpose of the DDRC Standards and Guidelines is to encourage new construction, building rehabilitation, and streetscape projects that help to create a dynamic and vibrant 24-hour downtown—ensuring an economic environment attractive to residents, businesses, consumers, and visitors alike, both now and in the future.

The City of Kalamazoo encourages creativity and inventiveness in building reuse and new construction, as well as the preservation of key architectural features that help define our downtown.

Design Direction

Downtowns that are viewed as vibrant and active also include landscape and streetscape features which bring green elements into the city, including trees, grass, open space, and outdoor dining and entertainment. These elements bring a vibrant layer of detail and soften the urban core, helping to humanize, enhance, and invigorate downtown. They provide places to socialize, whether they are small open spaces to relax, large gathering places for events, or sidewalk cafes to meet with friends or just to watch the activities of the city.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Guiding Principles

In addition to referencing existing architectural and streetscape features, there are a number of guiding principles that underlie the DDRC Standards and Guidelines. The guiding principles are:

- Celebrate the Kalamazoo of yesterday and today, while looking to tomorrow,
- Create a setting for social, cultural, and environmental awareness and enjoyment,
- Create new kinds of urban districts that integrate workplace, housing, transportation, retail, and cultural amenities,
- Protect and leverage existing assets within downtown Kalamazoo (including existing neighborhoods, Kalamazoo Mall, open spaces, cultural facilities, and institutions),
- Define a hierarchy of streets and pedestrian linkages that bind the city together,
- Utilize existing styles (such as the Art Deco influence) as a design vocabulary to unify the built environment in the downtown,
- Celebrate the arts, entertainment, and culture of the people of Kalamazoo, and their diversity of thought, taste, and interest,
- Enhance Kalamazoo's sense of place.

Use of the DDRC Standards and Guidelines

The DDRC Standards and Guidelines will be used by any entities, public or private, planning to renovate or add buildings or other elements that are viewed or experienced from the public realm. It should be noted that these guidelines do not omit the requirement to obtain building, zoning, encroachment, or other types of approvals from the City prior to any work. The document sets a minimum design standard, but individual efforts should be tailored to specific locations, land-uses and local character. This system of standards and guidelines is designed to be flexible, encouraging a balance between coordination and individuality.

The DDRC Standards and Guidelines do not omit the requirement to obtain building, zoning, encroachment, or other types of approvals from the City prior to any work.

The document is divided into four main sections:

- I. Overview: purpose and intent.
- II. New Construction: all new construction.
- III. Existing Buildings: façade restoration, rehabilitation, and additions to existing buildings or any alteration on the exterior of the building.
- IV. Streetscape Elements: both private and public streetscape elements.

Each section specifies the **standards** and discusses the more general **guidelines**:

- **Standards** represent the baseline that all projects must include in planning and design. Some examples include matching the setback of new buildings to adjacent buildings, pedestrian-oriented uses on the ground floor, sign dimensions, retaining existing architectural ornaments, etc. Often smaller projects that comply with the standards—like signs—can be a “Tier I Review.”

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

- **Guidelines** are more flexible than the standards and require a “Tier II Review” by the Downtown Design Review Committee at a regular meeting. Guidelines allow more flexibility in maintaining the urban character of downtown Kalamazoo. The DDRC meets weekly as needed to fit within the Site Plan Review Committee schedule.

While the DDRC Standards and Guidelines can be referred to and used as a complete and comprehensive document, it has been structured so that each of the sections can be used individually, depending on the type of project. For example, an architect, developer, or owner wishing to renovate an existing building could refer to and use just Section III (Existing Buildings) if the project includes no streetscape elements.

Process

Applications are available from the Downtown Design Review Coordinator and are available for download from the city website from the Community Planning and Development Department.

Applications for review must be submitted with supporting documents. Depending on the project, the application may include plans, drawings, materials samples, elevations. Downtown design review is limited to the exterior of a building, so interior floor plans may not be necessary.

The process for reviewing an application is determined according to two levels of review:

- “Tier I Review” is an administrative review and applies to smaller-scale projects and those with less impact on the building fabric or streetscape that comply with the standards.
- “Tier II Reviews” are required for larger projects or projects which alter the exterior of a building including all new construction or additions and all projects that require Site Plan Review. Examples of Tier I and Tier II projects are outlined later in this section.

Appeals will be made to the Planning Commission in order to resolve issues between the Downtown Design Review Committee, the Site Plan Review Team, and the applicant. Details of the process are outlined in further detail in the following sections.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

The Downtown Design Review Committee prefers to meet with developers and project managers while large projects are still in the concept phase. A meeting with the Downtown Design Review coordinator or committee can be arranged by contacting the Downtown Design Review coordinator at 269-337-8804.

Tier I - Administrative Review

City of Kalamazoo and Downtown Development Authority (DDA) staff review plans and details with applicant and approve, approve with conditions, or refer the project as proposed to the DDRC at a weekly meeting for review.

Review Process for Tier I Reviews:

1. Applicant (owner, architect, sign fabricator) submits an application, including design-related project criteria, plans and drawings to the Downtown Design Review Coordinator.
2. Downtown Design Review Coordinator and DDA staff review, and refer project to additional City of Kalamazoo staff as appropriate (for example, historic district, planning, zoning or permitting staff).
3. City of Kalamazoo staff will approve the project as presented, approve the project with conditions, or deny project as proposed.
4. Approved projects are cleared to submit sign, historic district and building permit applications as needed.

Examples of Tier I Projects:

- New signs or re-facing existing signs
- Sidewalk signs
- Awnings and canopies
- Lighting
- Fencing
- Streetscape and street furniture
- Screening mechanical equipment
- Demolition of secondary structures
- Simple façade design changes and/or repairs

Tier II - Site Plan Review

City of Kalamazoo and Downtown Development Authority (DDA) staff review plans and details with the applicant and prepare staff recommendation for Downtown Design Review Committee (DDRC) review. At their regularly scheduled weekly meeting, the DDRC reviews and approves, approves with conditions, or denies the proposal and forwards their comments to Site Plan Review Team.

Appeal: Planning Commission

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Review Process for Tier II Reviews that also require Site Plan Review (Site Plan Review is required for projects which expand the size of the existing structure or new construction):

1. Proposal submitted for Site Plan Review—typically Site Plan Review does not require elevations of the building.
2. Proposal submitted for Downtown Design Review Committee (and Historic District Commission* if applicable). Application should include drawings with elevations, exterior details on cladding and finishing materials
3. City of Kalamazoo and DDA staff review design-related project criteria, and prepare recommendation for DDRC.
4. Site Plan Review Team approves, approves with conditions, or denies project as proposed.

Appeal: Planning Commission

Review Process for Tier II Reviews that occur without Site Plan Review (Site Plan Review is required for projects which expand the size of the existing structure, change of use or new construction):

1. Proposal submitted for Downtown Design Review Committee. (and Historic District Commission* if applicable) Application should include drawings with elevations, exterior details on cladding and finishing materials
2. City of Kalamazoo and DDA staff review design-related project criteria, and prepare recommendation for DDRC.
3. DDRC review, generally scheduled on weekly, meets and reviews the application and specifications. The committee recommends approval, approval with conditions, or denial of the project.

* See pages 35 and 36 for a complete list of local historic district properties.

Appeal: Planning Commission

Examples of Tier 2 Projects:

- Exterior rehabilitation of existing buildings
- Parking Lots and streetscapes
- New construction
- Public Open Spaces, parks, streetscape areas
- New internally illuminated, animated, or moving signs
- All sidewalk cafes
- Any project requiring Site Plan Review
- Any project which does not comply with the standards

Standard - a minimum requirement all projects must/shall meet.

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DDRC STANDARDS AND GUIDELINES - 2012

II. NEW CONSTRUCTION

Introduction

Downtown Kalamazoo has a variety of architectural styles from the past and present. Buildings with historic integrity not only act as symbols of Kalamazoo's past, but also as models for future construction. This is not to say that all new construction must fit into a 'historic' style, but it should respect the existing urban fabric of the city.

Design guidelines provide developers, building owners, retail owners, and tenants with a means to express the individuality of their building, store, or service while contributing to the consistency of massing, form, materials, and proportion that enhance the downtown visiting, working, and living experience.

New construction, whether infill between existing buildings or freestanding, should enhance the downtown streetscape. Buildings should relate to nearby existing buildings, while being clearly identified as new construction; be pedestrian-oriented; and utilize urban building materials.

Guidelines for signage, awnings and canopies, lighting, open space, sidewalk cafes, and parking can be found in Section IV- Streetscape Elements of the DDRC Standards and Guidelines.

Site Planning

The character of the downtown streetscape can be preserved by maintaining the continuity of the street frontage. This is especially applicable to infill construction between existing buildings. The following **standards** apply to site planning:

- A building must provide street-level, pedestrian-oriented uses on all street frontages.
- A building must follow the traditional setback of its neighbors.
- A new building facing a public street must be placed at the lot line. In some instances, a recessed first floor façade may be appropriate—provided that at least 75% or more of the façade is flush to the street.

While detached building forms are not predominant in Downtown Kalamazoo, they can be found in the Bronson Park National Register Historic District, the Arcadia Creek area and near Bronson Hospital, and include religious, governmental, civic, or institutional uses.

The following **guidelines** apply to detached building forms:

- The construction of new detached building forms should only occur in these areas.
- They should be set back from the property line to reflect existing characteristics,

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

and the setback area should serve as a green-space or open space between the building and the sidewalk.

Circulation

The following **guidelines** apply to circulation:

- The established nature of the downtown street grid should be maintained and improved wherever possible. Multi-block developments which close existing streets will not be recommended to Site Plan Review for approval, unless they are shown to provide major public benefit.
- Buildings should be sited and designed to minimize pedestrian / vehicular conflicts. Curb cuts should be minimized and concentrated at mid-block locations.
- Buildings should be designed and located to create or maintain pedestrian space that complements the use of existing pedestrian routes.
- Through-site links are encouraged in large projects, particularly multi-block or large block developments. These may utilize attractive and safe connections between buildings or open, public routes through the building.
- Through-site links should be designed to be safe, attractive, and interesting places. Materials and lighting should be compatible with the location and surrounding context. Opportunities for open space, artworks, and other visual innovations are encouraged.
- Pedestrian circulation at the street level is preferred. With the use of snowmelt systems such as the one used for Kalamazoo Mall, pedestrians can enjoy walking year-round. This also encourages an active street environment and supports the economic vitality of downtown.



Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Skywalks

The following **standards** apply to skywalks:

- Shall be designed to be a minimum of 60% transparent along the entire length of the structure.
- Shall be between 8 and 14 feet in width and no more than 14 feet in height.
- Shall bear structurally on private property, that is, to the two buildings it connects.
- Shall be removable without affecting the structural integrity of the buildings it connects.
- Shall have internal, year-round drainage connected to neighboring buildings.



The following **guidelines** apply to skywalks:

- Enable comfortable, year-round access and be open for public use for at least the hours the buildings are open.
- Be architecturally designed to respect the character of buildings it will connect, in addition to nearby buildings.
- Consider the effect of the structure on views, daylight, or shading.
- Encourage connectivity between the skywalk and the street level. Access to and from street level at both ends of the structure is recommended.

External Utilities

The following **guidelines** apply to external utilities:

- Be placed underground in the public right-of-way.
- Utility connections and support that will be above ground should be located to avoid conflict with pedestrian movement in the right-of-way.

Building Form

The following **guidelines** apply to building form:

- In general, new construction should respect the prevalent scale, massing, and height of nearby buildings.
- New buildings should have an elevation complementary to nearby buildings.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Width

An infill building should reflect the characteristic rhythm of façades along the streets. The following **guidelines** apply to width:

- The mass of the façade should be broken into a number of bays, typically 22 to 25 feet in width.
- Buildings should share party walls whenever possible.
- Façade widths for new buildings should correspond with other building widths in the same block.
- If the site is large, the mass of the façade should be divided into a number of smaller bays, to maintain a rhythm similar to surrounding buildings. This is particularly important for storefront level façade elements. Respect the rhythm of façade widths, with vertical divisions using architectural details, materials, colors, etc.

Scale

Scale considers the proportions of a building with respect to its surroundings. The following **guidelines** apply to scale:

- All new buildings should consider width, including actual or gross linear footage, as well as the number of bays (windows and entrances).
- The plan should also consider height in terms of both the number of stories and the height of the building above grade.
- The scale of all new buildings should complement that of existing, adjacent buildings.

Massing

Massing considers the overall volume or size of a building. The following **guidelines** apply to massing:

- Compatible designs need not be created through replication but should reflect a consideration of the massing of nearby buildings.



Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Height

Although there are sections of the street frontage with buildings of the same height, changes in height are common. The following **standards** apply to the height of new buildings and relate to the map on the following page (Also in Appendix A):

- Area 1, represented as the shaded central core area bounded by a dashed line, is the downtown core. Primary structures in this area shall be a minimum height of two stories. This area is not subject to a maximum height limit. Area 1 is bounded by Kalamazoo Avenue to the north, Lovell Street to the south, Pitcher Street to the east, and Park Street to the west. Buildings and lots directly facing Bronson Park are excluded.
- Area 2, the downtown perimeter, is represented by the darker shaded area outside the core area and is bounded by a solid line. Area 2 excludes the central core area. Primary structures in Area 2 are subject to a minimum building height of two stories and shall not be more than two stories taller than the tallest primary structure on any lot located within 200 feet of any property boundary of the subject lot. Area 2 applies to the remainder of the DDR (Downtown Design Review) district.

The following **guidelines** apply to height:

- A new building should stay within the range of heights found within its immediate streetscape on the same side of the street and on the opposite side.
- When determining the height of a building, consideration should be given to the effect of building height on shading and views, particularly if the building adjoins public open space.
- Corner buildings have historically been developed as landmark or feature buildings. To reflect this pattern of development, corner buildings may be higher than those buildings interior to the block.

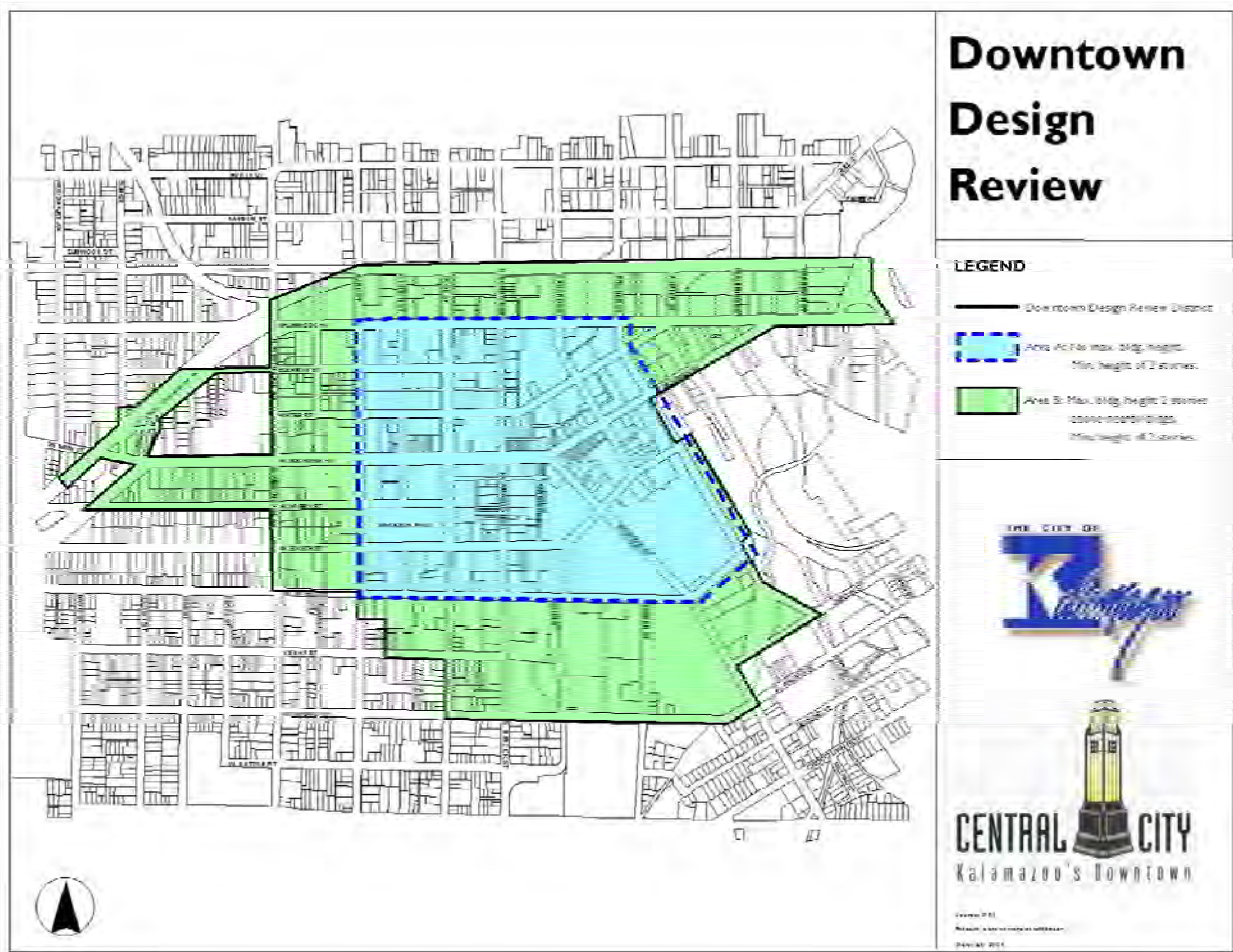


Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

MAP – DDRC Review – Building heights – Appendix A-1



Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Façade Design

Downtown façades typically feature regular bays above the base, horizontal expression lines, and some type of termination at the top. The following **standards** apply to façade design:

- 60% of a new building's base must be devoted to openings for active pedestrian use.
- An infill building shall reflect the characteristic rhythm of façades along the streets.
- The mass of the façade shall be broken into a number of bays, typically 22 to 25 feet in width.
- Buildings shall share party walls whenever possible.
- Façade widths for new buildings shall correspond with other building widths in the same block.
- If the site is large, the mass of the façade shall be divided into a number of smaller bays, to maintain a rhythm similar to surrounding buildings. This is particularly important for storefront level façade elements. Respect the rhythm of façade widths, with vertical divisions using architectural details, materials, colors, etc.

Design Compatibility

The following **standards** apply to design compatibility:

Align architectural features and establish patterns with neighboring buildings including:

- Bulkhead
- The top and bottom height of first floor display windows
- Transom over the entranceway
- Clerestory portion of display windows
- Horizontal and vertical proportions of the building
- Storefront and restaurant front windows
- Window openings and styles, especially upper-story windows
- Sign-band above the street level
- Parapet and cornice line
- Window sills on upper floors
- Roof lines and proportions

Composition

The following **guidelines** apply to composition:

- The façade of an infill building should complement nearby façades.
- The horizontal lines of display windows, bulkheads, and upper and lower cornices of nearby structures should be reinforced in the new façade.
- New buildings should reference the size, shape, and composition of features of nearby buildings. New buildings should maintain a distinction between upper stories and the street-level façade.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Primary Façades

The primary façade is the exterior face of a building oriented towards the primary street, which is the architectural and functional front of a building. A corner building should still only have one primary façade. The following **standards** apply to primary facades:

- In order to encourage pedestrian-friendly qualities such as transparency, openness, and movement, 60% of a new building's ground level must be devoted to openings for active pedestrian use including windows and doors.

Façades Facing the Right-Of-Way

The following **standards** apply to facades facing the right-of-way:

- 60% of the storefront zone must be clear glass and be active pedestrian use.
- Glazing must be clear. Reflective, fritted or tinted glass is not appropriate.
- Non-retail uses at ground level shall also respect the purpose of the storefront and meet the transparency criteria.
- The primary entry shall be oriented towards the street and clearly identified.
- Outward swinging doors at the storefront shall have a recessed entry off the sidewalk, to meet building code requirements and to create a more intimate sense of entry.
- Buildings adjacent to parking areas or structures must have the primary entrance on the street-facing elevation. A secondary or minor entrance may face the parking area.
- For buildings that provide a separate, upper-story entrance on the exterior façade, the street-level entrance shall be the primary focus of the building façade.
- Non-retail uses at ground level can still contribute to an active building edge. The displays at the Kalamazoo Valley Museum are a creative solution to what would otherwise be a blank façade.
- Access for handicapped users shall be appropriately designed, and use the same access routes as those used by non-handicapped users where possible. Ramps and related elements shall be modest in their design and be visually integrated with the overall building design and site plan.
- Corner buildings must have a designated primary and secondary façade. The primary entrance to the building shall be on the primary façade for buildings that have a corner entrance facing the intersection of both streets.



Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Secondary Façades

Sidewalls and rear walls are very often visible and sometimes function as secondary façades within the downtown. The following **standards** apply to secondary facades:

- Windows shall be aligned in a regular pattern and shall be scaled to harmonize with nearby side and rear walls.
- When visible from public streets, side and rear wall materials shall complement the primary façade and nearby existing buildings.

The following **guidelines** apply to secondary facades:

- Secondary façades on public right-of-ways should contain windows, and encourage active uses at ground level.
- Where buildings are built on an alley or other public right-of-way, consider the opportunity for windows or secondary entries.
- Rear and side façades should provide sufficient architectural features, such as window and door openings, to articulate the building façade.
- Rear and side façades should also be developed and maintained to support the overall appearance of downtown.

Rear Entrances

The following **standards** apply to rear entrances:

- Rear entrances shall be transparent, promoting visibility from inside and outside.

The following **guidelines** apply to rear entrances:

- Rear entrances may be a scaled-down version of the primary street front entrance or entirely different but equally welcoming.
- Awnings, signs, and canopies may be considered as well as planter boxes and other furniture, if space allows.



Windows

The following **standards** apply to windows:

- The rhythm and proportion of window openings shall be similar to those on nearby façades.
- Glazing must be clear. Reflective, fritted, or tinted glass is not appropriate.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

The following **guidelines** apply to windows:

- The ratio of window area to solid wall should be similar. The floor-to-floor height should appear similar to nearby buildings.
- Security features on windows should be complementary to the architectural design and detailing of the building.

Cornices & Rooftops

The following **standards** apply to cornices & rooftops:

- Downtown façades shall be finished by a cornice or other strong horizontal element.
- Bulkheads and rooftop elements shall be utilitarian in design and recessed from the primary façade.
- Roofs shall be designed and constructed in such a way that they acknowledge their visibility from other buildings.

The following **guidelines** apply to cornices & rooftops:

- Any opportunities to use rooftops for entertainment areas or outdoor recreation are encouraged.

Building Materials

A wide variety of building materials are appropriate, including but not limited to metal, stone, granite, terra cotta, concrete, glass, brick and stucco. Alternate or new materials may also be used as long as they are compatible with the physical characteristics of the historic materials which lend urban character to the downtown.

The following **standards** apply to building materials:

- Appropriate materials: metal, stone, granite, terra cotta, concrete, glass, brick and stucco.
- Inappropriate materials: including but not limited to horizontal or vertical rough-textured wood siding, stone and gravel aggregate, shingles, vinyl or aluminum siding, T1-11 (plywood) and EIFS (Exterior Insulation Finishing System).

See Section IV. Streetscape Elements for Guidelines related to banners, signage and other elements visible from the public right-of-way.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Mechanical & Service Areas

The following **standards** apply to mechanical & service areas:

- Mechanical equipment, such as heating and cooling devices, telecommunications equipment, dumpster areas, service areas, and the like shall be located out of the public view and designed as an integral part of the overall building design. They shall be placed at the rear of the building, recessed on the roof of the building, or screened by appropriate fencing.
- Service and loading zones shall be located to minimize visibility from public streets and avoid interruption to pedestrian movement.
- Low-profile mechanical units and elevator shafts are appropriate on rooftops that are not visible from the public right-of-way. If this is not possible, rooftop equipment shall be set back or screened from view.
- Rooftop equipment location shall also minimize the impact on views from the upper floors of adjacent buildings.



Emerging Technologies

Downtown Kalamazoo has an excellent opportunity to integrate sustainable practices into the design process of project sites. The Downtown Design Review Committee recognizes that sustainability and energy efficiency are at the forefront of the decision-making process. The committee will review these items (a sample listing is below) on a case-by-case basis with consideration for the sustainability impact a project may have.

Examples of Emerging Technology Projects:

- Wind Turbines
- Solar Panels
- LED Lighting (including signage)
- Cisterns
- Green Roofs

The following **standards** apply to emerging technologies:

- All visible emerging technologies require Tier II Review.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Standards Checklist

Site Planning:

- A building must provide street-level, pedestrian-oriented uses on all street frontages.
- A building must follow the traditional setback of its neighbors.
- A new building facing a public street must be placed at the lot line. In some instances, a recessed first floor façade may be appropriate—provided that at least 75% or more of the upper façade is flush to the street.

Skywalks:

- Shall be designed to be a minimum of 60% transparent along the entire length of the structure.
- Shall be between 8 and 14 feet in width and no more than 14 feet in height.
- Shall bear structurally on private property, that is, to the two buildings it connects.
- Shall be removable without affecting the structural integrity of the buildings it connects.
- Shall have internal, year-round drainage connected to neighboring buildings.

Height:

- Area 1, represented as the shaded central core area bounded by a dashed line, is the downtown core. Primary structures in this area shall be a minimum height of two stories. This area is not subject to a maximum height limit. Area 1 is bounded by Kalamazoo Avenue to the north, Lovell Street to the south, Pitcher Street to the east, and Park Street to the west. Buildings and lots directly facing Bronson Park are excluded.
- Area 2, the downtown perimeter, is represented by the darker shaded area outside the core area and is bounded by a solid line. Area 2 excludes the central core area. Primary structures in Area 2 are subject to a minimum building height of two stories and shall not be more than two stories taller than the tallest primary structure on any lot located within 200 feet of any property boundary of the subject lot. Area 2 applies to the remainder of the DDR (Downtown Design Review) district. Corner buildings have historically been developed as landmark or feature buildings.

Façade Design:

- 60% of a new building's base must be devoted to openings for active pedestrian use.
- An infill building shall reflect the characteristic rhythm of façades along the streets.
- The mass of the façade shall be broken into a number of bays, typically 22 to 25 feet in width.
- Buildings shall share party walls whenever possible.
- Façade widths for new buildings shall correspond with other building widths in the same block.
- If the site is large, the mass of the façade shall be divided into a number of smaller bays, to maintain a rhythm similar to surrounding buildings. This is particularly important for storefront level façade elements. Respect the rhythm of façade widths, with vertical divisions using architectural details, materials, colors, etc.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Design Compatibility:

Align architectural features and establish patterns with neighboring buildings including:

- Bulkhead
- The top and bottom height of first floor display windows
- Transom over the entranceway
- Clerestory portion of display windows
- Horizontal and vertical proportions of the building
- Storefront and restaurant front windows
- Window openings and styles, especially upper-story windows
- Sign-band above the street level
- Parapet and cornice line
- Window sills on upper floors
- Roof lines and proportions

Primary Facades:

- In order to encourage pedestrian-friendly qualities such as transparency, openness, and movement, 60% of a new building's ground level must be devoted to openings for active pedestrian use.

Façades Facing the Right-Of-Way:

- 60% of the storefront zone must be clear glass and be active pedestrian use.
- Glazing must be clear. Reflective, fritted or tinted glass is not appropriate.
- Non-retail uses at ground level shall also respect the purpose of the storefront and meet the transparency criteria.
- The primary entry shall be oriented towards the street and clearly identified.
- Outward swinging doors at the storefront shall have a recessed entry off the sidewalk, to meet building code requirements and to create a more intimate sense of entry.
- Buildings adjacent to parking areas or structures must have the primary entrance on the street-facing elevation. A secondary or minor entrance may face the parking area.
- For buildings that provide a separate, upper-story entrance on the exterior façade, the street-level entrance shall be the primary focus of the building façade.
- Non-retail uses at ground level can still contribute to an active building edge.
- Access for handicapped users shall be appropriately designed, and use the same access routes as those used by non-handicapped users where possible.
- Barrier-free ramps and related elements shall be modest in their design and be visually integrated with the overall building design and site plan.
- Corner buildings must have a designated primary and secondary façade. The primary entrance to the building shall be on the primary façade for buildings that have a corner entrance facing the intersection of both streets.

Secondary Facades:

- Windows shall be aligned in a regular pattern and shall be scaled to harmonize with nearby side and rear walls.
- When visible from public streets, side and rear wall materials shall complement the primary façade and nearby existing buildings.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Rear Entrances:

- Rear entrances shall be transparent, promoting visibility from inside and outside.

Windows:

- The rhythm and proportion of window openings shall be similar to those on nearby façades.
- Glazing must be clear. Reflective, fritted, or tinted glass is not appropriate.

Cornices & Rooftops:

- Downtown façades shall be finished by a cornice or other strong horizontal element.
- Bulkheads and rooftop elements shall be utilitarian in design and recessed from the primary façade.
- Roofs shall be designed and constructed in such a way that they acknowledge their visibility from other buildings.

Building Materials:

- Appropriate urban building materials: metal, stone, granite, terra cotta, concrete, glass, brick, stucco. Alternate or new materials may also be considered as long as they are compatible with the physical characteristics of the historic materials which lend urban character to the downtown.
- Inappropriate building materials in urban settings, including but not limited to horizontal or vertical rough-textured wood siding, stone and gravel aggregate, shingles, vinyl or aluminum siding, T1-11 (plywood) and EIFS (Exterior Insulation Finishing System).

Mechanical & Service Areas

- Mechanical equipment, such as heating and cooling devices, telecommunications equipment, dumpster areas, service areas, and the like shall be located out of the public view and designed as an integral part of the overall building design. They shall be placed at the rear of the building, recessed on the roof of the building, or screened by appropriate fencing.
- Service and loading zones shall be located to minimize visibility from public streets and avoid interruption to pedestrian movement.
- Low-profile mechanical units and elevator shafts are appropriate on rooftops that are not visible from the public right-of-way. If this is not possible, rooftop equipment shall be set back or screened from view.
- Rooftop equipment location shall also minimize the impact on views from the upper floors of adjacent buildings.

Emerging Technologies:

- All visible emerging technologies require Tier II Review.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

II. EXISTING BUILDINGS

Introduction

Kalamazoo has a wonderful variety of building stock within the downtown. Many examples exist where buildings have been upgraded and reused over time. This process of evolution and on-going development is natural, and many of the existing buildings downtown will continue to change over time.

With this process of evolution, many of the existing buildings undergo physical changes in order to accommodate different uses or are expanded to accommodate more activity.

These Standards and Guidelines identify a number of ways that existing buildings can be renovated or expanded, while respecting the original design intent and maintaining the building's architectural integrity. These Guidelines cover the full range of existing building types and uses, including commercial, manufacturing, mixed-use, and residential.

“Rehabilitation” is defined as “the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use, while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values.” Rehabilitated buildings should be pedestrian-oriented and utilize urban building materials.

Guidelines for signage, awnings, canopies, lighting, open space, sidewalk cafes, and parking can be found in the “Streetscape” section of these Guidelines.

Site Planning

External Utilities

The following **guidelines** apply to external utilities:

- Utility lines should be placed underground in the public right-of-way.
- Any utility connections and support that must be above ground should be located to avoid conflict with pedestrian movement in the right-of-way.

Skywalks

- Skywalks may be useful to help to connect an existing building to a new building. Special care needs to be taken in designing the connector to be compatible with the existing building and its surroundings. The following **standards** apply to skywalks:

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

- Shall be designed to be a minimum of 60% transparent along the entire length of the structure. This will help to achieve an open character and reveal pedestrian use of the structure.
- Shall be between 8 and 14 feet in width and no more than 14 feet in height.
- Shall bear structurally on private property, that is, to the two buildings it connects.
- Shall be removable without affecting the structural integrity of the buildings it connects.
- Have internal, year-round drainage connected to neighboring buildings.



The following **guidelines** apply to skywalks:

- Enable comfortable, year-round access and be open for public use for at least the hours the buildings are open.
- Be architecturally designed to respect the character of buildings it will connect, in addition to nearby buildings.
- Consider the effect of the structure on views, daylight, or shading.
- Encourage connectivity between the skywalk and the street level. Access to and from street level at both ends of the structure is required.

Façade Rehabilitation

Design Compatibility

The following **guidelines** apply to design compatibility:

- Where inappropriate façade elements are being replaced or altered, the new design should be compatible with the massing, scale, architectural features, materials, color, and proportions of the historic façade design.
- A compatible contemporary treatment is appropriate as is a restoration treatment, if based on historic documentation. In all of these instances, the treatment should respect the integrity of the original design.
- In renovating a façade of an existing building it is important to align architectural features and establish patterns with neighboring buildings including:
 - Bulkhead
 - The top and bottom height of first floor display windows

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

- Transom over the entranceway
- Clerestory portion of display windows
- Horizontal and vertical proportions of the building
- Storefront and restaurant front windows
- Window openings and styles, especially upper-story windows
- Sign-band above the street level
- Parapet and cornice line
- Window sills on upper floors
- Roof lines and proportions

Primary Façade

A building has only one primary façade. It is the exterior face of a building, which is the architectural and functional front of a building. It is oriented towards the primary street. A corner building has only one primary façade. The following **standards** apply to primary façades:

- 60% of the storefront zone must be clear glass and be active pedestrian use.
- Glazing must be clear. Reflective, fritted or tinted glass is not appropriate.
- Non-retail uses at ground level shall also respect the purpose of the storefront and meet the transparency criteria.
- The primary entry shall be oriented towards the street and clearly identified.
- Outward swinging doors at the storefront shall have a recessed entry off the sidewalk, to meet building code requirements.
- Buildings adjacent to parking areas or structures must have the primary entrance on the street-facing elevation. A secondary or minor entrance may face the parking area.
- For buildings that provide a separate, upper-story entrance on the exterior façade, the street-level entrance shall be the primary focus of the building façade.
- Access for handicapped users shall be appropriately designed, and use the same access routes as those used by non-handicapped users where possible. Ramps and related elements shall be modest in their design and be visually integrated with the overall building design and site plan.

Façade Design

Downtown façade designs vary widely but are generally consistent in terms of a few basic elements. In addition to a consistent street frontage, downtown façades typically feature regular bays above the base, horizontal expression lines, and some type of termination at the top.



Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Entries

The following **standards** apply to entries:

- Outward swinging doors at the storefront shall have a recessed entry off the sidewalk, to meet building code requirements.
- The primary entry shall be oriented towards the street and clearly identified.
- Where only one route is determined to be accessible for disabled users and it is not the principle entrance, this route shall be clearly visible from the main entranceway or clearly signed.
- Buildings adjacent to parking areas or structures must have the primary entrance on the street-facing elevation. A secondary or minor entrance may face the parking area.

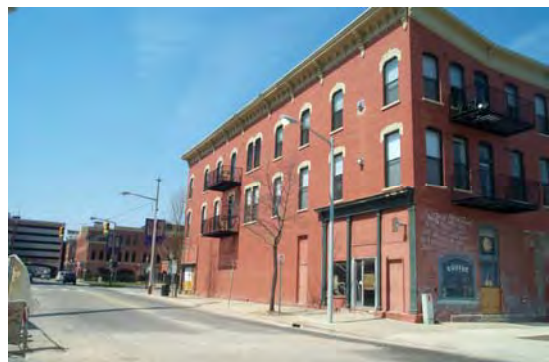
The following **guidelines** apply to entries:

- Existing storefront piers should remain exposed or be exposed if they have been covered.
- The ground level storefront should have a strong horizontal form at its top to differentiate it from the upper façade.
- For buildings that provide a separate, upper-story entrance on the exterior façade, the street-level entrance should be the primary focus of the building façade.

Secondary Façades

The following **guidelines** apply to secondary façades:

- Windows should be aligned in a regular pattern and should be scaled to harmonize with nearby side and rear walls. When visible from public streets, side and rear wall materials should complement the primary façade and nearby existing buildings.
- Secondary façades on public right-of-ways should contain windows, and encourage active uses at ground level.
- Where buildings are built on an alley or other public right-of-way, consider the opportunity for windows or secondary entries.
- Rear and side façades should provide sufficient architectural features, such as window and door openings, to articulate the building façade. They should also be developed and maintained to support the overall appearance of downtown.



Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Rear entrances

The following **standards** apply to rear entrances:

- Rear entrances on existing buildings shall clearly be secondary entrances and avoid the appearance of a primary façade.
- The entrances shall be transparent, promoting visibility from inside and outside.

The following **guidelines** apply to rear entrances:

- Awnings, signs, and canopies may be considered as well as planter boxes and other furniture, if space allows.



Windows

The following **standards** apply to windows:

- Glazing shall be clear; reflective, fritted, or tinted glass is not appropriate.

The following **guidelines** apply to windows:

- The existing window configuration of upper façade windows should not be altered. Where windows have been altered in the past, contemporary treatment may be appropriate—provided that the new work does not destroy existing material and the design is compatible with remaining historic features.
- Security features on doors and windows should be complementary to the architectural design and detailing of the building. These should be installed so they do not damage the original structure.



Cornices & Rooftops

The following **standards** apply to cornices & rooftops:

- If a cornice is worn or deteriorated beyond repair or has been removed, it shall be replaced with materials that match the original in design, color, texture, and other visual qualities or is appropriate to the style of the building.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

- Bulkheads and rooftop elements shall be utilitarian in design and recessed from the primary façade

The following **guidelines** apply to cornices & rooftops:

- Downtown façades are typically finished by a cornice or other strong horizontal element. Wherever possible, existing cornices should be retained and restored.

Building Form for New Additions

The following **guidelines** apply to building form for new additions:

- A building addition should not alter the original structure's character. However, additions to the street or side façades are encouraged to complete the street edge.
- New additions should not alter the orientation of historic buildings.
- Additions visible from the street should complement the existing structure and be compatible with the massing, scale, and architectural features, materials, and proportions of the historic façade design.
- Additions at the rear or on top of the building—appropriate primarily for commercial buildings—can be planned so that they are not visible at the street level. Some commercial buildings are good candidates for added stories that would be visible from the street. This type of addition is most appropriate on a building shorter than most neighboring buildings. (See Appendix B for details on rooftop additions)
- Building additions should relate to existing buildings, while being clearly identified as new construction.
- Any new construction should relate to the existing buildings' basic shape, form, scale, and setback.
- Clearly differentiated details should include durable, high-quality building materials and inventive architectural detail—buildings can and should vary in height, color, materials, and architectural design.

Mechanical & Service Areas

The following **standards** apply to mechanical & service areas:

- New mechanical equipment (i.e. heating and cooling devices and telecommunications equipment) and service areas (i.e. dumpster enclosures) shall be located out of the public view, and designed as an integral part of the overall building design.

The following **guidelines** apply to mechanical & service areas:

- The location of such equipment should also consider views from the upper floors of neighboring buildings.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

- Skylights or solar panels should also have low profiles and not be visible from public right-of-ways. These features should be installed in a manner which minimizes alteration to historic features.
- Mechanical equipment located at street level should be relocated if possible or screened in a way appropriate to the streetscape and neighboring architecture.
- Low-profile mechanical units and elevator shafts may be appropriate on rooftops that are not visible from the street. If this is not possible, rooftop equipment should be set back or screened from view.

Materials

The following **standards** apply to materials:

- Existing materials and features that contribute to the building's historic, social, or cultural significance shall be retained and preserved.
- Where original materials or features are worn or deteriorated beyond repair, replacement materials or features shall match the old in design, color, texture, and other visual qualities and where possible, materials. Alternate or new materials may also be used as long as they are compatible with the physical characteristics of the historic materials which lend urban character to the downtown.
- A wide variety of building materials are appropriate, including but not limited to metal, stone, granite, terra cotta, concrete, glass, brick and stucco.

Rehabilitation of Residential Buildings

Rehabilitation of residential buildings may be appropriate to accommodate commercial uses but must continue to appear as a residential structure.

The following **guidelines** apply to the rehabilitation of residential buildings:

- Features such as windows, doors, porches, balconies, steps and historic materials should be retained and preserved.
- Where original materials or features are worn or deteriorated beyond repair, replacement materials or features should match the old in design, color, texture and other visual qualities.
- Where possible the replacement material should match the historic material. New materials are appropriate, provided they are compatible with existing materials.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Emerging Technologies

Downtown Kalamazoo has an excellent opportunity to integrate sustainable practices into the design process of project sites. The Downtown Design Review Committee recognizes that sustainability and energy efficiency are at the forefront of the decision-making process. The committee will review these items (a sample listing is below) on a case-by-case basis with consideration for the sustainability impact a project may have.

- Examples of Emerging Technology Projects:
- Wind Turbines
- Solar Panels
- LED Lighting (including signage)
- Cisterns
- Green roofs

The following **standards** apply to emerging technologies:

- All visible emerging technologies require Tier II Review.

See Section IV. Streetscape Elements for discussion of signs, awnings, banners and other streetscape elements.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Standards Checklist

Skywalks:

- Shall be designed to be a minimum of 60% transparent along the entire length of the structure. This will help to achieve an open character and reveal pedestrian use of the structure.
- Shall be between 8 and 14 feet in width and no more than 14 feet in height.
- Shall bear structurally on private property, that is, to the two buildings it connects.
- Shall be removable without affecting the structural integrity of the buildings it connects.
- Have internal, year-round drainage connected to neighboring buildings.

Primary Facades:

- 60% of the storefront zone must be clear glass and be active pedestrian use.
- Glazing must be clear. Reflective, fritted or tinted glass is not appropriate.
- Non-retail uses at ground level shall also respect the purpose of the storefront and meet the transparency criteria.
- The primary entry shall be oriented towards the street and clearly identified.
- Outward swinging doors at the storefront shall have a recessed entry off the sidewalk, to meet building code requirements.
- Buildings adjacent to parking areas or structures must have the primary entrance on the street-facing elevation. A secondary or minor entrance may face the parking area.
- For buildings that provide a separate, upper-story entrance on the exterior façade, the street-level entrance shall be the primary focus of the building façade.
- Access for handicapped users shall be appropriately designed, and use the same access routes as those used by non-handicapped users where possible. Ramps and related elements shall be modest in their design and be visually integrated with the overall building design and site plan.

Entries:

- Outward swinging doors at the storefront shall have a recessed entry off the sidewalk, to meet building code requirements.
- The primary entry shall be oriented towards the street and clearly identified.
- Where only one route is determined to be accessible for disabled users and it is not the principle entrance, this route shall be clearly visible from the main entranceway or clearly signed.
- Buildings adjacent to parking areas or structures must have the primary entrance on the street-facing elevation. A secondary or minor entrance may face the parking area.

Rear Entrance:

- Rear entrances on existing buildings shall clearly be secondary entrances and avoid the appearance of a primary façade.
- The entrances shall be transparent, promoting visibility from inside and outside.

Windows:

- Glazing shall be clear; reflective, fritted, or tinted glass is not appropriate.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Cornices & Rooftops:

- If a cornice is worn or deteriorated beyond repair or has been removed, it shall be replaced with materials that match the original in design, color, texture, and other visual qualities or is appropriate to the style of the building.
- Bulkheads and rooftop elements shall be utilitarian in design and recessed from the primary façade

Mechanical & Service Areas:

- New mechanical equipment (i.e. heating and cooling devices and telecommunications equipment) and service areas (i.e. dumpster enclosures) shall be located out of the public view, and designed as an integral part of the overall building design.

Materials:

- Existing materials and features that contribute to the building's historic, social, or cultural significance shall be retained and preserved.
- Where original materials or features are worn or deteriorated beyond repair, replacement materials or features shall match the old in design, color, texture, and other visual qualities and where possible, materials. Alternate or new materials may also be used as long as they are compatible with the physical characteristics of the historic materials which lend urban character to the downtown.
- A wide variety of building materials are appropriate, including but not limited to metal, stone, granite, terra cotta, concrete, glass, brick and stucco.

Emerging Technologies:

- All visible emerging technologies require Tier II Review.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Locally Significant Buildings

Downtown Kalamazoo owes much of its character to its historic buildings. Not only do they remind us of the past, they provide anchors for the future. Kalamazoo has recognized historic buildings in

- Local Historic Districts (requires design review of exterior work)
- National Register Districts
- National Register buildings listed individually
- Locally significant buildings (not yet officially designated but eligible for designation)

The map on the next page (and in Appendix A) locates all the historic buildings within the boundaries of the Downtown Design Review area.

The Kalamazoo Historic District Commission reviews exterior work on buildings included within the local historic district for appropriateness. Most of these buildings are eligible for the Federal Rehabilitation Investment Income Tax Credit as income producing properties for substantial rehabilitation projects.

Haymarket Local and National Register Historic District

Kalamazoo has a wealth of historic structures throughout the downtown. In recognition of their worth, the Haymarket Local Historic District was established in 1980 and listed on the National Register in 1983 with additions in 1997 and 2010. A complete list of properties within the Haymarket Local and National Register Historic District can be found on pages 35 and 36. These buildings are subject to exterior design review by the Historic District Commission.

Bronson Park National Register Historic District

Most of the buildings surrounding Bronson Park are included in a National Register Historic District including churches, theaters and government buildings. A complete list of properties within the Bronson Park National Register Historic Districts can be found on page 36.

National Register listed individual buildings:

Several buildings downtown are also listed individually on the National Register and as single resources in the local historic district. These buildings are significant in the history of Kalamazoo for their association with events, patterns of events or people or are the last of their type of building. These buildings are all eligible for the Federal Rehabilitation Investment Income Tax Credit as income producing properties for substantial rehabilitation projects. A complete list of properties individually listed on the National Register of Historic Places can be found on page 36.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

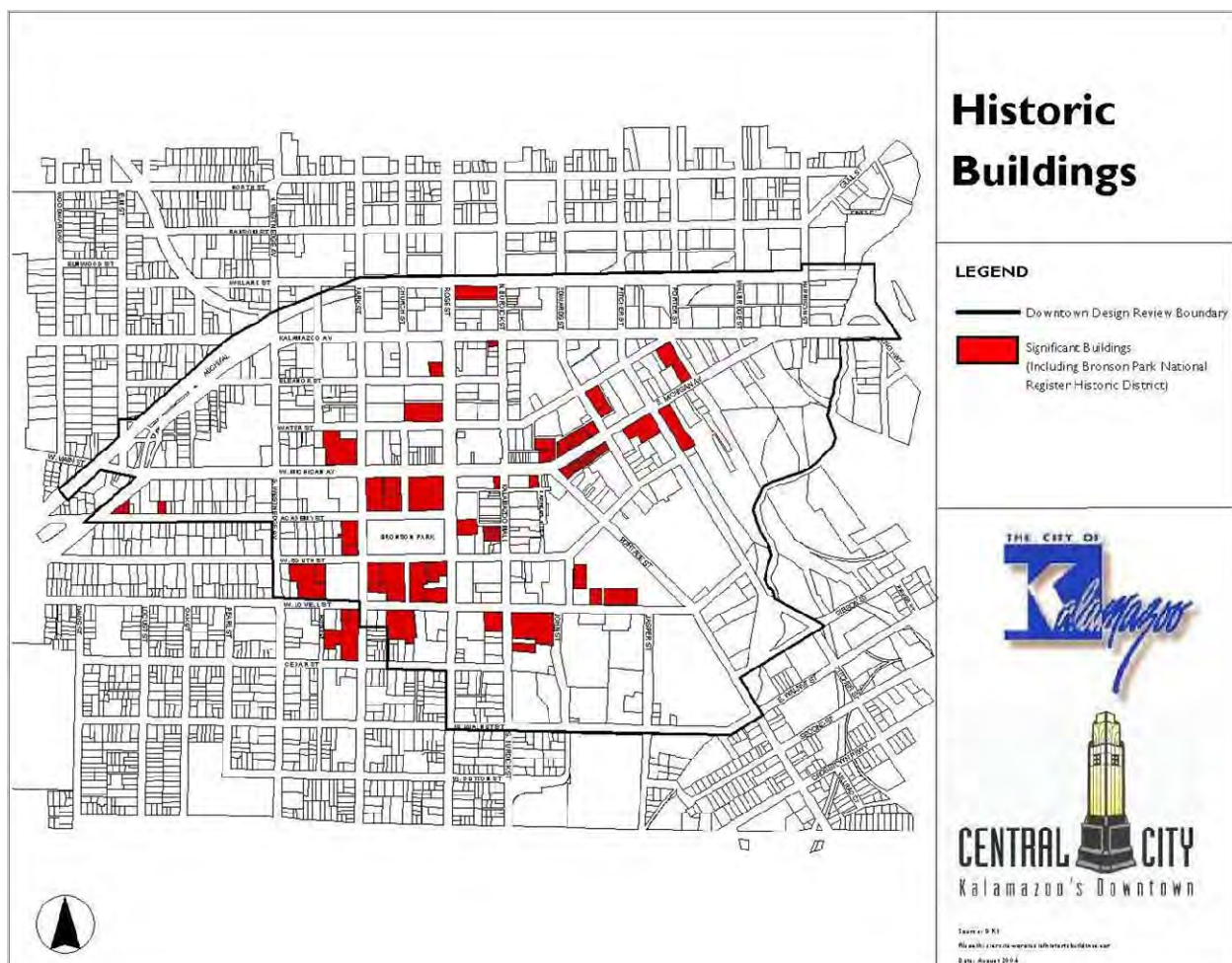
DDRC STANDARDS AND GUIDELINES - 2012

Historically Significant Buildings

Since 1970, the City of Kalamazoo has had a dynamic and active historic preservation commission. The commission, in its advisory capacity to the City Commission, has contracted for more than eight historic resource surveys. The buildings listed on page 37 have been identified in the surveys as having historic significance and being potentially eligible for listing on the National Register of Historic Places. Listing on the National Register makes the building or district eligible for the Federal Rehabilitation Investment Income Tax Credit.

These buildings are significant in the history of Kalamazoo for their association with events, patterns of events or people or are the last of their type of building.

MAP – DDRC Review – Historic buildings – Appendix A-2



Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

These buildings are significant in the history of Kalamazoo for their association with events, patterns of events or people or are the last of their type of building. Demolition of any of these buildings would be considered only under extraordinary circumstances. Sites in **Bold** are located in designated local historic districts:

HAYMARKET LOCAL AND NATIONAL REGISTER HISTORIC DISTRICT

- Properties listed below require review by the Historic District Commission for any work on the Exterior of the building—including (non-historic buildings)
- All Historic Buildings (bold type) are also potentially eligible for Federal Rehabilitation Investment Tax Credits.

105 East Michigan - Metropolitan Center (4 buildings – north side)

Metropolitan-Hudson Block – 105 & 109 East Michigan

Baumann Block – 113 East Michigan

Henderson Block – 119 East Michigan

Lillienfeld Block – 123 & 127 East Michigan

131 East Michigan – Clapham-MacDonald Block (A-1 Printing)

(141 East Michigan - Argos Building – non-historic)

151 East Michigan - Kalamazoo City Savings Bank (Graydon-Willson)

161 East Michigan - Edwards & Chamberlain (Haymarket) Building

(203 East Michigan – Memories Bridal – non-historic)

(215 East Michigan – Kalamazoo Savings & Loan – non-historic)

224 East Michigan – Weber Boot and Shoe (London Grill & Winstons)

228 East Michigan – (Golden Needle Tailor)

251 East Michigan - Main Street East – (4 buildings – north side)

Doyle Building - 229 East Michigan

Doubleday Block 241 East Michigan

Desenberg Building 251 East Michigan

Ihling Bros-Everard Building 259-69 East Michigan

(232 East Michigan – Main Street Grill – non-historic)

234 East Michigan - Hiemstra Optical

242-6 East Michigan - Button-Jannasch Building

250 East Michigan - Kreeger Building

254 East Michigan - Jannasch-Shortt Building

258 East Michigan - Gault Building

262 East Michigan - Chau Building

266 East Michigan - Hall Block (Coney Island & Ouzos)

276 East Michigan - Hugh McHugh Building

310 East Michigan - Rosenbaum Building*

Post Office - 314 East Michigan

320 East Michigan - Columbia Candy Co (Alfred E. Bike)

336 East Michigan - Arlington Hotel (Bimbos/Club Soda)

350 East Michigan - Columbia Hotel

402 East Michigan - Grand Rapids & Indiana RR Depot

111 Portage - Peninsula Building

110-120 North Edwards - Newton Building

* (310 E. Michigan - National Register ONLY – not subject to HDC review)

STUART AREA LOCAL AND NATIONAL REGISTER HISTORIC DISTRICT

702, 726, 728 West Michigan

Allen Boulevard—all

Old Orchard—all

Eleanor—514, 518, 522, 523, 527, 531

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Bronson Park National Register Historic District

302 Academy Street - First Reformed Church

226 W. Lovell Street - Austin Sill House

247 W. Lovell Street - St. Luke's Episcopal Church

227 W. Michigan Avenue - Kalamazoo County Building

315 W. Michigan Avenue - First Baptist Church

410 W. Michigan Avenue - Federal Building

129 S. Park Street - First Congregational Church

212 S. Park Street - First United Methodist Church

329 S. Park Street - Civic Auditorium

333 S. Park Street - Ladies Library Association Building*

219 W. South Street - Park Club

241 W. South Street - City Hall

321 W. South Street - First Presbyterian Church

414 W. South Street - First Church of Christ Scientist

211 S. Rose Street - YWCA

340 S. Rose Street - Prange Building

National Register Listed as individual sites

309 N. Rose Street - Masonic Temple Building

427 S. Burdick Street - Isaac Brown House

415 W. Lovell Street - Henry Gilbert House

201 N. Rose Street - Lawrence & Chapin Building

345 N. Burdick Street - Rickman House*

333 S. Park - Ladies Library Association*

447 W. South Street - David Lilienfeld House*

471 W. South Street - The Marlborough Apartments*

405 N. Burdick - Michigan Central Depot*

*** LOCAL HISTORIC DISTRICT DESIGNATION**

(Proposed work also requires review by historic district commission)



Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

HISTORICALLY SIGNIFICANT BUILDINGS – eligible for historic designation

107 W. Michigan Avenue - Kalamazoo Building
220-346 W. Michigan - Commercial Buildings
543 W. Michigan - Orrin B. Hayes
762 W. Main - Commercial Building
301 John - Upjohn World Headquarters—Building # 24
217-247 S. Kalamazoo Mall—International Hotel, Montgomery Ward, Style Shop (East side)
236-250 S. Kalamazoo Mall—Boudeman-Bassett Buildings (West side)
118-124 W. South—Boudeman-Bassett Buildings (North side)
401 S. Burdick Street - Kalamazoo Gazette
404 S. Burdick - State Theater
405 W. Lovell Street - Carver Center/Parrish Theater
100 N. Kalamazoo Mall - Dewing Building
202-22 N Kalamazoo Mall - Waterbury Building
230-32 N. Kalamazoo Mall - Phelps & Bigelow Building
248 N. Kalamazoo Mall - Allen & Debow Buildings
318-336 N. Burdick – DeYoung/Smith & Pomeroy
329-333 N. Burdick – Fairbanks Building
340-50 N. Burdick – small commercial block
309 N. Burdick – Burdick Block
313-23 N. Burdick – Rooney Building
205 E. Water St - Globe Casket Co.
309 E. Water - National Storage Building
315 E. Water St - Triangle Service Station
121-129 W. Kalamazoo Ave - Schanz Building
325 W. Kalamazoo Ave - Saniwax (Park Trades)
244 North Rose - Salvation Army
344-48 N. Rose - Davis Block
169 Portage - Interurban Station
136 E. Michigan Avenue - American National Bank
401- 09 E. Michigan - Telegraph Building (Food Dance)
429 E. Michigan to 328 E. Water - Freight shed
167 E. Kalamazoo Ave. - Neil's Automotive
241 E. Kalamazoo Ave - Shakespeare's Office Building
242 E. Kalamazoo Ave. - Vosler & DeLoof Building
261 E. Kalamazoo Ave - Speareflex Building
355 E. Kalamazoo Ave. - Stewart &MacIntyre Building

Underlined - Not designated but officially determined eligible for listing on the National Register of Historic Places by the Michigan State Historic Preservation Office

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

IV. STREETScape

Introduction

The street environment needs to appear uncluttered, offer clear direction for vehicular traffic, and provide a pleasant environment for pedestrians. Each element in the streetscape should be selected with the intent to unify the overall environment, create a pleasant space to spend time by improving the visual aesthetics, and accentuate and clarify existing uses in each area by reducing or eliminating visual clutter.

The purpose of this section is to coordinate and unify the development of streets, parking spaces, planting areas, sidewalks and other open spaces within the downtown. Specific design cues and direction for the downtown streetscape have been taken from successful projects throughout the downtown, including the Kalamazoo Mall, Michigan Avenue, and Arcadia Creek Festival Place.

Many streetscape items are regulated by the City of Kalamazoo Code of Ordinances and the Downtown Design Review Standards and Guidelines. Please consult with city staff to ensure you are using a complete and updated copy of the design ordinances.

Signage

The size and scale of any building signs must be in proportion to the size and scale of the street level façade. The following **guidelines** apply to signage:

- The primary focus of signs downtown should be oriented toward pedestrian traffic and not vehicular traffic.
- Signs should be designed as an integral part of the overall building design, while also contributing to the streetscape.
- Signs should allow for clear visibility of significant architectural details and storefront windows and doors.
- The size, proportion, and location of signs should be consistent with the overall design of the façade, and be incorporated into other façade elements, such as awning valances, or be painted on storefront glass.
- All signs should reflect the overall design of the building and should not cover existing architectural features.
- Signs for multiple storefronts within the same building should align with and complement each other. Consideration should also be given to the alignment with other appropriate signs on the block. This will maintain the existing pattern of horizontal and vertical façade features.
- Signs should be designed in simple, straightforward shapes that convey their message clearly. Lettering styles should be simple, well proportioned, and easy to read. As a general guide, the number of fonts should be limited to two, and the text should occupy no more than 75% of the total sign panel.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

All signs must comply with the City of Kalamazoo's Code of Ordinances – Appendix A – Zoning, Chapter 7: Signs.

There are three main types of signs:

- Wall signs – mounted parallel to or directly on the building façade.
- Projecting signs – mounted perpendicular to the building façade.
- Sidewalk signs – movable signs put out daily to advertise an adjacent business.



Wall Signs

Historic painted signs are an authentic part of the downtown district.

The following **standards** apply to wall signs:

- Wall signs shall be limited in size and project less than 15 inches from the building.

The following **guidelines** apply to wall signs:

- Historic painted signs should be retained and, if necessary and still relevant, restored.
- New painted signs on primary and secondary façades will be reviewed on a case-by-case basis.
- Signs identifying the name of a building, the date of construction, or other historical information should be composed of materials similar to the building, or of bronze or brass.
- They may be incorporated into the façade design or mounted below the storefront cornice and be affixed flat against the building.
- They should not obscure architectural design elements.
- They should be positioned within architectural features such as the panels above storefronts, on the transom, or flanking doorways.
- Wall-mounted signs should align with others on the block, to maintain established patterns.



Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Projecting signs

Projecting signs are attached perpendicular to the building. The following **standards** apply to projecting signs:

- Projecting signs on the first floor must not project more than 5' from the building's face.
- Projecting signs on the second floor or above must not project more than 8' from the building's face.
- Projecting signs must have no less than eight feet of clearance between the sidewalk and the lowest part of the sign.
- The maximum distance between the sign and the face of the building is one foot.

The following **guidelines** apply to projecting signs:

- New projecting signs should not disrupt the sight line of an existing sign.
- Business signs should avoid spilling light into residential areas of surrounding buildings.

Sidewalk Signs

Sidewalk signs, often referred to as sandwich signs, may be placed on the sidewalk in the public right-of-way or on private property. The following **standards** apply to sidewalk signs:

- One sign per business is permitted, provided it is not chained or otherwise affixed to public property.
- Sidewalk signs require a sign permit.
- Shall be placed in front of a storefront during business hours only.
- Shall be placed so a minimum six foot pedestrian walkway is maintained.
- Shall maintain a clear building ingress and egress.
- Shall not obstruct any bus stop or loading zone.
- If placed near any street intersection a clear sight distance must be maintained.
- Shall be no more than three feet wide and no more than four feet high.
- Shall be not less than 18 inches wide and not less than two feet high.
- Feature the name of the business.
- Shall not advertise any service or product not available at the related business.
- Shall not have additional signs taped or attached to the base sign.
- Shall be kept in good repair.
- If the sidewalk in front of a building is less than six feet wide exclusive of the curb lawn, the business shall not display a sidewalk sign.

Awnings

Historically, awnings served as protection from the elements for storefront activities. In addition, they may serve to identify a business and differentiate storefronts. The following **standards** apply to awnings:

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

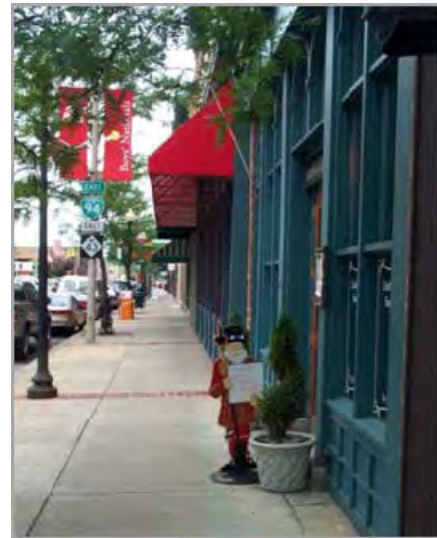
DDRC STANDARDS AND GUIDELINES - 2012

Awnings

Historically, awnings served as protection from the elements for storefront activities and to identify a business and differentiate storefronts.

The following **standards** apply to awnings:

- A standard street-level awning must be mounted so that the lowest edge of the valance (typically 12 inches) is at least 8½ feet above the sidewalk, directly over an individual window opening or bay.
- Awnings must project no more than five feet from the building.
- The valance is the only portion of the awning that may serve as a sign panel.
- The only information permitted on the valance is the business name, address, and logo.
- Box-type or curved awnings are not permitted.
- Awnings must be in proportion to the overall building façade and shall match the width of the storefront or window opening.
- The supporting framework of the awnings must not block pedestrian movement.
- Shiny, plastic, or rounded awnings are not appropriate. Material should have a canvas like appearance.
- Installing lights under an awning so that it is 'back-lit' is inappropriate
- Lighting within a ground level awning to provide pedestrian lighting is encouraged.



The following **guidelines** apply to awnings:

- Awnings should not cover storefront elements such as cornices or piers.
- A retractable awning should be recessed within the storefront bay, so it does not compete with the structure of the base.
- Awnings on the storefront level should not extend into the second story of the building façade.
- Upper floor awnings should be mounted within the window opening.
- Awnings should complement the colors, design, and scale of the building, and should reinforce the window openings.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Canopies

Canopies and marquees should be designed as an integral component of the building. The following **standards** apply to canopies:

- Must be in proportion to the overall building façade, and the supporting framework should not block pedestrian movement.
- The valance is the only portion of the canopy that may serve as a sign panel. The only information permitted on this panel is the business name, address, and logo.

The following **guidelines** apply to canopies:

- Canvas, or some other type of durable fabric is an appropriate material for canopies.
- The color, font and design of the projection should be both complementary to the building and the colors and details of other buildings and signs nearby.
- All canopies on a single structure should have a consistent color and pattern.

Exterior Light Fixtures

The following **standards** apply to exterior light fixtures:

- Street-level light fixtures that project from the wall must be mounted with the lowest part of the light more than 8½ feet above the sidewalk
- Lighting should minimize illuminating residential spaces in adjacent buildings.
- White light is required.

The following **guidelines** apply to exterior light fixtures:

- Exterior light fixtures should be complementary to existing historic lighting and architectural features.
- Light fixtures should be restrained in placement and intensity—located at intervals and heights to create uniform illumination targeted primarily at the pedestrian right-of-way.

Courtyards

Designs for new construction may include a courtyard set at the front of the ground floor. The following **guidelines** apply to courtyards:

- Should maintain the pattern of the street wall while providing ground-level private open space.
- Courtyards may have a three- to four-foot wall, fence, or other barrier constructed of an appropriate urban building material.
- Fencing, lighting and landscaping are subject to DDRC review.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Private Use of Public Open Space

There are a variety of opportunities for private businesses and public institutions to make the environment around their buildings welcoming to passers-by. These include sidewalk cafes, moveable planters, benches and planter boxes. The following **standards** apply to private use of public open space:

- A minimum of six feet of clear space is required for the safe passage of pedestrians and those with disabilities.
- Private use of public space must be authorized by the appropriate encroachment permit, issued by City of Kalamazoo Engineering or MDOT staff and an annual fee may be required for the private use of public right-of-way.

Sidewalk Cafes

All sidewalk cafes require approval of the committee as a Tier II review. The following **standards** apply to sidewalk café's:

- Proposed sidewalk cafes must submit photos of the planned site, a simple diagram of the proposed location of the cafe, details of material for the enclosure if one is planned and written permission of adjoining property owners for using adjacent sidewalk space.
- The café must be authorized by the appropriate encroachment permit, issued by City of Kalamazoo Engineering staff and an annual fee may be required for the private use of public right-of-way. An additional review and approval from the Michigan Department of transportation may be required on state trunk lines (Michigan Ave and Kalamazoo Ave, Westnedge Ave & Park St)
- Businesses serving alcohol in sidewalk cafés must comply with any additional regulations of the Michigan Liquor Control Commission.
- If enclosures are used, they must be as simple as possible, no more than 32" tall and may be removed completely between November 1st and April 1st.
- If there is no enclosure the café is defined by area where tables and chairs are set up.
- The café shall maintain clear pedestrian space, with a minimum of 6'.
- Café must be wholly in front of the storefront operating it and shall not spill over in front of other storefronts without written permission of the adjoining property owners or tenants.
- The City of Kalamazoo retains the right to remove the café for maintenance work.
- Signage shall not be placed on enclosure materials.
- The café must include and maintain a waste receptacle. It is the café operator's responsibility to keep the café area clean and tables cleared.
- Tables and chairs without an enclosure should be stored inside the building at night.
- Tables and chairs with an enclosure may be chained together outdoors.

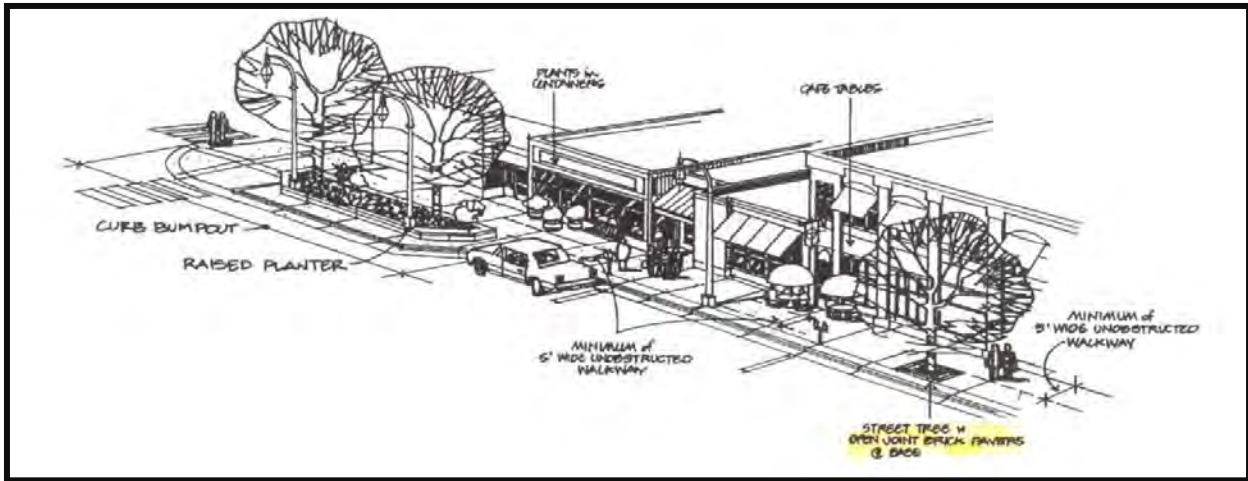


Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Public Streetscape Elements



General Selection Criteria

Material Choice

Materials should be durable, aesthetically pleasing, and of high quality.

Scale

Streetscape elements should be in scale with their surroundings. Elements too big to allow free pedestrian flow or small enough to become unrecognizable obstacles which could be easily stumbled over are not good uses of limited streetscape space. Scale has much to do with surrounding elements, as well as with functional uses involved.

Color

Color is a unifying element that can be used to identify special areas within larger districts. The color used on the Kalamazoo Mall and Arcadia Creek, for example, is dark green and the color used for the rest of the street furnishings in downtown Kalamazoo is black.

Maintenance and Durability

Materials need to be sturdy to withstand the rigors of a harsh outdoor environment. The materials chosen need to wear well – retaining aesthetic interest – under periodic maintenance.

Vandalism

Materials placed on the sidewalk or pedestrian right-of-way should either be fastened solidly to the pavement and/or heavy enough to make theft unappealing. The ability to resist graffiti, damage from skateboards and other harsh conditions should also be considered.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Public Street Furniture

A full catalog of approved Public Street Furniture is contained in Appendix E.

Public Art

Public art that is relevant to Downtown Kalamazoo or its particular location is preferred. The following **guidelines** apply to public art:

- The relationship of the proposed art to its proposed site
- The visual impact of the proposed work
- The ability for the work to enhance the downtown experience, bring people together, invite activity and interaction, or create interest
- The durability of materials and the maintenance requirements of the proposed work
- The placement of art to celebrate a gateway, terminate a vista, or create a focal point
- The scale of the work with respect to the location, street, and surrounding buildings
- The contribution of the art to the context and character of the proposed location
- The artwork's aesthetic and symbolic qualities
- A plan for de-commissioning or removing artwork
- A maintenance plan for the work

Street Lighting

The following **guidelines** refer to street lighting:

- Lighting may be provided through the use of pedestrian-scaled pole fixtures or may be attached to the face of the building.
- The type and size of fixtures should be as consistent as possible along a single block.
- All fixtures should feature white light.

Pedestrian (decorative) Lighting

Pedestrian lighting brightens the street while respecting the historic nature of downtown. The following **standards** apply to pedestrian lighting:

- All light fixtures must provide a minimum of 1.5 foot candles of light.

The following **guidelines** apply to pedestrian (decorative) lighting:

- New decorative lights should be the Consumers Energy fluted decorative pedestrian light pole with the acorn style luminaire in black.
- Pole height and lamp wattage will be determined by street conditions.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

- Pedestrian lighting should illuminate the sidewalk at a level that is consistent and conducive to pedestrian activities.
- Lights should be regularly spaced but may need to vary to accommodate other streetscape elements.

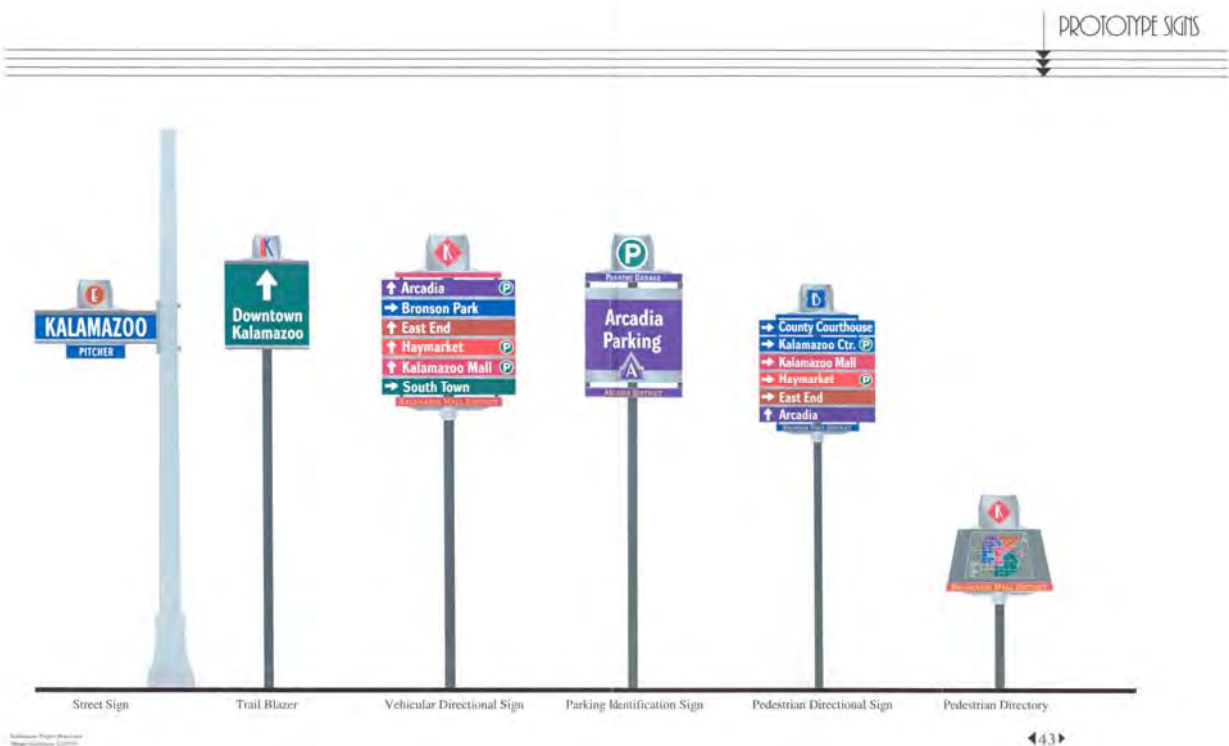
Road Lighting

The following **standards** apply to road lighting:

- Multi-purpose poles which include brackets for banners, pedestrian signals and street signs should be used where feasible.
- Approved Consumers Energy fixtures with a black finish.

Wayfinding Signage

Any additions to Wayfinding Signage must conform to the existing requirements. Any Wayfinding Signage additions/subtractions shall receive approval from a City of Kalamazoo and/or Downtown Kalamazoo, Inc. representative.



Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Landscape Elements

In general, trees on a particular street should be of the similar height and shape to create as much visual continuity as possible. Planting different tree species throughout the downtown and the city will avoid a monoculture within downtown.

Planting Layout

The following **standards** apply to planting layout:

- All new trees planted must be a minimum of 2” caliper.

The following **guidelines** apply to planting layout:

- Strengthen the grid street pattern of downtown with plantings of appropriate scale. In residential streets, a mix of species may be more appropriate. Plant to respect, frame, and strengthen space.
- Private planter boxes and pots can add to the color and interest of the street. (May require an encroachment agreement)
- Planting can also be used to recognize and reinforce distinct precincts within the downtown.
- Consider using planting along streets, walkways, and cycle-ways to increase legibility and direction.
- Street planting layouts should consider vehicle line-of-sight, entrance and exit curb cuts, and the location of street lights, street furniture, and traffic-control devices.
- Where opportunities exist, consider elevated planting beds or open space.
- Where opportunities exist, coordinate elements of public and private landscapes to create a cohesive streetscape character.
- In areas of high pedestrian use or narrow sidewalks, trees should be planted in tree grates.

Species Selection

Landscape plants for the streetscape include trees and groundcover. Consideration should be given to the size and scale of the space available for planting street trees when selecting the appropriate species. The rows of plantings should follow for only one block, and be consistent on both sides of the street. The following **standards** apply to species selection:

- All trees must be urban tolerant and able to withstand a reasonable level of road salt
- Wherever possible, it is desirable to maintain an 8-foot distance between the tree trunk and the building line. This will leave room for the tree to develop naturally and will also avoid any conflict with the building.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

The following **guidelines** apply to species selection:

- Consider the street's architectural form and pedestrian nature before deciding on an appropriate tree species.
- Consider the use of deciduous tree species where light, scale, and warmth are important.
- Avoid large-leafed deciduous species due to problems associated with their leaf drop.
- Annuals and perennials can add interest and color to an area. Low-level planting should be chosen to complement not only existing plantings, but the building form as well.
- Choose under-planting (groundcover or low-level planting) to complement the street tree species and any adjoining (public or private) plantings.
- All plant materials should be sized so that the landscaping has an attractive appearance at the time of installation and a mature appearance within three years of planting. (Trees should have a minimum caliper dimension of 2 inches).
- Combine tree species and low-level planting in combinations that maintain visibility and safety for pedestrians.
- Avoid trees whose root growth habits are proven to damage sidewalks, or site them away from such hard-scaped areas.
- Install trees in grates except at locations where they occur in large planted areas that are integrated with a sidewalk area, or where existing trees have superficial roots and the installation of a grate would injure the tree.
- Tree grates should be aligned with paving patterns and placed with careful consideration of sidewalk use.
- The groundcover plants recommended should be sufficient to spread fully throughout planting beds after one or two growing seasons. A comprehensive, but not all-inclusive list of approved groundcover species can be found in Appendix F. Plants native to Michigan are especially encouraged.

Sidewalks

Sidewalk widths vary widely within the downtown, but are typically between 8 and 10 feet. The following **standards** apply to sidewalks:

- Sidewalk must be at least 5 feet wide.

The following **guidelines** apply to sidewalks:

- 8-10 foot sidewalks are recommended to handle pedestrian traffic.

Paving Types

The following **standards** apply to paving types:

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

- All sidewalks, public-use buildings and public open spaces must be in compliance with American Disabilities Act (ADA) Standards. All accessible design elements must conform to applicable federal, state and local laws and codes.
- Concrete sidewalks are standard throughout downtown.

The following **guidelines** apply to paving types:

- Concrete sidewalks should be accompanied by brick treatments at crosswalks.
- In areas of high pedestrian traffic, brick or clay pavers are preferred materials for sidewalks.
- Where pavers are used, a concrete strip against the building edge should be used to create an even edge for the paving, while allowing for any levels or setback changes along the building edge.
- Each of the downtown districts have developed their own predominant paving pattern. These patterns should be followed where new sidewalks are being implemented.
- Special paving may also be used to highlight an important building, street, or pedestrian connection.

Downtown Streetscape Three-Tier Design

Streets are among the most important public infrastructure and place-making elements of the city because they can define how a visitor, resident, or worker perceives a neighborhood, downtown, or the city as a whole. It is important that streets foster safe travel for all modes of transportation and are easy to navigate. They must also look good, be inviting, and create the right impression.

The elements that most influence how people react to the character and design of streets include right-of-way and street widths, pavement conditions, driveway placement, sidewalks and pedestrian crossings, traffic speeds, on-street parking, the way building setbacks frame the street and the presence or lack of street trees.

The following **guidelines** apply to the Downtown Streetscape Three-Tier Design:

Tier I – Special Streetscape/Open Space Design Areas

Examples: Kalamazoo Mall, Arcadia Creek Festival Place, Linear Park, and Bronson Park.

- All items in Tier II
- Public Art
- Significant landscaping and natural features
- Unique sense of place and experience

Tier II – High Quality Main Street Design Areas

Examples: Michigan Avenue and Kalamazoo Avenue

- All features in Tier III including irrigation
- Brushed/Scored concrete
- Brick pavers or colored & stamped concrete

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

- Planter beds (precast or stone curbs), 5' x 15', 18" setback from back of curb, 18" wrought iron fence on top of curb
- 14' Historic Pedestrian Lights w/flower baskets, dual head lamps, cast Iron, black
- Bump outs
- Optional: art sculpture, special features

Tier III – Moderate Level Design Areas

Examples: Edwards Street, Rose Street, South Street, Lovell Street, and all other downtown side streets.

- Basic concrete pavement with scoring pattern
- Street trees (2 ½" caliper minimum)
- Benches
- Electrical outlets
- Brick pavers and ADA ramps at intersections
- Bike racks
- Optional: planters, irrigation, pavers, 14' Historic Pedestrian Lights



The Kalamazoo Mall is an example of a “Tier I” street-scapes design.

Intersections

The following **guidelines** apply to intersections:

- The preferred treatment for crosswalks at the corners of intersections is red brick pavers in a herringbone pattern. Material may be individual pavers or stamped concrete.
- Each crosswalk should be barrier-free with a curb ramp.
- Tactile pavers should be installed along the street edge to assist the visually impaired.
- If signal poles, masts, and any associated elements are to be painted, they should be painted black.

Amenity Strips

Amenity strips are the areas between the curb and the sidewalk. They have often disappeared in order to widen the sidewalk area. In these instances, trees are planted in tree grates. However, amenity strips provide a great opportunity for planting. In areas with less than four feet available for planting or areas with very high pedestrian traffic, a paved solution is recommended.

Parking

Layout and Circulation

The following **guidelines** apply to layout and circulation:

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

- Parking areas should be located at the rear of the property rather than along street frontages to screen it from the interior and exterior of the site. Parking should occur at interior courts or below grade.
- Parking structures should be placed on blocks and streets without jeopardizing the pedestrian quality of the downtown.
- Primary vehicular access to parking structures and lots should consider the location of pedestrian routes and avoid crossing/cutting major pedestrian thoroughfares.
- Pedestrian routes in structures and lots should be easily identifiable and accessed.
- Clear visual connections between a garage or surface parking lot and adjacent sidewalks and buildings are recommended.
- Interior and exterior lighting should be designed for safety as well as night-time appearance.

Parking Structures

The following **standards** apply to parking structures:

- Parking structures shall be wrapped in active pedestrian-oriented uses at street level, retail or commercial is strongly recommended.
- Cars on the upper levels shall be screened, so that the building blends in with its surroundings.

The following **guidelines** apply to parking structures:

- Above-ground parking should be designed in such a way that neighboring buildings are not adversely affected by headlights.
- The primary façade of the parking structure should be designed to complement neighboring buildings. Façades of the parking structure should contain sufficient detail and modulation to break up the overall massing of the structure.
- Pedestrian lighting is an important consideration for any parking facilities. This should be a white light source and fixtures should complement surrounding pedestrian lighting styles. The interior of the structure should be light in color, preferably white, to improve safety and visibility.

Surface Parking Lots

The following **standards** apply to surface parking lots:

- Wrought iron, aluminum, brick, and stone are appropriate materials for fences and low walls.
- Wood and plastic fences are not allowed, nor are post/chain systems.
- Fences must enable some visibility between the lot and the adjoining sidewalk.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

- Fences must be a maximum of 36 to 42 inches high.
- Must meet the Site Plan Review requirements for landscaping

The following **guidelines** apply to surface parking lots:

- Where new surface parking lots are created, they should be located at the interior of the block, not at corner locations, and should be located at the rear of any buildings.
- Large lots should be subdivided into smaller areas through the use of landscaping or other visual elements.
- Landscaped buffer strip a minimum of 3 feet in width, or the width equal to the set-back of the adjacent building.
- The buffer may be designed in conjunction with a low wall or fence.
- Plants, materials, and architectural detailing selected for buffers should be complementary to the character and materials of the area.
- All screening and fencing should be designed as an integral part of the site.
- Landscaping and fencing should enable adequate sight distances for motorists and pedestrians entering and exiting a site and should not interfere with circulation patterns.
- Pedestrian lighting is also an important consideration for any parking facilities. This should be a white light source and fixtures should complement the style of surrounding pedestrian light poles and fixtures.
- Existing surface parking lots should be targeted for infill with appropriate new construction, and any existing surface parking lots to be retained should be improved with appropriate screening.

Emerging Technologies

Downtown Kalamazoo has an excellent opportunity to integrate sustainable practices into the design process of project sites. The Downtown Design Review Committee recognizes that sustainability and energy efficiency are at the forefront of the decision-making process. The committee will review these items (of which a sample listing is below) on a case-by-case basis with consideration for the sustainability impact a project may have.

Examples of Emerging Technology Projects:

- Wind Turbines
- Solar Panels
- LED Lighting (including signage)
- Cisterns
- Green roofs

The following **standards** apply to emerging technologies:

- All visible emerging technologies require Tier II Review.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Standards Checklist

Wall Signs:

- Wall signs shall be limited in size and project less than 15 inches from the building.

Projecting Signs:

- Projecting signs on the first floor must not project more than 5' from the building's face.
- Projecting signs on the second floor or above must not project more than 8' from the building's face.
- Projecting signs must have no less than eight feet of clearance between the sidewalk and the lowest part of the sign.
- The maximum distance between the sign and the face of the building is one foot.

Sidewalk Signs:

- One sign per business is permitted, provided it is not chained or otherwise affixed to public property.
- Sidewalk signs require a sign permit.
- Shall be placed in front of a storefront during business hours only.
- Shall be placed so that no a minimum six foot pedestrian walkway is maintained.
- Shall maintain a clear building ingress and egress.
- Shall not obstruct any bus stop or loading zone.
- If placed near any street intersection a clear sight distance must be maintained.
- Shall be no more than three feet wide and no more than four feet high.
- Shall be not less than 18 inches wide and not less than two feet high.
- Feature the name of the business.
- Shall not advertise any service or product not available at the related business.
- Shall not have additional signs taped or attached to the base sign.
- Shall be kept in good repair.
- If the sidewalk in front of a building is less than six feet wide exclusive of the curb lawn, the business shall not display a sidewalk sign.

Awnings:

- A standard street-level awning must be mounted so that the lowest edge of the valance (typically 12 inches) is approximately 8½ feet above the sidewalk, directly over an individual window opening or bay.
- Awnings must project no more than five feet from the building.
- The valance is the only portion of the awning that may serve as a sign panel.
- The only information permitted on the valance is the business name, address, and logo.
- Box-type or curved awnings are not permitted.
- Awnings must be in proportion to the overall building façade and shall match the width of the storefront or window opening.
- The supporting framework of the awnings must not block pedestrian movement.
- Shiny, plastic, or rounded awnings are not appropriate.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Canopies:

- Must be in proportion to the overall building façade, and the supporting framework should not block pedestrian movement.
- The valance is the only portion of the canopy that may serve as a sign panel. The only information permitted on this panel is the business name, address, and logo.

Exterior Light Fixtures:

- Street-level light fixtures that project from the wall must be mounted with the lowest part of the light more than 8½ feet above the sidewalk
- Lighting shall be placed to minimize illuminating residential living spaces.
- White light is required.

Private Use of Public Open Space:

- A minimum of six feet of clear space is required for the safe passage of pedestrians and those with disabilities.
- Private use of public space must be authorized by the appropriate encroachment permit, issued by City of Kalamazoo Engineering or MDOT staff and an annual fee may be required for the private use of public right-of-way.

Sidewalk Café's:

- Proposed sidewalk cafes must submit photos of the planned site, a simple diagram of the proposed location of the cafe, details of material for the enclosure if one is planned and written permission of adjoining property owners for using adjacent sidewalk space.
- The café must be authorized by the appropriate encroachment permit, issued by City of Kalamazoo Engineering staff and an annual fee may be required for the private use of public right-of-way.
- Businesses serving alcohol in sidewalk cafés must comply with any additional regulations of the Michigan Liquor Control Commission.
- If enclosures are used, they must be as simple as possible, no more than 32" tall and must be removed completely between November 1st and April 1st.
- If there is no enclosure the café is defined by area where tables and chairs are set up.
- The café shall maintain clear pedestrian space, with a minimum of 6'.
- Café must be wholly in front of the storefront operating it and shall not spill over in front of other storefronts without written permission of the adjoining property owners or tenants.
- The City of Kalamazoo retains the right to remove the café for maintenance work.
- Signage shall not be placed on perimeter materials.
- The café must include and maintain a waste receptacle.
- It is the café operator's responsibility to keep the café area clean and tables cleared.
- Tables and chairs inside an enclosure may be stored inside the building at night or chained together outdoors.
- They may not be secured to any public fixture.
- Tables and chairs without an enclosure must be stored inside the building at night.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Pedestrian (decorative) Lighting:

- All light fixtures must provide a minimum of 1.5 foot candles of light and have a black finish.

Road Lighting:

- Opportunities to use multi-purpose poles should be explored. For example, traffic signal poles could include brackets for pedestrian signals and street signs, reducing the number of poles on the street and removing potential pedestrian obstacles.
- Approved Consumers Energy fixtures with a black finish.

Planting Layout:

- All new trees planted must be a minimum of 2” caliper.

Species Selection:

- All trees must be urban tolerant and able to withstand a reasonable level of road salt
- All trees must be native to the Kalamazoo area.
- Wherever possible, it is desirable to maintain an 8-foot distance between the tree trunk and the building line. This will leave room for the tree to develop naturally and will also avoid any conflict with the building.

Sidewalks:

- Sidewalk must be at least 5 feet wide.

Paving Types:

- All sidewalks, public-use buildings and public open spaces must be in compliance with American Disabilities Act (ADA) Standards. All accessible design elements must conform to applicable federal, state and local laws and codes.
- Concrete sidewalks are standard throughout downtown.

Parking Structures:

- Parking structures must be designed so that they create a visually attractive and active pedestrian environment.
- Parking structures shall be wrapped in active pedestrian-oriented uses at street level, retail or commercial is strongly recommended.
- Cars on the upper levels shall be screened, so that the building blends in with its surroundings.

Surface Parking Lots:

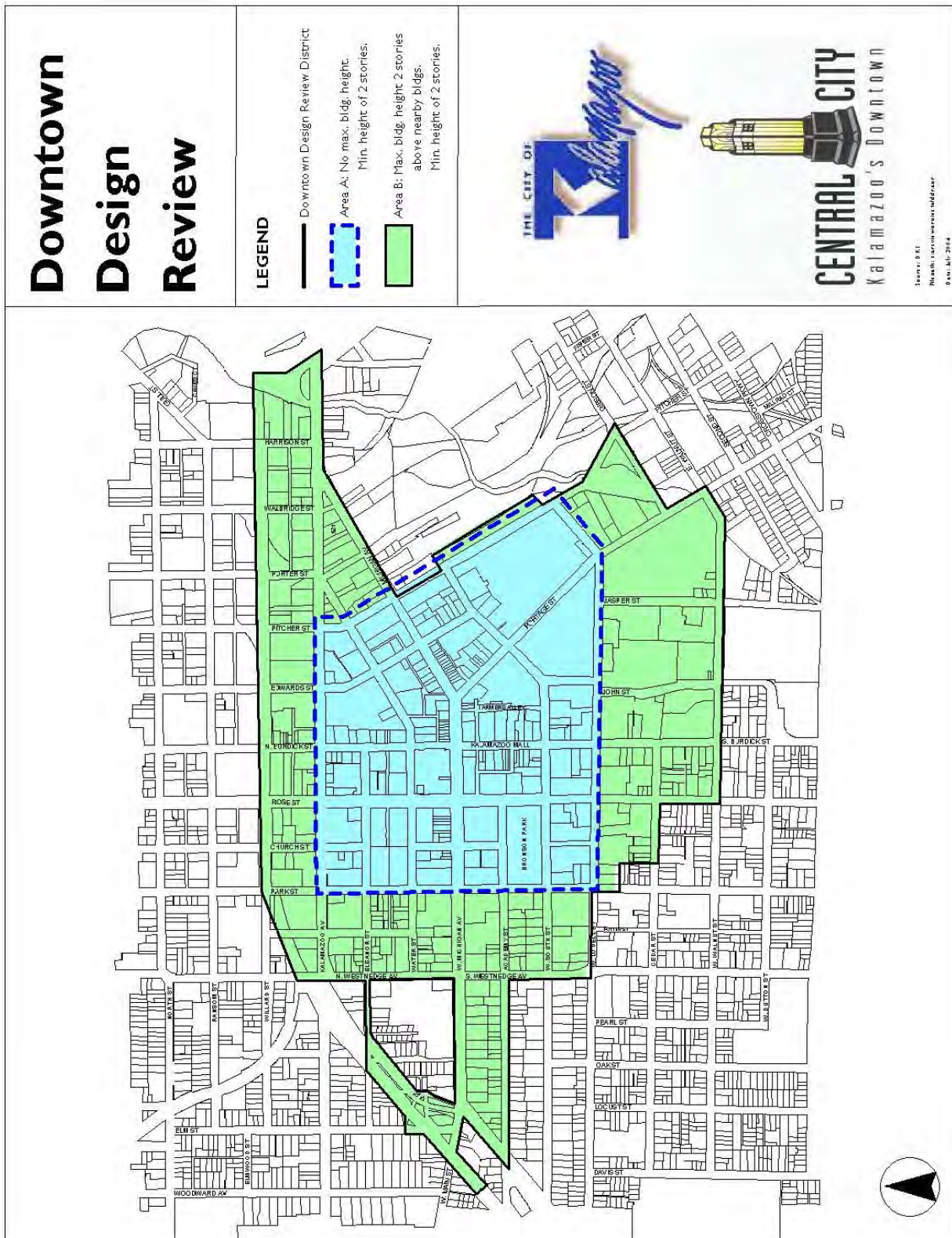
- Wrought iron, aluminum, brick, and stone are appropriate materials for fences and low walls.
- Wood and plastic fences are not allowed, nor are post/chain systems.
- Fences must enable some visibility between the lot and the adjoining sidewalk.
- Fences must be a maximum of 36 to 42 inches high.
- Must meet the Site Plan Review requirements for landscaping.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Appendix A: DDRC Boundary & Building Height Map A-1

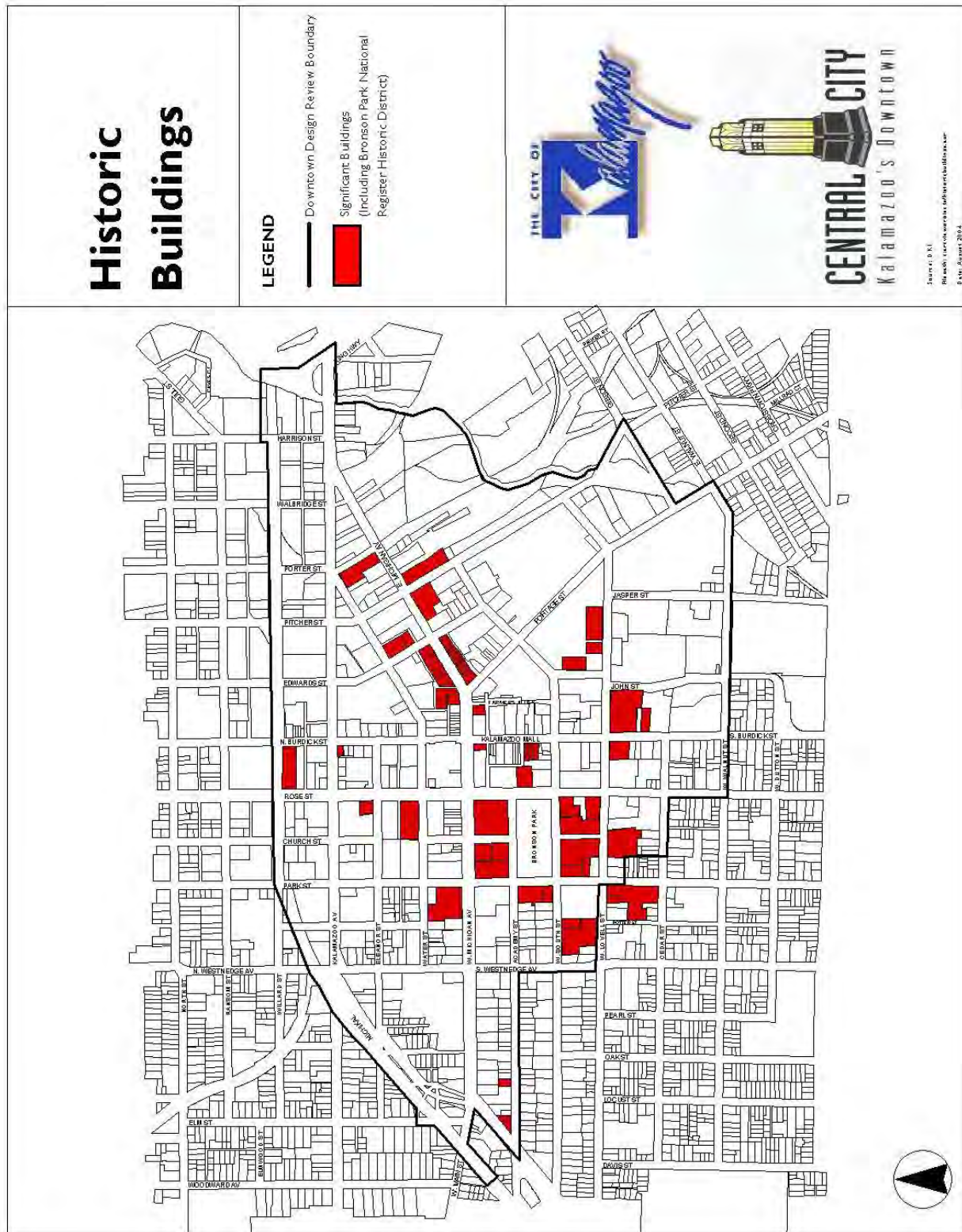


Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Appendix A: MAP – Historically significant buildings – Appendix A-2



DDRC STANDARDS AND GUIDELINES - 2012

APPENDIX B: ROOFTOP ADDITIONS—TIER II REVIEW (see pages 7 & 8)

In order to judge the appropriateness of proposed rooftop additions to existing buildings, the Downtown Design Review Committee must understand the relationship of the addition to the design of the existing structure and/or to the surrounding buildings. The following page provides a drawn example of the three steps below.

Step 1—Prepare a Block Front Elevation

Provide a block plan and an elevation of the block front showing the addition, and adjacent buildings on the block, in the proper scale. For short blocks, draw the entire block front; for long blocks include enough of the block front to illustrate the buildings context.

Step 2—Prepare Sight-Line Drawings of the Building

Provide sight-line drawings of the building to illustrate the maximum visibility of the proposed addition at pedestrian eye-level.

The Most Common Viewpoints are:

A-B From the far side of the sidewalk directly across from the building;
A-C and A-D From the far side of the opposite sidewalk and down the street in both directions where the additions would be most visible; from the other public areas such as parks, squares, or bridges, or from the sidewalks around the corner from the building.

Draw the sight-lines selected on the block plan from Step 1 (which may need to be expanded to include all the viewpoints). Draw to scale cross-sections of the building with the proposed addition, following these sight-lines. The viewpoints for these drawings should be from an eye level of 6 feet off the ground. Note that except for a viewpoint directly in front of the building, the sightlines are not at right angles to the building. Take care to draw the sight-lines from the top of the building to the façade of the addition at the same angle as the line from the sidewalk to the top of the building.

Step 3—Prepare a Perspective Drawing with the Proposed Addition

(Skip this step if the sight-line analysis shows that the proposed addition would not be visible from public spaces)

Illustrate the block-front building and addition as they would actually appear to a person on the sidewalk. Perspective drawings or photo-montages, which are photographs with the addition drawn in or over-laid on a clear plastic sheet, can be used. The viewpoints selected will depend on the site conditions for each project, but should be the same as those selected for the sight-line drawings. Indicate these viewpoints on a block map. Viewpoints should always be taken from an eye level 6 feet off the ground.

Standard - a minimum requirement all projects must/shall meet.

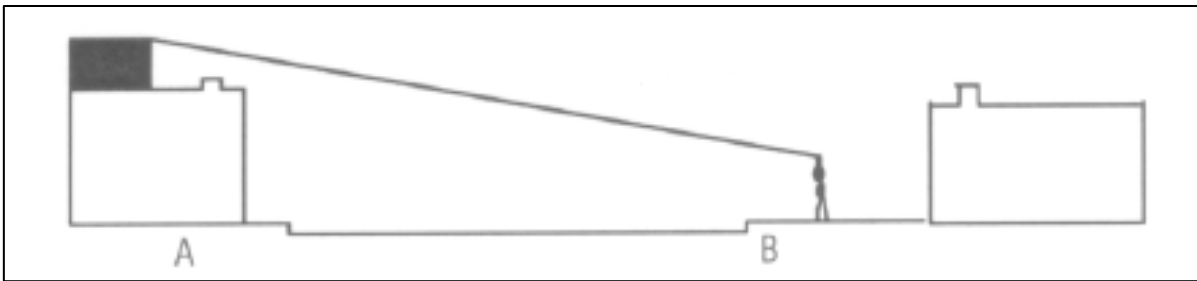
Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

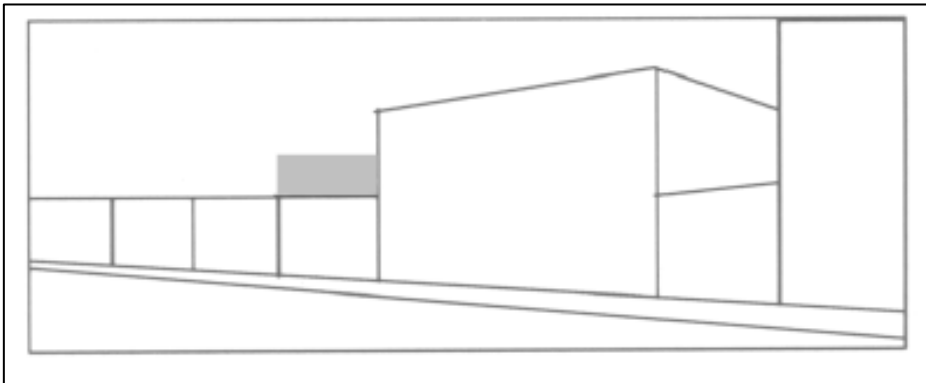
Appendix B – Roof Top Additions Drawings



STEP 1 - BLOCK FRONT ELEVATION



STEP 2 - SITE LINE CROSS SECTION



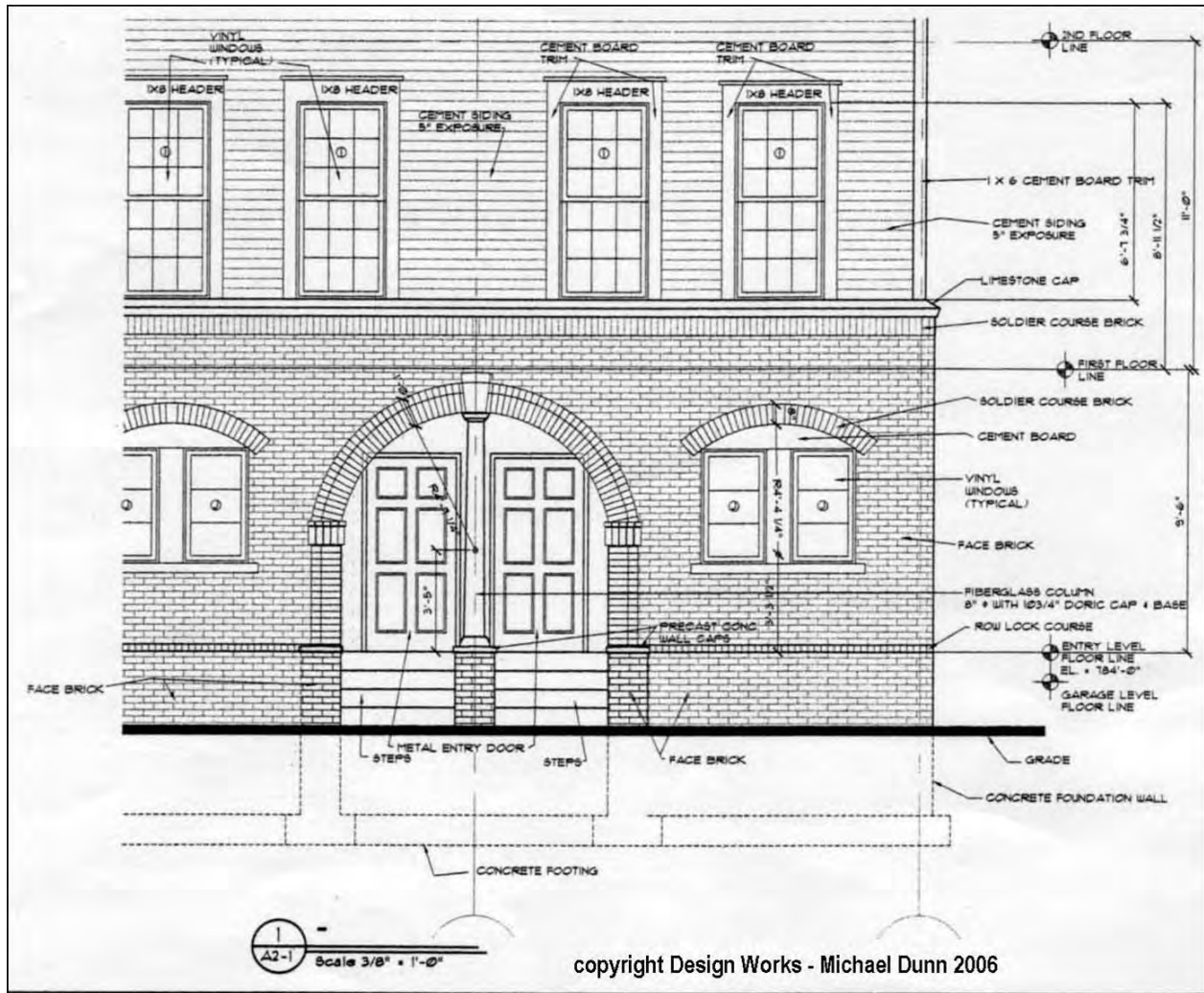
STEP 3 -PERSPECTIVE DRAWING WITH PROPOSED ADDITION

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Appendix D: Sample Review Submission



Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

APPENDIX E: Street Furniture

Street Furniture

A variety of street furniture is currently found throughout downtown. Recommended designs that have been developed through recent streetscape projects like the Kalamazoo Mall, Arcadia Creek, and Arcadia Creek Festival Place. These designs start to establish a design vocabulary that can be used throughout the downtown. The most common types of furniture are discussed in the following sections.

Benches

Landscape Forms – Hyde Park™ Bench
Hyde Park™ Bench for use on Kalamazoo Mall.
Location: Kalamazoo Mall
Model: HP3005-BS- 75 with Jarrah wooden seat
Powdercoat color: Ivy



Landscape Forms – Scarborough™ Bench
Location: Arcadia Creek Festival Place
Model: SC3005-BS-72 (with back)
SC3005-FS-72 (backless)
Horizontal strap panel
Powdercoat color: Ivy



Fairweather – Plaza Bench
Location: Arcadia Creek Linear Park & other downtown locations
Model: PL-3
Powdercoat color: Evergreen



Litter Receptacles

Landscape Forms – Scarborough™ Litter Receptacle
Location: Arcadia Creek Festival Place
Model: SC5002-24-33 (top opening)
Vertical strap panel
Ash pan optional
Powdercoat color: Ivy



Landscape Forms – Presidio™ Litter Receptacle
Location: Kalamazoo Mall
Powdercoat color: Ivy



Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Tables and Chairs

Tables and chairs provide a place to eat lunch, while creating an opportunity for activity and interest in the streetscape. Tables and chairs, typically provided by private property owners, should match the character of individual businesses or buildings, should be of good quality and durability, and should be replaced when worn or damaged.

Landscape Forms – *Carousel™ Table*

Location: Arcadia Creek Festival Place, Kalamazoo Mall

Model: CR 4302 – BS – 42 (with umbrella hole)

Available freestanding or surface mounted

Tabletop: Perforated Steelhead SH 4002

Powdercoat color: Ivy



Umbrella: Equinox

Color: White

Newspaper Rack

Public congregating areas are particularly well-suited for their placement. Where possible, newspaper racks should be placed against a building edge. Where this location interferes with pedestrian traffic or building servicing, the racks should be located at the curbside. A setback of 18 inches should be allowed to avoid damage from vehicles.

Manufacturer: Sho-Rack

Model: Arlington Model Modular

Color: City Green

Drinking Fountains

Manufacturer: Haws Corporation

Location: Arcadia Creek Festival Place, and downtown streets

Model: 3511FR

Powdercoat Color: Black Model 3511FR is a dual-height, freeze-resistant, antique style historical fountain made of heavy-duty cast aluminum with a powder-coated finish. A push-button pneumatic operated, freeze-resistant valve system, installed below the frost line allows the fountain to function year-round. This model meets all current federal regulations for the Americans with Disabilities Act.



Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Bicycle Rack

Manufacturer: Landscape Forms

Model: Pi

Color Black



Manufacturer: FairWeather Products

Model: BR 1.5

Color: Black Ivy



Bollards

Bollards can be used to protect elements of the streetscape or pedestrians. Black metal bollards are preferred for most of the downtown. These may be permanent or removable. If the bollard is likely to be struck by vehicles, for example next to a parking space, it should have a flexible base to allow some movement.

Bollards in the public right of way on the state trunk lines including Michigan, Kalamazoo, Park and Westnedge may also need review and approval from the Michigan Department of Transportation.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

APPENDIX C: GLOSSARY OF TERMS

Awning – a retractable or fixed shelter projecting from and supported by the exterior wall of a building and constructed of non-rigid materials on a supporting framework.

Canopy – means a permanent, roof-like shelter that extends from part or all of a building face and constructed of non-rigid material, except for the supporting framework.

Complement - An architectural feature which is similar in appearance to the original feature or is appropriate to the architectural style of the building where the characteristics of the original features are not known.

DDRC – Downtown Design Review Committee. Committee is comprised of staff from the Downtown Development Authority and the City of Kalamazoo along with an architect, a downtown business owner and a member of the DKI Project review team. The members are appointed jointly by DKI and the city manager.

DDRD – Downtown Design Review District.

DKI—Downtown Kalamazoo Incorporated

EIFS – Exterior Insulation Finish System. The most common brand name is Dryvit.

Encroachment – Any object including but not limited to banners, signs, street furniture, waste bins, newspaper boxes, works of art, either permanent or temporarily placed in or above the public right-of-way on sidewalks, alleys or streets. An encroachment permit from the City of Kalamazoo is required.

Façade – the front or face or faces of a building. (See also Primary façade and Secondary façades.)

Fence – Any permanently installed barricade intended to limit pedestrian or vehicular traffic or to mark the boundaries of a property, including but not limited to metal or wooden fences, masonry walls, chains and posts or operating gates.

Guideline - A guideline is a suggested threshold a project should meet as identified by the committee.

Historic District - means an area or group of areas, not necessarily having contiguous boundaries, that contains one resource or a group of resources that are related by history, architecture, archaeology, engineering, or culture and have been designated as historic through Michigan PA 169 or under Federal law listed on the National Register of Historic Places. A separate application to the Historic District Commission may be necessary for historic district properties.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Informal / Passive Surveillance – the casual observation of activities and people in public and semi-public spaces by other people engaged in legitimate activity. Such observations may occur from inside buildings and is sometimes referred to as having ‘eyes on the street’

Marquee - means a permanent, roof-like shelter that extends from part or all of a building face and is constructed entirely of noncombustible materials.

Match – An architectural feature which is a replica in appearance and, where possible, uses materials of the original feature.

MDOT—Michigan Department of Transportation. MDOT regulates any items placed in the public right of way on state trunk lines (Kalamazoo, Michigan, Park and Westnedge)

Moving sign – A sign that blinks, flashes, flutters or changes intensity or includes moving messages with a continuous scrolling movement (ticker tape).

Nearby – Any building immediately adjacent to or within two buildings from the reference structure. This includes buildings immediately across the street or, when the reference building is on a corner, on both intersecting streets.

Primary façade – A building has only one primary façade. It is the exterior face of a building, which is the architectural and functional front of a building. It is oriented towards the primary street. A corner building should still only have one primary façade.

Rehabilitation – The process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values.

Renovation - The process of returning a property to a state of utility, through repair or alteration.

Sidewalk Sign – A sidewalk sign, also called a sandwich sign is a free-standing, moveable sign, usually shaped like an "A", used to advertise daily specials or special events. Sidewalk signs require a sign permit.

Secondary Façades – Secondary façades are the side or rear building faces. For a corner building, the side wall may face a street but will be secondary in style and detailing to the primary façade.

Setback – Distance from the property line to a building.

Sidewalk Café – An outdoor seating and serving area immediately outside the primary restaurant placed in the public right-of-way. Sidewalk cafes require an encroachment permit.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

Site Plan Review –In the city of Kalamazoo, the following projects are required to have site plan review and approval:

- A. Construction of new buildings and expansion of existing buildings
- B. Parking lot construction and expansion.
- C. Erection of communication towers and/or antennas.
- D. Parks and recreational facilities.
- E. Changes in use of land or buildings.
- F. Architectural changes to a multiple-family residential building or nonresidential building.
- G. Grading, excavation, filling, or removal of soil within an area containing ½ acre or more.
- H. Removal of trees within an area containing ½ acre or more.

Skywalk – An enclosed structure for the movement of pedestrians above the street level between buildings and/or blocks.

Standard – For the purposes of these Guidelines, a standard is a minimum requirement all projects must meet.

Storefront – The front of a store, restaurant or other establishment, at street level, with one or more windows for the display of goods or wares.

Urban Building Materials – Include traditional commercial, downtown or central business district materials including but not limited to metal, stone, granite, terra cotta, concrete, glass, brick, and stucco. Some materials are inappropriate in downtown settings, including but not limited to horizontal or vertical rough-textured wood siding, stone and gravel aggregate, shingles, vinyl or aluminum siding, T1-11 (plywood) and EIFS (Exterior insulating finish system). The use of these materials is strongly discouraged, but exceptions in unusual circumstances may apply.

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DDRC STANDARDS AND GUIDELINES - 2012

City of Kalamazoo
Community Planning and Development
Downtown Design Review
415 Stockbridge
Kalamazoo, MI 49001

269-337-8044
269-337-8429 (fax)

ddrc@kalamazoocity.org

Standard - a minimum requirement all projects must/shall meet.

Guideline - a threshold a project should meet as identified by the Downtown Design Review Committee.

DOWNTOWN OVERLAY DISTRICT

A Component of the Pineville Comprehensive Plan

Comprising:

- Downtown Overlay District
- Minimum Architectural Standards
- Minimum Site Design
- Downtown Pedestrian and Transportation Plan
- Greenway Improvement

Adopted

March 11, 2008

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0.0 DOWNTOWN DISTRICT OVERLAY MAP



1.0 VISION STATEMENT

To determine and set the long range aspirations, goals, and planning needed in the Downtown Overlay District in the form of a small area plan. This plan shall strive to both provide and enhance quality of life through such items as multi-modal forms of transportation (walking, biking, and automobile), overall connectivity and the quality of development throughout this district and the Town of Pineville.

2.0 GOALS AND OBJECTIVES

All Encompassing Goals:

- To provide for the continued growth and economic sustainability for the Town of Pineville
- To expand and better the Town of Pineville in all areas of design and regulation.
- To provide solutions and improve land use, traffic, and parking for the long term needs of Pineville.

Goals

Objectives

1] Maintain and

Reinforce Downtown Pineville as the Center of the Community.

[To ensure downtown Pineville remains the center of the community's government, commercial, spiritual, and cultural activities supported by appropriate development and facilities to promote and continue downtown economic vitality.]

- A]-Locate and center all civic, governmental and cultural functions within the Downtown Core.
- B]-Encourage development and redevelopment in the Downtown Overlay District.
- C]-Improve pedestrian access and comfort downtown.
- D]-Improve land use, density, mixed-uses, and downtown living options.
- E]-Enhance town and downtown character by marketing, promoting, and increasing the awareness of downtown Pineville.

2] Improve the

Consistency and Predictability of Development.

[To achieve manageable, organized, aesthetically pleasing and interconnected town network.]

- A]-Development should follow a consistent manner that enhances and integrates into the existing town.
- B]-Set a specific form, allowances, details, and features for development throughout the Downtown Overlay District.
- C]-Create a building template that is user friendly and easily followed by staff, residents, and developers alike.
- D]-Require 'build to' line along property frontages instead of minimum or maximum setbacks to ensure a consistent streetscape building line.

Goals

Objectives

3] Simplify Development Codes to Promote Best Development and Feasibility.

[To make building and doing the right thing easy to understand, fast, and streamlined.]

- A]-Blend town goals with development feasibility to ensure the realization of future plans.
- B]-Simplify the process for higher quality and desirable development in the Downtown Overlay District.
- C]-Simplify zones and allowable use tables.
- D]-Enact new zoning and/or zoning overlay districts to fit current and best future land uses to minimize or ease rezoning requests.

4] Improve the Design Quality of Development

[To make the Town of Pineville the most attractive and appealing place to live, work and play possible.]

- A]-Focus on a buildings details, street front, massing, placement and general aesthetics.
- B]-Require architectural minimal standards for all development.
- C]-Require all development and façade retrofits to submit elevations of all sides of a project for staff approval.
- D]-Require greenway accesses and improvements.
- E]-Require all onsite parking for developments (excluding on street) to be located entirely behind all primary facades.

5] Improve Walkability

[To create a vibrant town focused on people and the spaces and goods we all use and need rather than around the automobile. Reduce automobile dependence by placing goods, services, and residents within easy reach of each other and promote the outdoors and exercise.]

- A]-Well designed residential/commercial mixed-uses in particular should be incorporated into the Downtown Core to facilitate walkability throughout downtown by placing residents and merchants within easy access to each other and other downtown amenities. Cater streets to pedestrians and bicyclists instead of to the automobile.
- B]-Adopt standard streetscape sections showing the design of pedestrian, bicycle, and planting (tree) locations.
- C]-Require streetscape sections including wide sidewalks, bike lanes and planting strips to be implemented.
- D]-Encourage one stop centralized parking.
- E]-Mandate parking connectivity. Require that parking must be connected between adjacent parcels where possible.
- F]-Revise parking requirements.

3.0 PLANNING CONCEPTS

Build and Enhance Small Town Character

-Focus on traditional town design and organization, line streets with buildings instead of parking lots. Provide wide sidewalks, street trees, and multiple/mixed-use developments to foster a pedestrian friendly and walkable town.

Centeredness and Districts

-Focus and center Pineville on the Downtown Core along Main Street. Create distinct yet interconnected districts to provide individual identity to different sections of Pineville that interact and support Downtown Pineville.

Community

-Reinforce community by districts, design, and architecture to create a sense of place focused on public places, people, and memorable buildings.

Connectivity

-Connectivity in all forms of transportation and movement is critically vital for the overall health, well-being, and future of Pineville. All streets should be as interconnected as possible and made to be extended (if possible) in the future. Wider sidewalks and bicycle lanes should also be installed where absent and improved where applicable.

Amenities

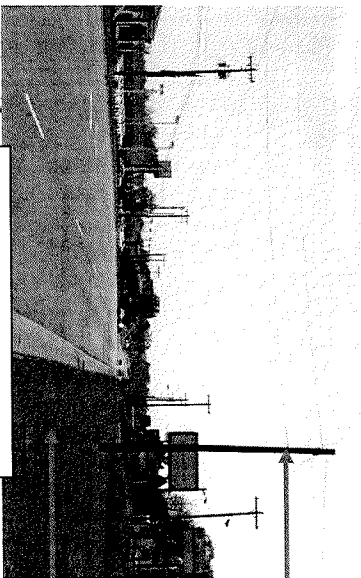
-Set the ground work for amenities desired and needed for the future. Amenities such as parks, schools, public parking, transportation, and government/civic buildings should be accommodated in the future.

4.0 EXISTING CONDITIONS AND FUTURE DEVELOPMENT MODELS

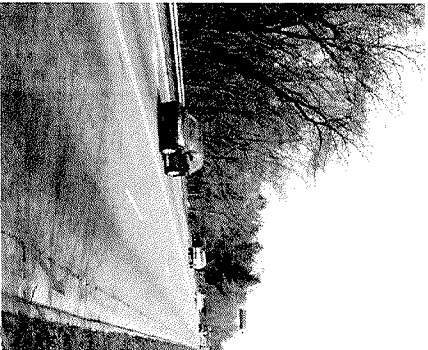
4.1 Current Gateways into the Downtown Core

Key Issues to Address:

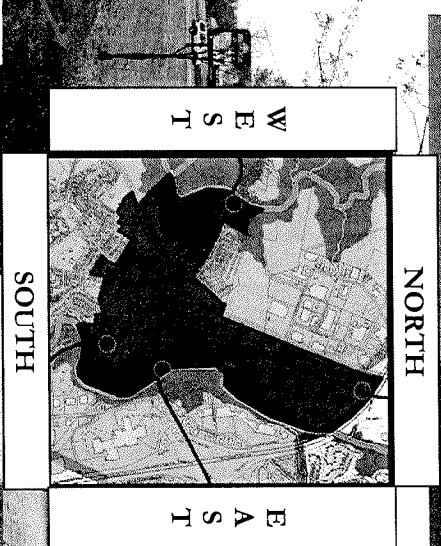
- Create easily identifiable and memorable gateways into downtown
- Street trees to be added
- Sidewalks, bike lanes, and pedestrian features to be added
- Overhead utilities relocated underground



Overhead Utilities

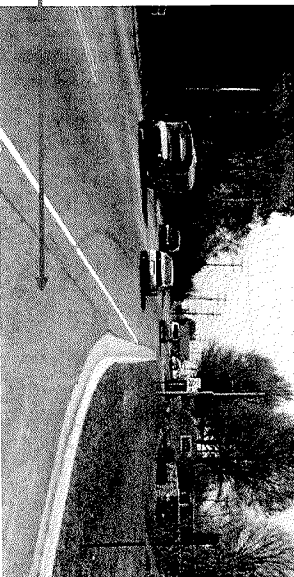


Lack of wide Pedestrian Friendly sidewalks

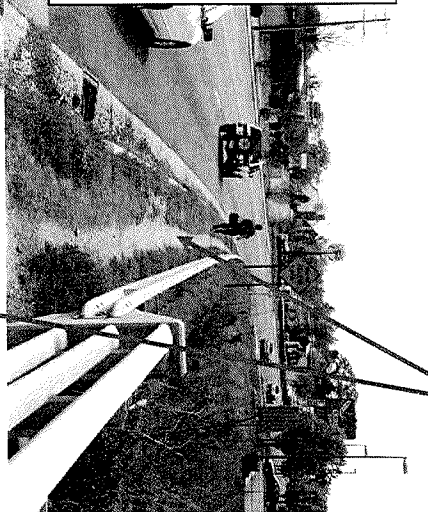


No Bicycle Lanes

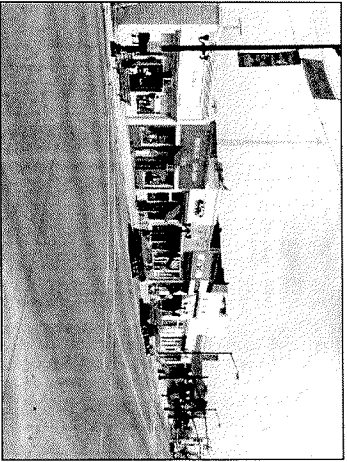
Insufficient Street Trees/Landscaping



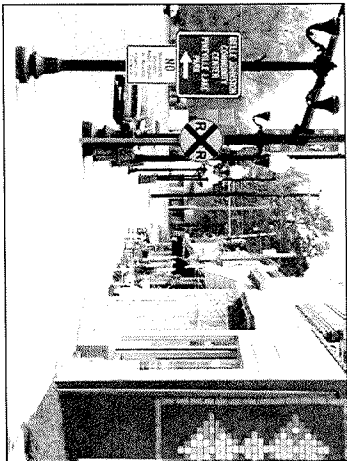
Lack of Clearly Defined Pedestrian Crossings



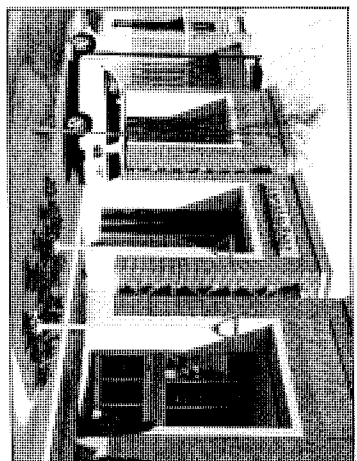
4.2 Current Downtown Core



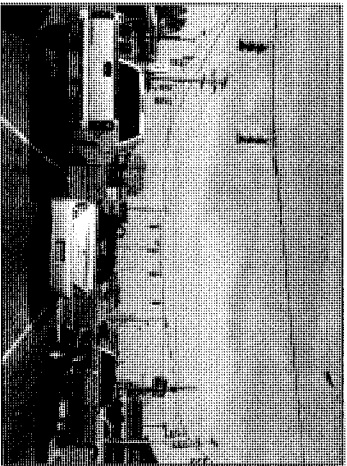
The historical and traditional town center along Main Street is highly regarded and still respected as the center of town.



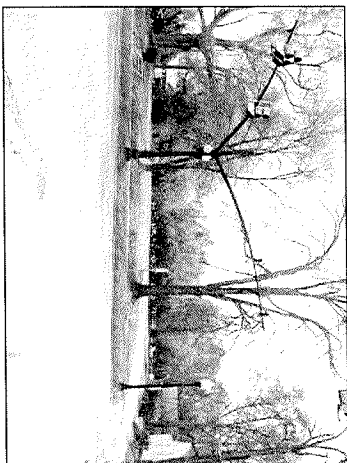
Main Street businesses have many amenities and a time-tested design that make it a more comfortable place to be as a pedestrian.



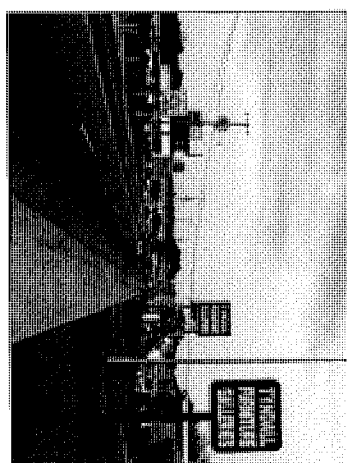
The potential and interest is growing. The new Mercedes-Benz dealership on North Polk Street is an indicator of the possibility to redevelop, revitalize, and redefine the heart of Pineville.



The intersection at the heart of Pineville (Main and Polk Streets) is defined now by isolated suburban style developments of gas stations and drug stores featuring poor pedestrian accommodation, low architectural integrity and low overall cohesiveness.



There are significant parcels of land throughout the Downtown Core that are currently vacant or significantly underutilized and offer great potential for the future.



North Polk Street is the area within the Downtown Core in most dire need of redesign and planning attention. It also holds the greatest development potential featuring large underutilized tracts of land and has the closest ties in the Downtown Core to uptown Charlotte and Interstate 485.

4.3 Future Downtown Development Pattern: APPROPRIATE SCALE

The Downtown Overlay District shall be scaled in terms of height by a simple and time proven ratio between building height and total street area width.

The minimum height ratio of 1/2 to one should be the lowest ratio permitted between a buildings height and the centerline of the street. The average ratio should be approximately a one to one ratio with flexibility for some items such as church spires and clock towers.

These ratios are intended as a range for building heights to foster a comfortable social, pedestrian, and small town aesthetic. Scales less than 1/2 to one, such as Image 4.3 should be avoided.

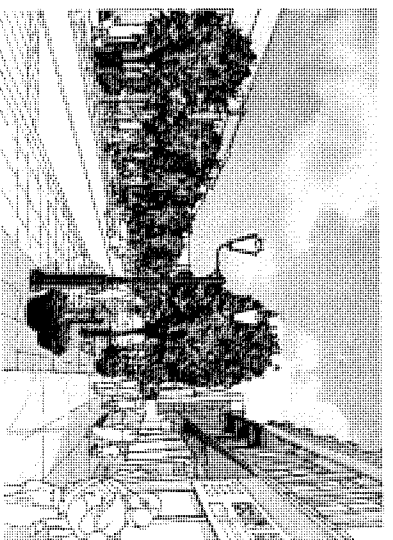
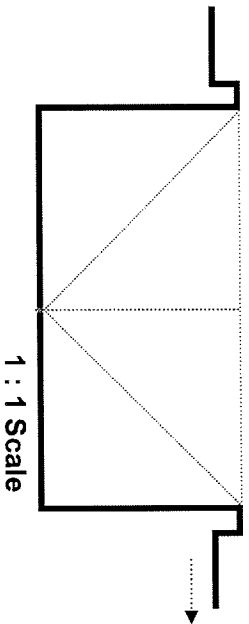


Image 4.1 - 1 : 1 Scale

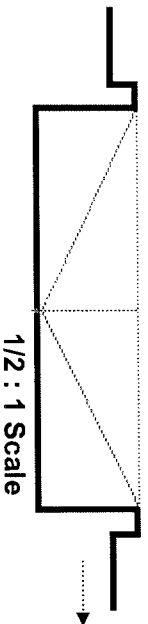


Image 4.2 - 1/2 : 1 Scale

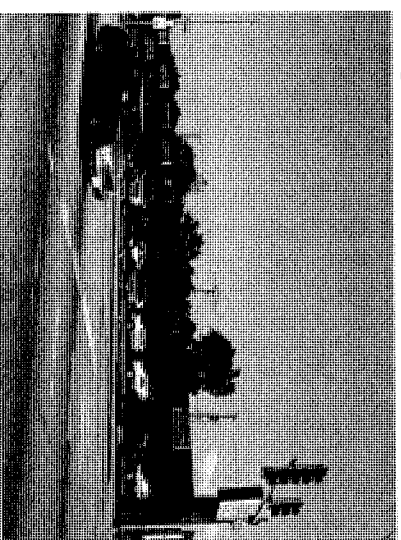
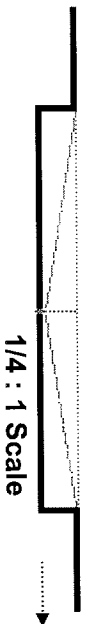


Image 4.3 - 1/4 : 1 Scale

4.4 Future Downtown Development Pattern: DETAIL and LAYERS

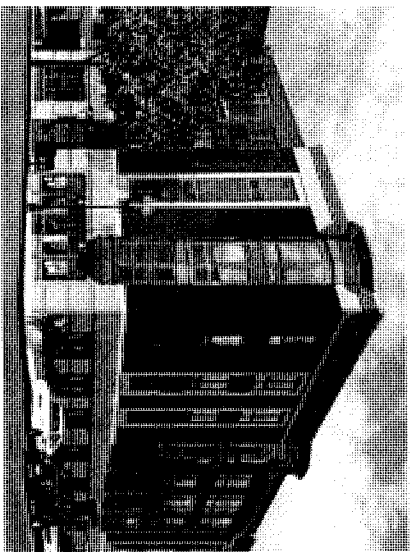


Image 4.4

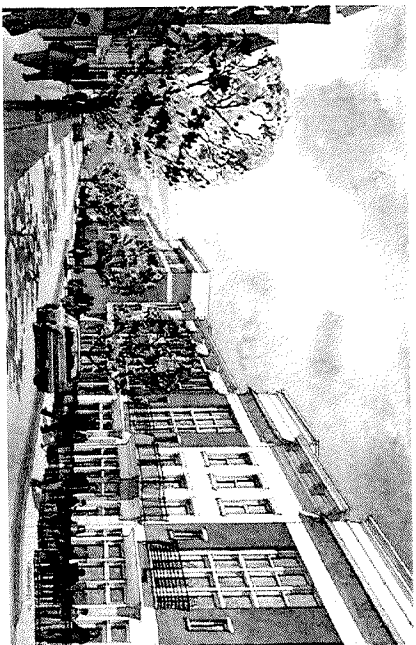


Image 4.5

Appropriate scale, detail, and layers shall be incorporated into the creation of pedestrian friendly streetscapes. Features such as trees, street lights, and benches shall be used to add interest and provide for human scaled public spaces.

Image 4.4

- Well defined corners at street intersections
- Proportionate and appropriate windows
- Three dimensional and appropriately scaled cornice
- Ground floor storefronts architecturally distinguished

Image 4.5

- Pedestrian friendly and harmonious street architectural details
- Street trees
- Interesting and varying cornice heights and details
- Outdoor patios and unobtrusive balconies to enjoy the outdoors

Image 4.6

- Visual diagram illustrating progression to improve streetscape design using scale, details, and layers.
- Wide and well detailed sidewalks with ample seating

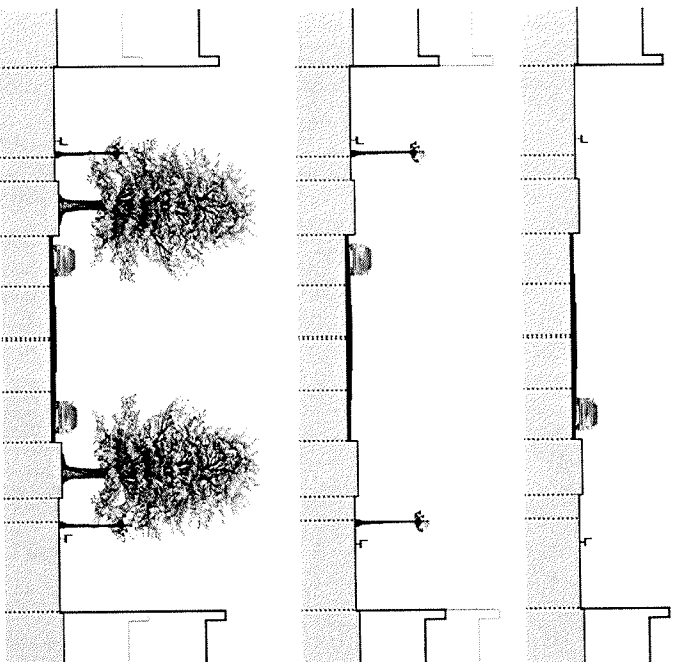


Image 4.6

4.5 Future Bicycle and Pedestrian Network Photographic Examples

Image 4.7

- Usable urban open space and ample seating at places of natural or centralized pedestrian congregation

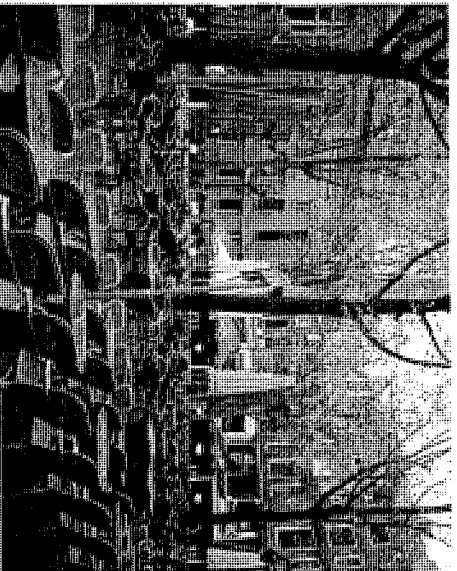


Image 4.7

Image 4.8

- Dedicated bicycle lanes throughout town



Image 4.8

Image 4.9

- Wide sidewalks reinforced by buildings and architectural detail

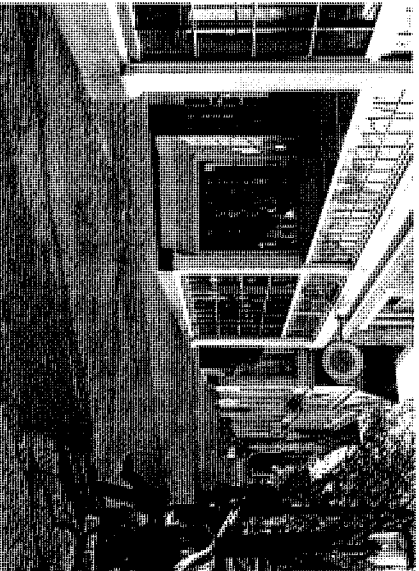


Image 4.9

Image 4.10

- Street trees
- Centralized usable urban open space

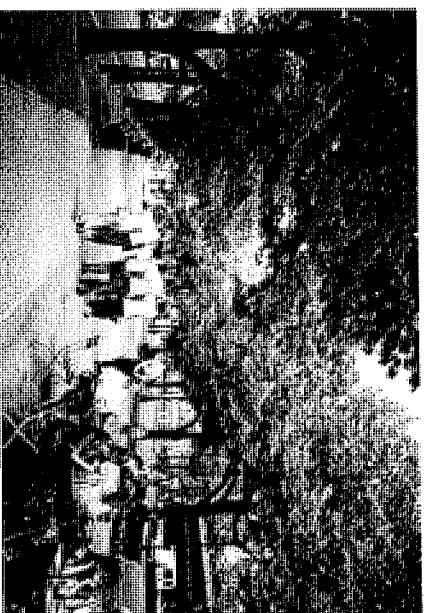
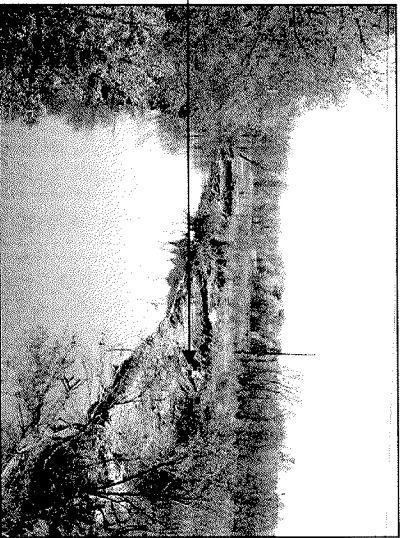


Image 4.10

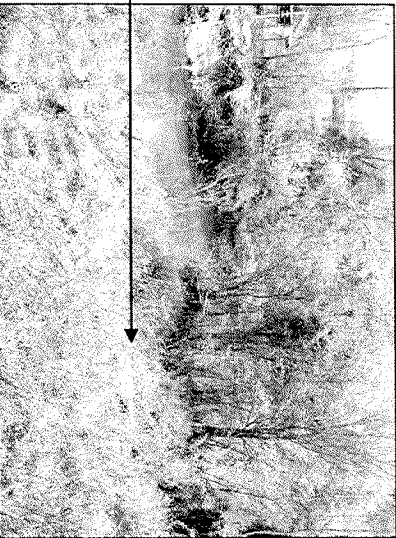
4.6 Current Greenways

[Sugar Creek]

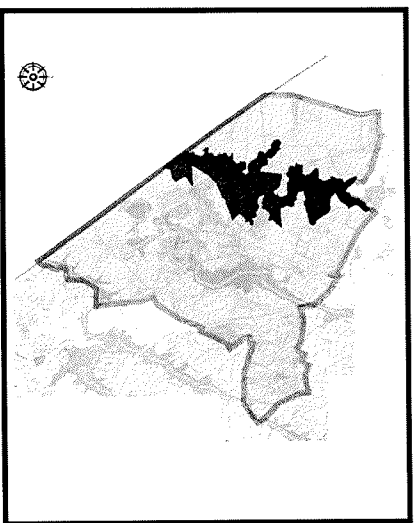
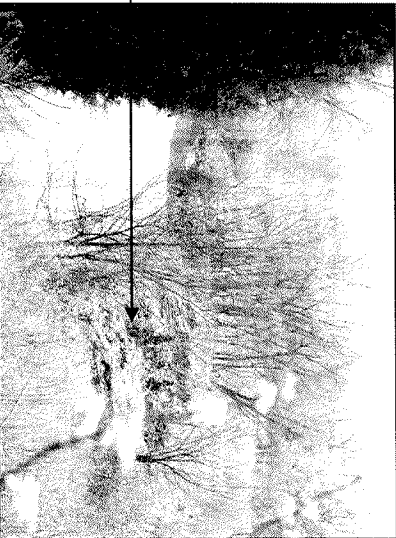
Creek bank erosion



Potential grassy recreational areas



Overgrowth and debris



Sugar Creek and nearby parks (above) is the largest and Western most greenway located within the Pineville town limits.

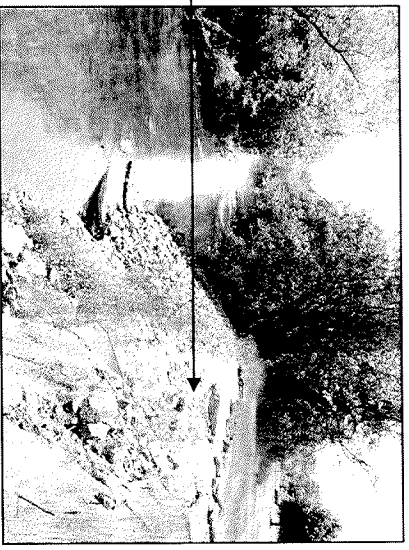
It is currently unimproved and under utilized by Pineville residents due to its extensive FEMA flood plain and distance from any current development or attraction.

The proposed new subdivision of McCullough brings the first substantial new development and attraction to the Sugar Creek vicinity within Pineville. From this catalyst improvements are recommended from Main Street/51 Southwards to the NC/SC state line and a connection across the railroad at the old Pineville mill to connect with Jack Hughes Park and the historic mill village.

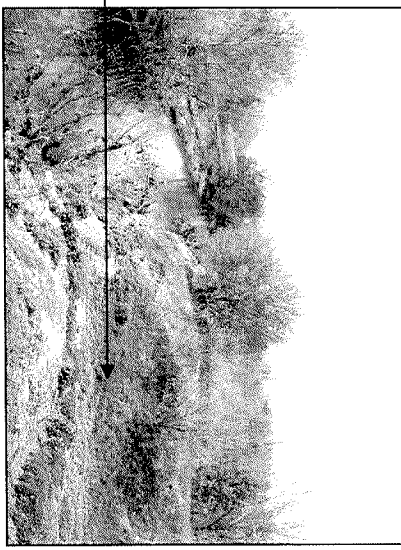
A connection between Jack Hughes Park, the mill village, and the McCullough development should be the starting point for this greenway.

Little Sugar Creek

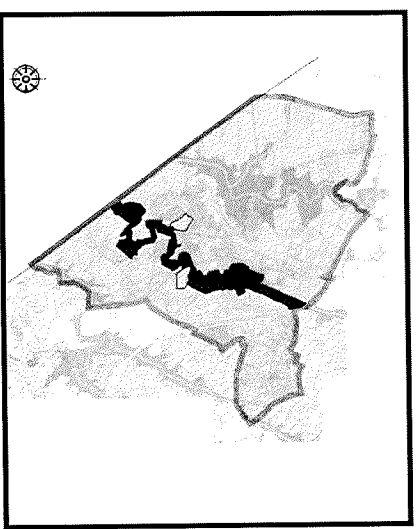
Creek bank erosion



Potential grassy recreational areas



Overgrowth and debris



Little Sugar Creek and nearby parks (above) is the second largest and middle greenway located within the Pineville town limits. The James K. Polk Historic Site to the East and the Belle Johnston Community Center to the West lie immediately adjacent to its banks.

It is currently unimproved and under utilized by Pineville residents. The Little Sugar Creek Greenway holds the greatest potential for Pineville due to its smaller flood plain, central location through Pineville, and close proximity to key attractions such as downtown Pineville, Carolina Place Mall, James K. Polk Historic Site, and Belle Johnston Community Center.

The two most probable catalysts for improvements and public utilization of this greenway are: redevelopment fronting this greenway along North Polk Street and/or a town initiated access point and improvements within the immediate downtown vicinity.

New mixed and multiple use buildings (particularly multi-family residential) are recommended to best improve and utilize this greenway corridor.

4.7 Future Greenway Amenities and Features

See Chapter 12 Public Open Space and Greenways.

5.0 INTENT

The purpose of the following guidelines is to enact regulations that implement the information from both the preceding, and following chapters into a specific set of design regulations and general land use for the Downtown Overlay District.

These regulations are to be in the form of an overlay to supplement existing zoning regulations. The overall intent is to guide the design of all projects within this overlay district into the most attractive, long lasting, sustainable, and pedestrian friendly environment possible. Design features within this overlay district include placing buildings closer to each other as well as closer to the street to foster a more comfortable pedestrian streetscape where activity and amenities are expected to occur. As sidewalks remain the principal place of pedestrian movement and casual social interaction, designs and uses should therefore be complementary, and reinforce that function.

These regulations are also intended to meet the long term goals as stated in Chapter 2 managing such things as improving quality of life, managing development pressure, and providing various forms of amenities for all residents of Pineville to enjoy. Buildings are expected to be added to the downtown area that reinforce, improve, and define a lasting architectural character of Pineville. It is the ultimate intent to encourage both well planned and high quality sustainable development. Uses in this district are foreseen to be primarily commercial, commercial/residential mixed-use, higher density residential, offices, neighborhood services, and civic/governmental buildings.

6.0 USER'S GUIDE

Users of this document will hopefully notice that the Urban Code, Land Use Plan and other ideas and documents have been consolidated into this document for ease of use. This document is intended as the starting point for any development interest within the Downtown Overlay District. It is also to be used in connection with any and all other applicable documents such as the Pineville Zoning Ordinance. It should be noted that these documents are by no means a replacement for actual consultation, recommendations, and review from all appropriate officials. Single family or duplex developments are deferred to the Residential Small Area Plan for compliance rather than this document.

7.0 APPLICABILITY MATRIX

The standards described or referenced in this document apply to both new and existing development as listed or exempted in the adjacent table for all parcels in the Downtown Overlay District. All such projects shall require full compliance with all applicable regulation including reviews/approvals/permits from the Pineville Planning Department prior to the start of any project or any land disturbance. Single family or duplex developments are deferred to the Residential Small Area Plan for compliance rather than this document.

	Sidewalk and Streetscape Features	Greenway Dedication	Architectural Minimum Standards	Signage	Full Compliance
Parking Area Expansion					
Any New or Expanded Parking Area (must meet II.10+)	✓	✓		✓	
Existing Development					
Renovation Due to Disaster (Fire, Flood, etc) See Zoning Ordinance 2.8.4				✓*	
Change in Use-Minor				✓*	
Change in Use-Major (must meet II.10+)	✓	✓		✓	
Reoccupation after Extended Vacancy (Greater than 180 days) (must meet II.10+)	✓			✓*	
Alteration on Existing Development <25% of Total Area** and Exterior Remodeling [†] (must meet II.10+)	✓	✓	(consistent with existing materials)	✓*	
Alteration on Existing Development: >25% of Total Area** Excluding Exterior Remodeling [†] (must meet II.11+)	✓ (Must meet build-to line and require setbacks)	✓	✓ (For entire building)	✓	✓
New Construction					
New Construction (Including Out Parcels), Tear-Down Redevelopments, etc. (must meet II.11+)	✓	✓	✓	✓	✓

✓ - Compliance with regulations required.
 No Check = Compliance not required.

Notes:

- *Existing Multi-tenant signage is exempt.
- **Total square footage of individual store(s), walls etc. altered; demolition included. Alterations are counted as cumulative over time. No new development may be placed that obstructs any future road network connectivity.
- †Expanded existing one storey buildings need not be two stories except where expanded over 100% gross square feet. Demolition shall void this exemption.

8.0 ADMINISTRATION

8.1 APPROVAL AND COMPLIANCE

The Planning Director or their designee shall make all determinations of approval and/or compliance of the standards or interpretations of this document unless otherwise specified. This document and all other applicable regulations or documents must be met before any permits are granted or land disturbance begun. The approval process set forth in the Zoning Ordinance or other adopted legislation shall be followed relating to other rules, processes, and procedures not found in this document.

8.2 MODIFICATION OF STANDARDS

The Planning Director or their designee may make modifications to these standards found in this document upon the written request of the applicant if the standard(s) in question conflict with mandated standards, or other legitimate non-monetary concerns such as preserving existing vegetation, so long as the proposal is in compliance with intent and spirit of this document. Where FEMA or other governmental regulation come into conflict these regulations they shall be modified to be within full compliance of all applicable laws while still maintaining the spirit of these regulations. Under no circumstance will financial expense be considered a legitimate concern for the modification of these standards in any instance whatsoever. If the applicant and Planning Director or their designee cannot come to an agreement the proposal shall then be decided by the Town Council following typical procedure unless otherwise specified.

8.3 CONFLICTING REQUIREMENTS

Where these requirements conflict with each other or with any requirement of the Zoning Ordinance, subdivision regulation, or similar not specifically noted and addressed herein, the more strict standards shall apply as determined by the planning director or their designee. Any part or portion herein that is found to be unconstitutional or similar shall be held separate and severable from the remainder of this document.

8.4 CONNECTIVITY AND OTHER COMPLIANCES

Where new streets are shown on any town adopted plan and full compliance is mandated by the applicability matrix in this document, the reservation and construction of any portion of these streets and pedestrian features thereof as proposed in any applicable streetscape section shall be public and constructed across the entirety of the parcel(s) in question and stopped in such a way at property boundaries as to be allowed to connect and continue into adjacent properties. Permanent cul-de-sacs are prohibited. Street stubs and temporary cul-de-sacs which can be extended in the future are allowed and required into adjacent parcels where most feasible for future connectivity. Projects with more than 100 housing units or 100,000 gross square feet shall be required to conduct a Traffic Impact Study and shall be responsible for any improvements called for in the study.

8.5 CARRY-OVER STANDARDS

Where any standard, definition, requirement, or similar exists in one overlay district is missing or is less specific in another, the applicable and relevant standard(s) shall be carried over and have the same applicability.

9.0 ZONING OVERLAY DISTRICT

9.1 DOWNTOWN OVERLAY DISTRICT

Downtown Pineville has been expanded in the creation of this small area plan overlay district to be separate yet integrated with existing zoning and redefined as follows:

Downtown Overlay District

(DOD)

The Downtown Overlay District permits the sensitive continuation of the Main Street environment to Polk Street and the surrounding area. It has been expanded to the natural and intuitive limits of future growth. These boundaries provide easy to identify boundaries that help to create a distinct downtown identity and provide a centralized area for mixed-use development and pedestrian features to sustain a truly walkable and active community.

This district is intended to become the distinct focal point of Pineville. The ground floor of buildings along Main Street and Polk Street should be comprised of active uses including retail or restaurants with office and/or residential uses located on upper stories.

Civic, residential and particularly commercial/residential mixed-use development is encouraged in the Downtown Overlay District to blend with existing commercial uses and bring more residents into the downtown area. This provides a greater opportunity for residents to live closer to work, participate in downtown activities, and fosters an active pedestrian streetscape within downtown Pineville.

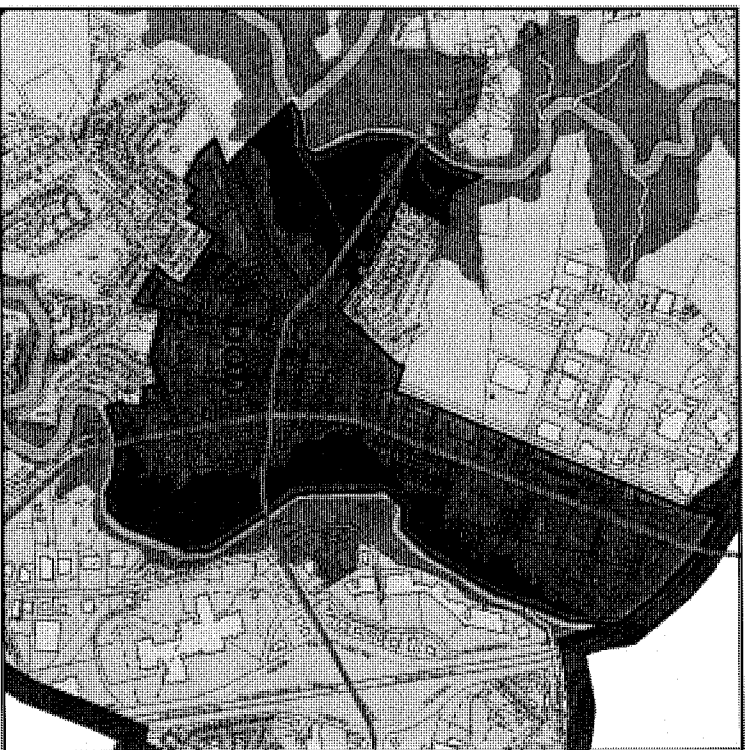


Image 9.1

9.2 SUMMARY TABLE OF PROVISIONS¹

Lot Setbacks	
Front Setback ²	Build-to-line from street sections
Side Setback	0 ft
Side Setback on corner lots facing a street ²	Build-to-line from street sections
Rear Setback	0 ft
Minimum Linear Building Frontage ³	75%
Height	
Minimum ⁴	2 stories and 25 feet
Maximum ⁵	4 Stories 4+ with approval from Town Council
Single Occupant	
Maximum Single Occupant Size ⁶	50,000 sqft (50,001 + with approval from Town Council)
Parking Requirements (see also Section 11.5)	
On-Street Parking	Parallel only
Residential (Multifamily/Mixed use)	See Zoning Ordinance
All other uses ⁷	None
Detention	
On-site storm water runoff	Closed. Phase II compliant or similarly approved regulation.
Roadway Specifications	
Travel Lane Width (minimum)	See Meck. Co. Building Standards
Curb Return Radii (maximum)	20 ft
Curb and Gutter	Curbing mandatory or drainage as required.
Street Planting Strip Specifications	
Street Planting Type ^{8,9}	Wells or a Continuous Strip
Planting Strip/Well Width (minimum) ⁹	8 ft, 10ft preferred
Street Tree Spacing ¹⁰	35 ft (on center)
Tree Caliper (unless specified)	3 inches
Streetscape Bench Spacing	70 ft (on center)
Pedestrian Streetlights (average)	105 ft (on center) minimum 10' maximum 16' height
Sidewalk Requirements	
Sidewalk Width (minimums) ¹¹	See Applicable Streetscape Section
Architectural Requirements See Section 10	
Site Design See Section 11	

1 Town facilities exempt. Single family and duplex developments are referred to the Residential Small Area Plan.
 2 Build-to-line from street sections is the line that the overall majority and mass of a building's facade must touch following immediately behind all required streetscape and pedestrian improvements.
 Encroachments: Balconies, stoops, stairs, chimneys, open porches, bay windows, balconies, roof overhangs and raised doorways are permitted to encroach into setbacks or build-to lines (except where required for screening/buffering) with permission from the Town.
 3 Applies to all street front and primary facades along the build-to line from applicable streetscape sections. Measurement is calculated directly along property lines or build-to line from the applicable streetscape section.
 4 Minimum of two distinct, separate and inhabitable floors above street level for any portion of building facing a street. Interior lot buildings not facing a street need not be two stories. (It no point any any part of any facade to be below 25'. Measurement shall be from grade to the lowest portion of roof (pitched) or parapet (flat). Exception: Grocery stores need not be two stories.
 5 Four stories measured from front grade to top floor structural roof.
 6 Civic (municipal/non-profit/governmental) facilities are exempt.
 7 Subject to additional Zoning Ordinance parking requirements.
 8 Street trees are required to be of oak or disease resistant Prunaceae. Elm where utilities are not overhead, where overhead utilities must remain similar single trunk small matured approved tree shall be substituted.
 9 See applicable streetscape section. Planting strips and wells must be mulched, attractively regulated, or similarly detailed to allow for tree growth and water infiltration.
 10 Where overhead utilities or similar restrictions require the use of a shorter or more compact tree, an approved small maturing tree shall be substituted in place of a large maturing tree.
 11 Sidewalks located in the interior of a property not adjacent to a street and intended for simple pedestrian connectivity are permitted to be a minimum width of 5 feet. All sidewalks must be of brick pavers or concrete only.

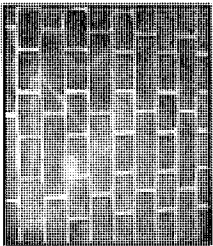
10.0 ARCHITECTURAL REQUIREMENTS

10.1 Primary Façade Materials

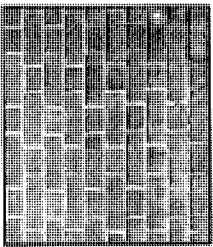
10.1.1

Façade Materials:

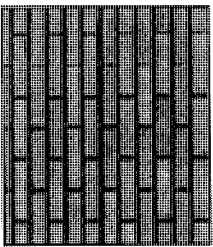
The primary material used for external siding shall be entirely of brick. Mortar joints between brick may be no greater than 1/2 inch. Mortar color must be brick color or gray, white is prohibited. The majority brick pattern shall be English bond (a), Flemish bond (b), or Running bond (c).



a



b

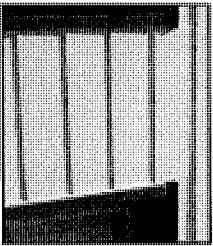


c

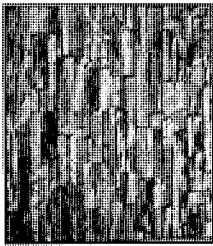
10.1.2

Trim:

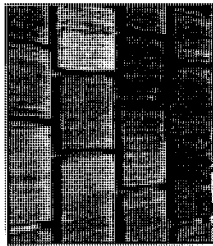
In addition to the permitted primary façade materials listed above, additional materials may be used to detail or embellish a façade if they do not exceed 25-35% of a façade and/or overpower the primary façade material (as determined by the planning director or their designee). The additional materials permitted for trim shall be fiber-cement or wood clapboards(d), horizontally oriented cultured or natural stone (e), fiber-cement or wood shakes(f), approved vinyl soffits/vents (g), terra cotta or architectural fiberglass composite such as GFRG (glass fiber reinforced concrete), GRG (glass reinforced gypsum/plaster) or similar (h), non-reflective or patina metals such as copper or zinc (i), decorative concrete (j), and painted wood (k). Stonework that does not have an overall horizontal pattern (l) vinyl siding (m) and EIFS are prohibited.



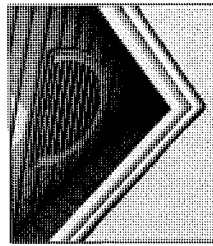
d



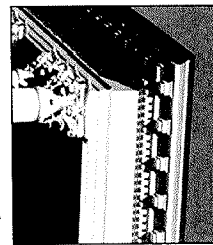
e



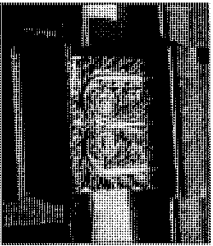
f



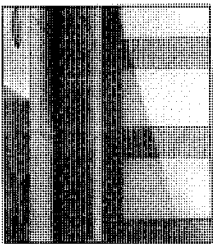
g



h



i



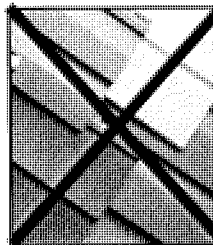
j



k



l



m

10.2 Primary Facade(s) General Requirements

- 10.2.1 **General Form:**
The typical architectural facade pattern to be followed in the Downtown District is shown in Image 10.1.
- 10.2.3 **Colors:**
No garish or otherwise inappropriate colors.
- 10.2.4 **Corporate Architecture:**
No corporate architecture.
- 10.2.5 **Facade Length:**
Buildings with a street facades longer than 120 feet must be made to appear as a collection of smaller buildings (Image 10.2) instead of a single mass (Image 10.3) and vary roof/parapet details and heights.
- 10.2.6 **Minimum Window Area:**
Each floor above the street level must have transparent windows that total a minimum of 1/3 or 33% of the facade for primary facades unless otherwise specified in this document. Windows are to be generally vertical in orientation (twice as tall as wide) as shown in Image 10.1. Windows must be of transparent glass with a minimum visible viewing depth of 4 feet. Mirror, tinted, translucent, and opaque glass are prohibited.
- 10.2.7 **Street Level Windows:**
All windows at street level must allow the pedestrian to view into them as in Image 10.1 and 10.8 (except for ground floor residential units) to a minimum depth of 4 feet.
- 10.2.8 **Recessed Window Detail:**
All window glass must be recessed into the facade a minimum of 2 inches.
- 10.2.9 **Blank Wall Area on Primary Facades:**
Blank, unappealing, windowless or architecturally undefined sections of walls wider than 10 feet are prohibited. (Image 10.3)
- 10.2.10 **General Materials and Detail:**
All building elements must be proportionate, sturdy, and well detailed.
- 10.2.11 **Elevations Etc. Required:**
All elevations, sections, floor plans needed to determine compliance shall be submitted.
- 10.2.12 **Wood:**
All external wood must be painted or stained.
- 10.2.13 **Shutters:**
Any shutters must be proportional to the window and cover neither more nor less than the glass area of the adjacent window.

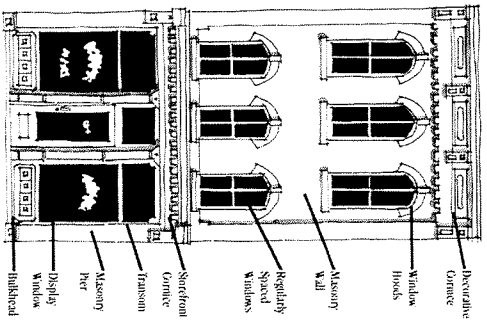


Image 10.1

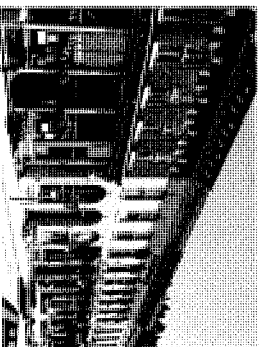


Image 10.2

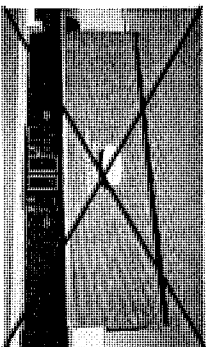


Image 10.3

10.2.14

Front Door(s):

A functional front door facing onto the most active or visible street or streets is required. This front door shall be directly accessible by the pedestrian, sidewalk, and architecturally distinguishable from the rest of the building. Such entrances shall be designed to convey their prominence on the fronting facade. (Image 10.4).

10.2.15

Canopy and Awnings:

When used, canopies and awnings shall be placed at the top of windows or doorway openings and shall relate to the shape of the top of the window or opening. Pitched awnings shall be made of canvas, treated canvas, glass, metal or similar material (Image 10.5 pitched awnings). Horizontal cantilever awnings must be metal or glass (Image 10.5 entry canopy). Vinyl (or plastic) awnings are prohibited. No awning shall extend more than the width of the sidewalk or ten feet, whichever is less. Awnings must be self-supporting from the wall. No supports shall rest on or interfere with the use of pedestrian walkways or streets. In no case shall any awning extend beyond the street curb or interfere with street trees or public utilities. Canopies and awnings along the first floor along sidewalks are encouraged but discouraged on upper floors.

10.2.16

Roofing Material:

Roofing material visible to pedestrians must be either metal, dimensional asphalt shingles, or concrete/slate shingles. Other similar material may be approved by staff. Wood roofing material prohibited.

10.2.17

Mechanical and Service Equipment:

Any variety of pipes, mechanical and service equipment, drive-through windows, air conditioner vents, garage doors, loading docks or similar are entirely prohibited from primary facades. Gutters excluded. See 10.7 for the location of these features.

10.2.18

External Access:

External access to upper stories is prohibited on primary facades. (Image 10.6).

10.2.19

Chimneys:

Any and all externally visible portions of chimneys must be faced with brick or stone only. Chimney tops must be specially detailed by such items as corbelling, terra cotta chimney pots, etc. Undetailed chimney tops are prohibited. Chimney siding and chimney top flashing caps are strictly prohibited. See also Residential Overlay District for pictures.

10.2.20

Balconies, Balustrades, and Railings:

All balconies balustrades, and railings must be attractively detailed and compliment the style of building. See also Residential Overlay District for pictures.

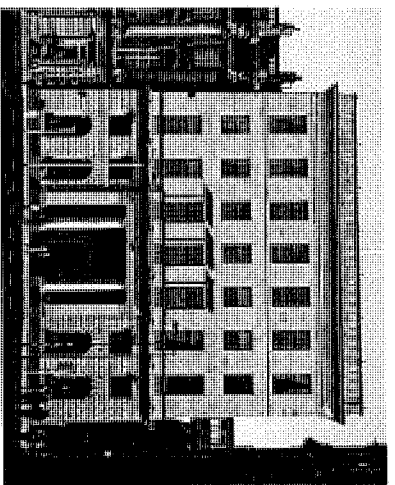


Image 10.4

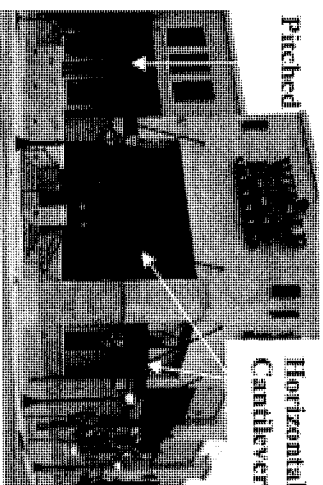


Image 10.5



Image 10.6

10.2.21

Columns and Pilasters:

The spacing, ornament, shape, visual appearance of materials, and style of all columns and pilasters must be attractive and consistent with the established style of the building. See also Residential Overlay District for pictures.

10.2.22

Edge Detailing:

The edges running vertically along the furthest opposite ends of a primary facade (corners) in addition to the corners of any protrusion (such as bay windows) must be specially and more intensively detailed. Examples of this corner and edge detailing may include but are not limited to such architectural features as pilasters (Image 10.7) and quoins (Image 10.8). These features must be detailed. Brick pattern changes/color/embossing along the corners may be sufficient to satisfy this requirement.

10.2.23

Compliance and Modifications:

The Planning Director or their designee shall determine either compliance or non-compliance with any and all regulation in within this document in addition to the ability to modifying the standards herein depending on specific and unique site issues so long as the intent of this document is maintained unless otherwise specified.

10.2.24

Violations:

Violation or alteration of any condition or requirement of this document other than what has been approved without written consent from the Planning Director or their designee shall warrant a stop work order, cancellation of permits, and/or fines up to \$100 per day per violation in addition to any other corrective measure permitted by law.

10.2.25

Accessory Structures:

All accessory structures must be located in the rear, side, or interior (courtyard) area and be a minimum of 5 feet inside the property boundary. All accessory structures must be built entirely of the same materials of the primary facade if visible to the public from any road, driveway, right-of-way, or similar.

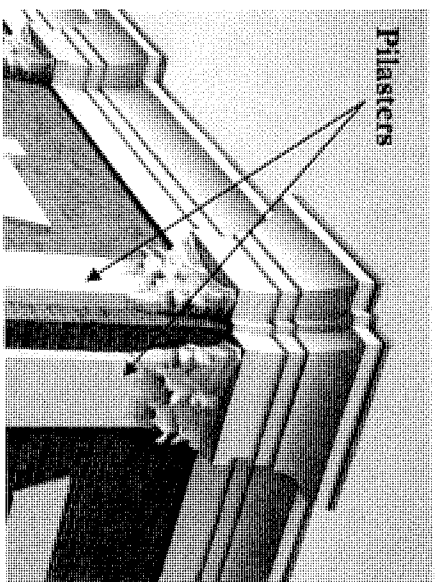


Image 10.7

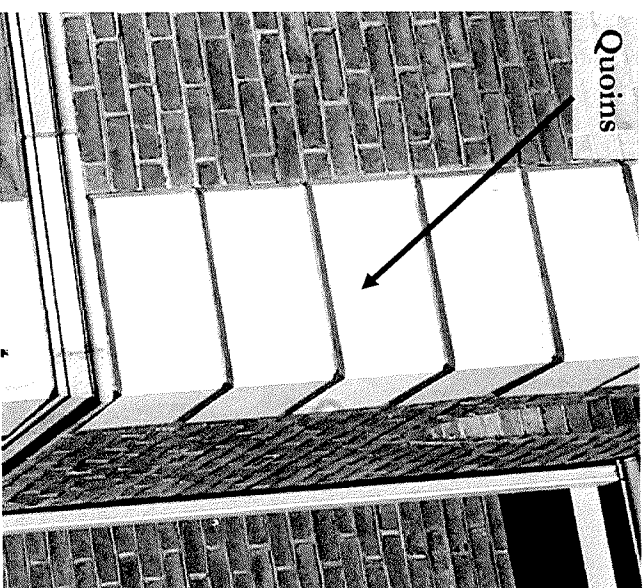


Image 10.8

10.3 Primary Facade Articulation

Each primary facade has been divided for ease of use and regulatory reasons into Base, Middle, and Top categories as listed and defined below.

10.4 Base Detailing

The general mass of a building from the first story above grade up to the floor level of the second story above grade shall be defined as the base.

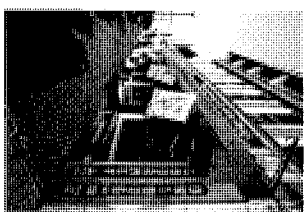
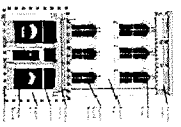


Image 10.9

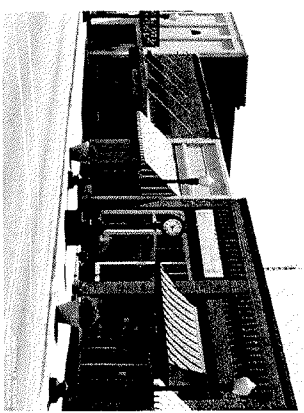


Image 10.10

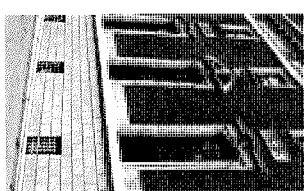


Image 10.11

10.4.1

Foundation Detail:

The foundation along each primary facade must be specially detailed to a minimum height of 2 feet in a way that is different from the general mass of the building whether by material, detailing, pattern, organization or similar. (Images 10.9-12) The storefront condition as shown in Image 10.12 may satisfy this condition.

10.4.2

Minimum Windows and Glass:

The first floor of a primary facade along street level must have a minimum 40% transparent glass and a minimum inside viewing depth of 4 feet to be detailed following the general pattern in Images 10.1 and 10.12. These windows are to be or approximate display type floor to ceiling windows and be generally vertical in orientation. Ground floor residential uses are excluded.

10.4.3

Residential Uses:

If the first floor above ground is to be for residential units other than single family in this district, it must be elevated a minimum of 3.5 feet above grade to provide a sense of privacy and follow the typical brownstone model (Image 10.13). Stairways must be fully enclosed underneath with opaque material.



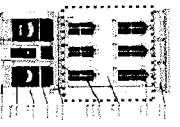
Image 10.12



Image 10.13

10.5 Middle Detailing

The general mass of a building from the floor level of the second story above grade to the ceiling of the uppermost story shall be defined as the middle.



10.5.1

General Composition:

Arrangement of the middle portion of a building shall be ordered into a symmetrical arrangement or groupings of symmetrical arrangements. This shall be achieved through the use of elements such as windows, balconies, belt courses, and pilasters.

10.5.2

Window Glass:

Each floor must have viewing windows of transparent glass and vertical in orientation and well detailed see also 10.2.6 and Image 10.18.

10.5.3

Window Top Detail:

Windows must have lenth detailing immediately above them. This detailing shall be a pediment, arch, jack arch, or similar special detailing approved by staff (Image 10.14-20).

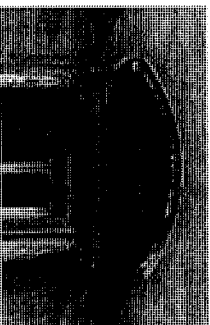


Image 10.14 Pediment

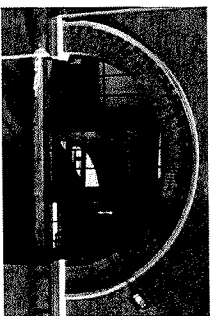


Image 10.15 Arch

10.5.4

Window Base Detail:

Windows must have a window sill that protrudes a minimum of 1 inch from the facade. This sill must be a minimum of 4 inches thick. (Image 10.20).

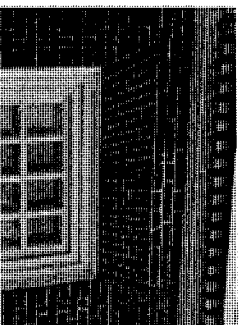


Image 10.16 Jack Arch

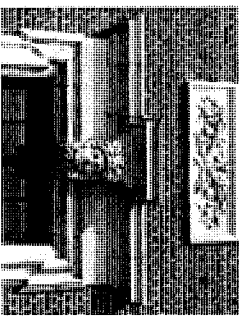


Image 10.17 Sculptural Window Hood

10.5.5

Balconies:

Balconies are encouraged where feasible and architecturally integrated into the facade. (Image 10.19)

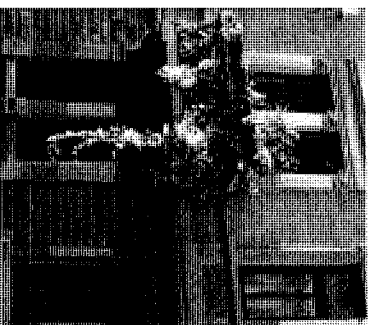


Image 10.19

10.5.7

General Window Shape:

Triangular and non-orthogonal windows are prohibited (curved topped windows such as image 10.18 excluded).

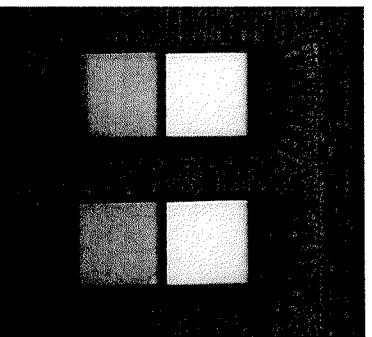


Image 10.18

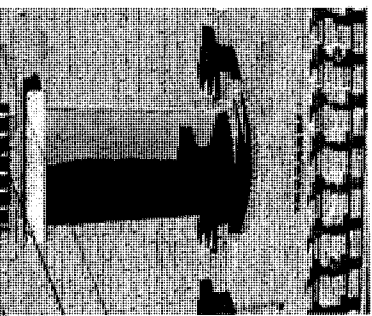
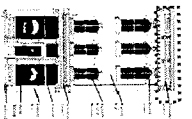


Image 10.20

10.6 Top Detailing

The general cornice area or mass of a building from the ceiling of the uppermost story to the uppermost portion of roof or parapet shall be defined as the top.



Cornice and Parapets Roofs

10.6.1

Cornice Required:
Cornice detailing is required from the top of the upper most edge of a buildings parapet and/or caves extending parallel down the facade and well detailed.

10.6.2

Cornice Detailing:
Every cornice must be detailed to have traditional repetitive layers of horizontal and vertical elements such as corbelling, brackets, and/or similar features (Image 10.21-24).

10.6.3

Cornice Integration:
Cornice detailing must be complimentary and proportionate to the remainder of the facade (Image 10.22)

10.6.4

Parapet Requirement:
If a building's structural roof pitch is less than 7:12 then the facade must be terminated visually by a parapet wall instead. A cornice must be located immediately below and follow the Parapet line. This cornice shall be a minimum of 4 feet in height and corbel to project a minimum of 18 inches. A cornice under a pitched roof is also required and must meet 10.6.2.

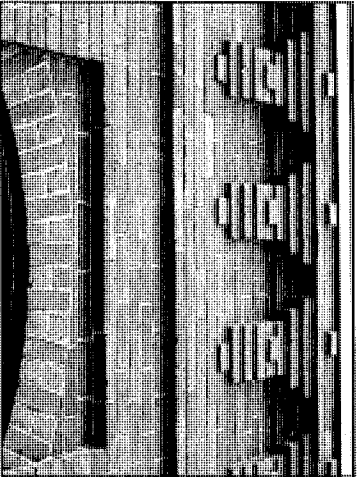


Image 10.21

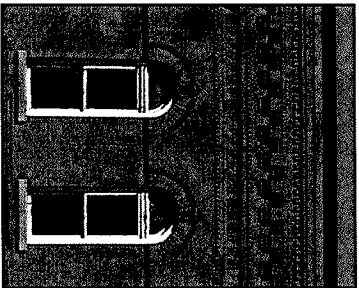


Image 10.22

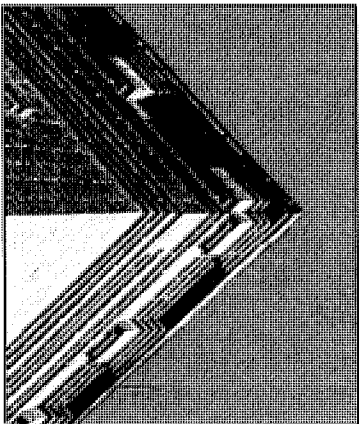


Image 10.23

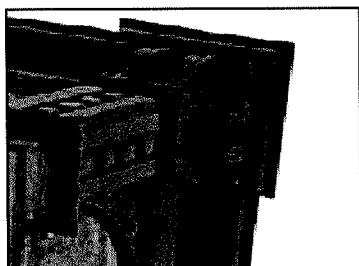


Image 10.24

Pitched Roofs

10.6.5

Dutch Parapet Gable

Any end facing gable -stepped, neck gabled, or curvilinear (Image 10.25, 10.30 and 10.27 respectively) that is facing a primary facade and extends entirely above the roof system in the typical Dutch parapet style (Image 10.26) must be sufficiently detailed with cornice or cornice type ornamentation. Detailing is to be along the uppermost and outermost edges along the roof. Detailing examples may be, but not limited to: Stepped cornice, edge embellishment, statuary, and scroll work as in images 10.25-30.

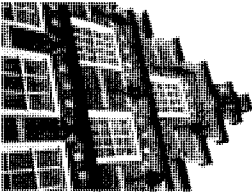


Image 10.25

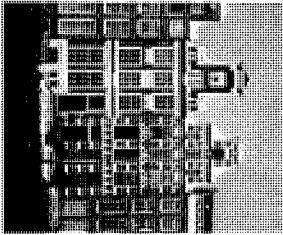


Image 10.26

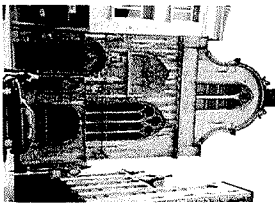


Image 10.27

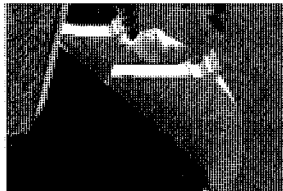


Image 10.28

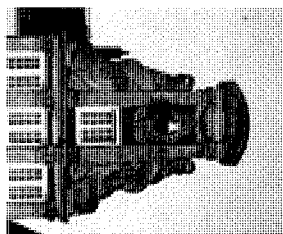


Image 10.29

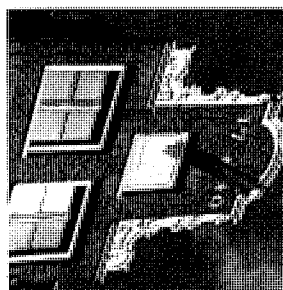


Image 10.30

10.6.6

Other Pitched Roofs

If a roof is neither Parapet nor Parapet gable it shall follow traditional roofing types such as gabled or hipped.

10.6.6-1

Corporate identifiable roofs and architecture (Image 10.31) are prohibited

10.6.6-2

Cornice detailing is required. It is to follow the pitch of the roof and/or along eaves for the entirety of the externally visible perimeter (Image 10.32-35).

10.6.6-3

Height and/or depth of eaves and cornice detailing for pitched roofs is subject to the approval of the Planning Director or their designee.

10.6.6-4

Height and/or depth of eaves and cornice detailing for pitched roofs is subject to the approval of the Planning Director or their designee.

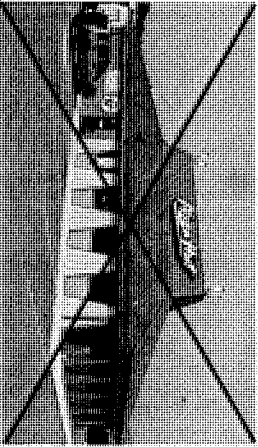


Image 10.31

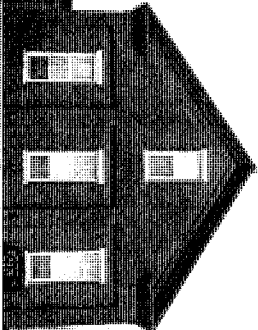


Image 10.32

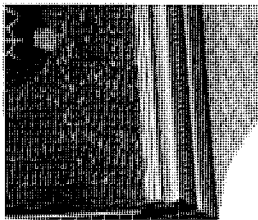


Image 10.33



Image 10.34



Image 10.35

10.7 Non-Primary Façade Articulation

Those façades not classified or deemed as being a primary façade shall be regulated under this section and labeled as non-primary façades.

Non-primary façades are intended as the façades least visible to the public and intended as typically the rear façade for location of loading docks and services. See also Section 11.8.

10.7.1 Non-primary façades are exempt from the regulations above pertaining to primary façades.

10.7.2 The external building material of non-primary façades are required to be of any of the approved primary or trim materials permitted of the primary façade with the addition of stucco or similar durable and compatible material. EIFS is prohibited.

10.7.3 All garages, garage doors, electric meters, water meters, and all other similar exposed services or utilities are permitted on non-primary façades.

10.7.4 If all façades are deemed primary then the least visible façade (determined by staff) shall be the location of services in this Section and Section 11.8.

10.7.5 In no instance shall exposed services or utilities be located on the most pedestrian and/or publicly visible façade(s).

10.7.6 Landscaping is encouraged.

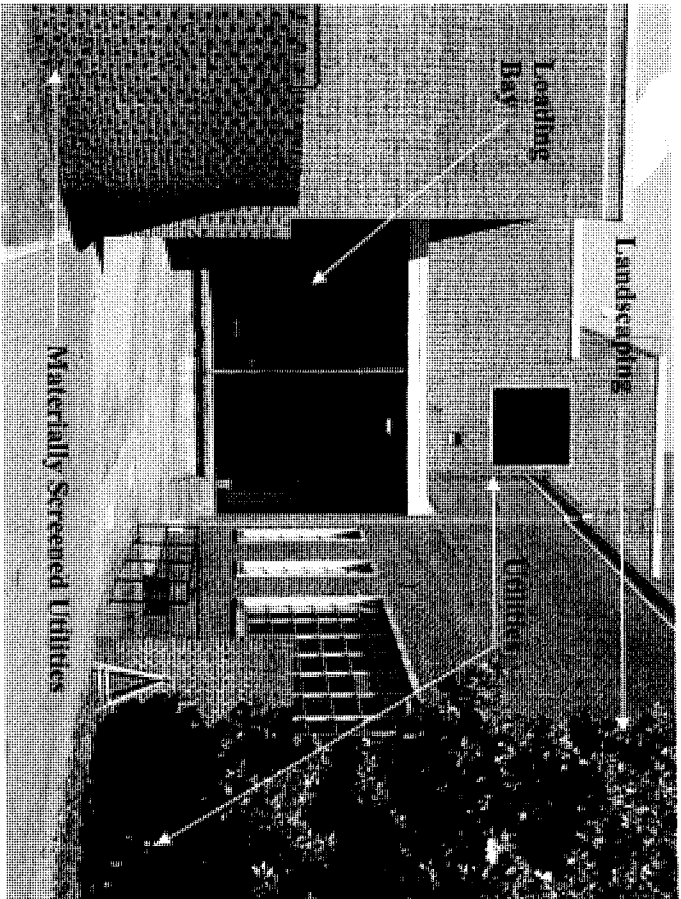


Image 10.36

11.0 SITE DESIGN

11.1 Streetscape Improvements (New Development)

11.1.1 Streetscape Improvements Required:

The streetscape shall be improved following the exact features and organization shown as specified in Image 11.1 as well as the 75% required building frontage along the build-to line shown and also stated in 9.2. Sidewalks and similar are to be paved in concrete or pavers, asphalt is prohibited.

11.1.2

Street Trees:

Large maturing trees required 35 feet on center. Medium/small street trees are only permitted where overhead utilities require their use. Street tree variety must be of Oak or disease resistant Elm such as 'Princeton' for large maturing trees. Medium/small street trees shall be an approved Zelkova variety unless otherwise permitted.

11.1.3

Lighting:

Overhead streetscape sidewalk lighting is required to be offset from trees and placed a maximum of 105 feet on center. See also section 11.7.

11.1.4

Seating:

Public seating required (a minimum of 6' in length) spaced a maximum of 70 feet on center. See also section 12.5.8+.

11.1.5

Block Size:

Maximum block size shall be 400 feet by 400 feet or 160,000 square feet for development where new streets are created.

11.1.6

Street Connectivity:

New or extended streets shall be made to interconnect to form a complete street grid network. Permanent cul-de-sacs that are unable to be extended in the future are prohibited. Projects abutting undeveloped land or adjacent parcels where future road connectivity can be achieved must install street stub accessibility points. See also Image 11.4.

11.1.7

Infill Compatibility:

Infill development is encouraged. Transitions to dissimilar building types (i.e. Detached House to Commercial Buildings) should generally occur at the rear lane/alley, rear property line, or in the next block.

11.2 Streetscape Outdoor Pedestrian Rooms

11.2.1

Outdoors Cafés and Similar:

Outdoor cafés, patios, and other concrete, stone, or brick paved areas built as pedestrian space (Image 11.2) and that meets the requirements of useable open space are permitted to encroach into the build-to line shown in the applicable streetscape section with approval from the Planning Director or their designee.

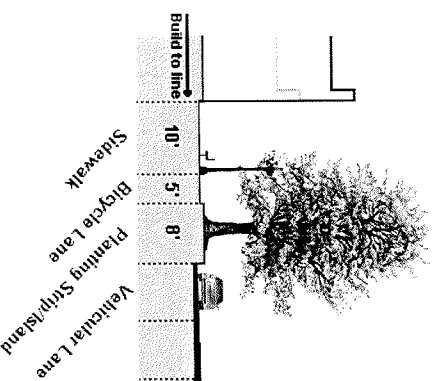


Image 11.1



Image 11.2

11.3 Site Design (Comprehensive)

11.3.1

Unified Composition:

Development shall be consolidated and interconnected by a grid network of streets to lessen/disperse traffic, encourage inter-neighborhood walkability and appear as a cohesive and traditional town streetscape (Image 11.4) instead of isolated, auto dependant, and scattered collection of parts (Image 11.3).

11.3.2

Building Frontage:

All primary buildings must be placed along the build to line as show in the streetscape section(s). Accessory structures shall be placed in the rear or side yards and designed not to visually compete with the primary building.

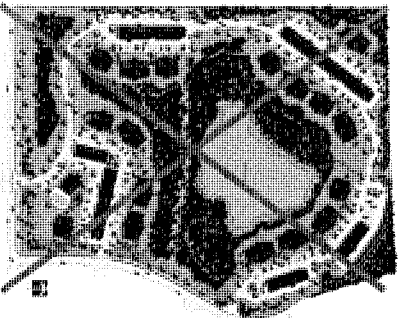


Image 11.3

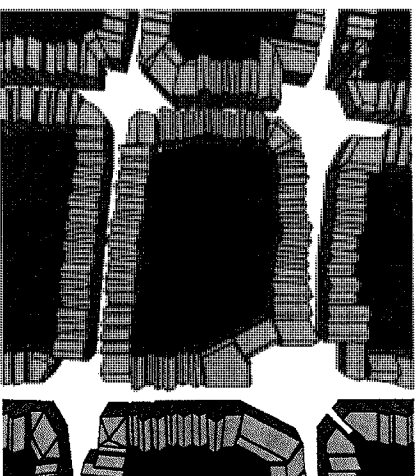


Image 11.4

11.3.3

Corner lots:

Buildings must originate at the corner of corner lots to help define intersections and create a stronger sense of place.

11.3.4

Street Vistas:

Development where possible, shall take advantage of their individual location to enhance and frame street, vistas, parks, views, etc.

11.3.5

Public Easement Established:

A dedicated and recorded public easement shall be established along all street fronts and similar of properties where the required streetscape improvements such as sidewalks extend beyond existing right of way area or are otherwise located on private property to ensure public and pedestrian access in perpetuity.

11.3 Site Design (Setback, Build-to line, and Property Boundary)

11.3.6

Build-To Line and Setbacks:

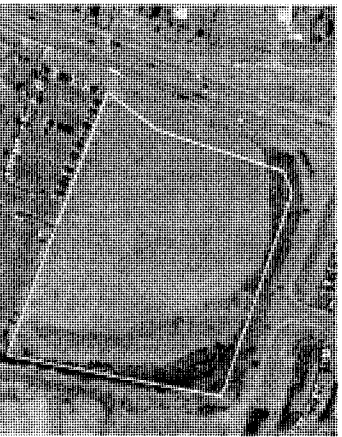
Front setbacks shall take the form of a build-to line that follows the streetscape diagram in Image 11.1 along all public or private roads. The actual build-to line shall follow Image 11.1; as shown, after all improvements (such as bicycle lanes and sidewalks) have been included. The exception shall be accessory structures as noted and regulated in the Zoning Ordinance. If the build-to line happens to fall inside a street right-of-way or similar then the build-to line shall be either:

11.3.6-1

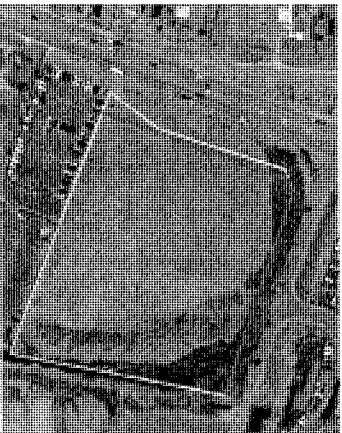
Option A: The closest interior line entirely parallel to this street, right-of-way, or similar and/or...

11.3.6-2

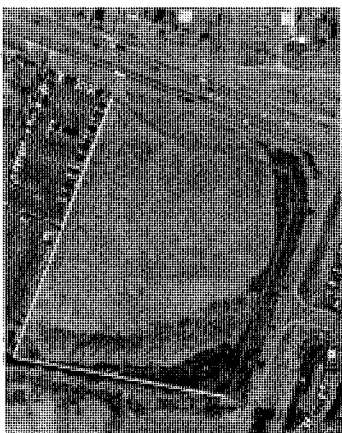
Option B: The property boundary itself (along streets).



Site Boundary: In Yellow



Option A: Build-To Line (In Red)



Option B: Build-To Line (In Red)

11.3.6-3

Option Selected:

The option or any combination of options selected above shall be determined by the developer or property owner.

11.3.6-4

Additional Right-of-Way Area:

Additional right-of-way area or similar such as in Option A and Option B above exceeding the applicable streetscape section shall use that additional space as part of the planting strip in Image 11.1 and otherwise adhere to that applicable streetscape section. Wider sidewalks are encouraged above the required minimums in this additional right-of-way area.

11.4 Walls, Retaining Walls, and Significant Grade Changes

11.4.1 Fences, Walls, Retaining Walls, and Significant Grade Changes

11.4.1-1 Grade Change:

A: Retaining Walls greater than 10 feet in height are prohibited, walls associated with basements or daylight basements are excluded. Retaining walls over 4 feet must be decorative (Image 11.5) incorporating such items as varying block sizes, finials, block patterns, recessed panels and/or screened with approved evergreen trees and shrubs. Blank concrete and standard stacked masonry block alone shall not be considered decorative. Shrubs for retaining wall screening are required to be a minimum of 1'x1' foot at planting; trees are required to be a minimum of 2" caliper. Spacing requirements shall be 1 tree (large or small maturing) and 4 evergreen shrubs for every 20 feet with a minimum planting strip width of 5 feet.

B: Final Elevation Slopes greater than 5:12 or 41.66% are prohibited for new grading. Elevation changes at or greater than 3:12 or 25% are prohibited for new grading,* unless planted with approved low maintenance and non-invasive evergreen groundcover such as creeping or spreading Junipers, Mondo grass, or Asiatic Jasmine. Spacing of this groundcover shall be such that at maturity the entire slope is covered (Image 11.6) or a minimum of every 4 feet in an offset grid pattern, whichever is less.
*Roads Excluded

11.4.1-2 General Fences and Walls:

The best or most attractive side of all fencing or similar must face outward toward adjacent properties. Chain link fencing is prohibited.



Image 11.5

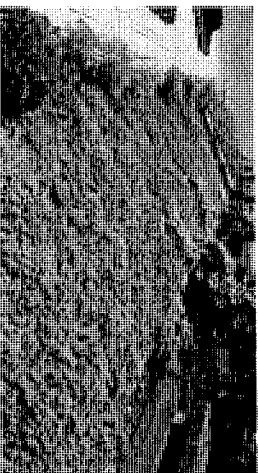


Image 11.6

11.5 Parking Integration

11.5.1

Connectivity:

Adjacent lots shall be interconnected where most feasible (Image 11.7). Connectivity shall not be refused if all provisions of development are still able to be met.

11.5.2

Shared Parking Standards:

Developments that operate at different times may jointly use or share the same parking lot(s) with a maximum reduction of one-half (1/2) of the required on site parking spaces credited to both uses if it can be proven or shown that peak parking demands are not primarily during the same hours of operation and within 1000 walking feet of each other. Proof of agreements is required in writing.

11.5.3

Location of Parking Areas:

Parking lots must not be in the front yard of any property except those properties entirely dedicated to parking. Side yard parking must be setback a minimum of 10 feet behind any primary facade (Image 11.7). Existing front yard parking shall be grandfathered, but all additional parking shall be placed in the side or rear yards. Parallel on street parking is permitted pending the approval from NCDOT, Mecklenburg County, Town of Pineville, and any other similar regulatory body.

11.5.4

Associated Features:

No garages doors, service bays, storage situation or similar is permitted in front or in view from street level of a primary facade. Painted bicycle markers required every 100 feet on paved bicycle lanes. Additional features such as bicycle racks see Zoning Ordinance.

11.5.5

Circulation Drives:

Circulation drives and drive-through windows are not permitted along any primary facade frontage or within view of any public street, right of way, or similar.

11.5.6

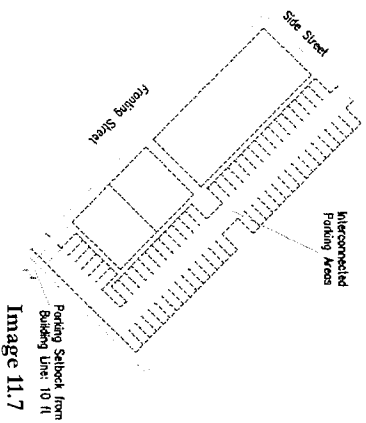
Parking Space Dimensions:

- a. Parking space dimensions (other than handicap parking) shall be a minimum of 18 feet by 9 feet.
- b. Parallel parking space dimensions shall be a minimum of 22 feet by 8 feet
- c. Aisle widths and angle space dimensions shall be in accordance with Mecklenburg County Building Standards.

11.5.7

Parking Area Landscaping:

- a. **Maximum Distance from a Parking Space to a Shade Tree (on center):** 60 feet
- b. **Planting Island Requirements:** Required trees shall be located within or adjacent to parking lots as tree islands, medians, at the end of parking bays, traffic delineators, or between rows or parking spaces. The minimum planting area for Parking Lot Shade Trees shall be 200 square feet with a minimum inside dimension of nine (9) feet and a minimum prepared depth of 18 inches.
- c. **Parking Area Screening:** All parking areas visible from the right-of-way should be screened from view. These parking areas shall be screened up to a height of 4 feet (minimum 2'x2' at planting) using approved evergreen shrubs planted a maximum of 4 feet on-center. Brick walls, wrought iron/non-reflective metal fencing, or any combination thereof may be used in addition to required evergreen screening. Planting area width shall not be less than 4 feet and must be located in front of any wall or similar planted facing the roadway right-of-way. Planning staff reserves the right to amend these requirements in any efforts to preserve existing vegetation.



11.5.8

Parking Structures:

- a. The ground-level of a parking structure should be wrapped by retail, office or some other active use along the primary facade(s) if feasible. All levels of a structured parking facility shall be designed and decoratively screened in such a way as to minimize visibility of all parked cars.
- b. Along pedestrian-oriented streets or primary facades, parking structure facades should be treated with high quality materials and given vertical articulation and emphasis compatible to surrounding development and subject to architectural requirements of Section 10 (except openings need not be of glass). In no instance shall rails or cabling alone be sufficient screening.
- c. Pedestrian entries should be clearly visible. The vertical circulation should not be located so that it is difficult or circuitous to locate.
- d. In addition to the above requirements, in the event that any openings for ventilation, service, or emergency access are located at the first floor level in the building facade, then they shall be an integral part of the overall building design. These openings as well as pedestrian and vehicular entrances shall be designed to minimize visibility of parked cars. The remainder of the street level frontage shall be either commercial space or an architecturally articulated facade designed to minimize the visibility of parked cars.

11.6 Supplemental Landscaping

The appropriate use of existing and supplemental landscaping fosters unity of design for new development and blends new development with the natural landscape. Quality landscaping is an essential and encouraged component of the built form of the Town.

11.6.1

Entries and Intersections:

The corners of street intersections, particularly gateways and site entries (entries from both street and sidewalk Image 11.8) are to be distinguished by special landscape treatments such as: flower displays, specimen trees and shrubs, accent rocks, low walls, signage, decorative lighting, sculpture, architectural elements, and/or special paving. Features for vehicular entry points must meet the Town's sight triangle (35'X35') requirements.

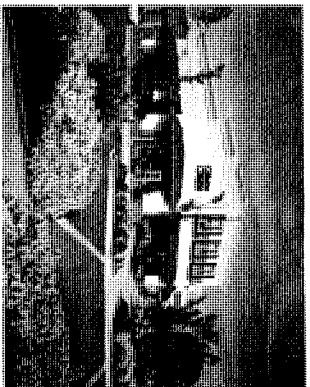


Image 11.8

11.6.2

Synthetic Outdoor Plants:

Synthetic or artificial plants located outdoors are prohibited. Small decorative plants in planters that can be moved by a one individual are excluded.

11.6.3

Desert Plants:

Desert and similar plant life such as palm trees, cacti, yucca, aloe, large succulents or eucalyptus are strictly prohibited

11.7 Lighting

11.7.1

Light Control:

Use appropriate intensity, high-quality, directed light which will provide good, uniform visibility for general site lighting. Avoid light pollution. No light is permitted to reflect directly into the atmosphere. All fixtures shall be partial or full-cutoff and strive to be IIDA or 'Dark Sky' compliant.

11.7.2

Overhead Streetlights:

Decorative streetcape overhead light pole fixtures are required (existing wooden or other non-decorative pole lights do not count toward this requirement) and must be consistent and/or similar to existing Main Street streetlights by design, material, and placement. Spacing is to be a maximum of 105 feet (on center) and is required along any street as part of any applicable streetcape section (alleys excluded). Lighting shall be in between (offset) from any trees to minimize future conflicts. Placement shall be consistent with Image 11.1.

11.8 Utilities and Trash Containment

11.8.1

Underground Wiring:

All new utilities and services such as electricity and gas lines must be installed underground.

11.8.2

Trash Containment Areas:

All trash containment devices, including compactors and dumpsters, shall be located and designed so as to be least visible from streets as possible. If the device is not publicly visible from off site, then it need not be screened. If it is visible from the right of way or public space then it shall be materially screened by approved opaque wall or fence and landscaped.

11.8.3

Mechanical and Utility Equipment:

Mechanical and utility equipment shall be screened from view if visible from off site from any primary facade or any public area (Image 11.9) using approved materials or plants. Ground mounted equipment shall be located in the rear or side yard. Equipment located on the roof of the building shall also be screened from view if visible from the street level.



Image 11.9

11.9 Screening, Buffering, & Replacements

11.9.1

Parking lot screening is subject to sections 11.5.7

11.9.2

Minimum Setbacks and Buffers Between Zoning and Uses: See Zoning Ordinance

11.9.3

Required Replacement:

Any required element in this or any other official document that either dies or goes missing at any point in time (such as trees or benches) must be replaced with a duplicate within 60 days of notification or face penalties of up to \$100 dollars per day per item unless an extended amount of time is granted by the Zoning Administrator due to weather conditions etc. Maturing required trees at 8 inches diameter at breast height or greater must be replaced with a minimum replacement tree of 4" diameter or greater. Required trees or landscaping that are intentionally removed without approval from the town face similar penalties such as mentioned above or as stated in any adopted vegetation protection ordinance.

11.10 Streetscape Improvements (Existing Building Expansions and Façade Remodeling)

11.10.1

Streetscape Improvements Required:

For existing building expansions and façade remodeling or otherwise indicated in Chapter 7, the additional streetscape section details shown in Image 11.10 must be implemented. For properties with existing streetside sidewalks, these sidewalks may be re-used as bicycle lanes as shown in Image 11.10 or added at street grade. Sidewalks and similar are to be paved in concrete or pavers, asphalt is prohibited except where added at or included at street grade as part of the street pavement area.

11.10.2

Street Trees:

Large maturing trees required a maximum of 35 feet on center. Medium/small street trees are only permitted where there are overhead utilities. Street tree variety must be of Oak or disease resistant Elm such as 'Princeton' for large maturing trees. Medium/small street trees shall be Zelkova's such as 'Village Green' or 'Green Vase' unless otherwise permitted.

11.10.3

Sidewalks and bicycle lanes:

Sidewalks and bicycle lanes are to be ADA compliant wherever possible by such features as ramps, etc and be linked to all current or future adjacent properties. Sidewalk and bicycle lane minimum width requirements exclude curbing. Bicycle lanes must be clearly marked every 100 feet with a standard bicycle decal.

11.10.4

Lighting:

Overhead lighting is required to be placed a maximum of 105 feet on center and offset from street trees. See also section 11.7.

11.10.5

Seating:

Public seating required. See also section 12.5.8+.

11.10.6

Utilities and Trash Containment:

See section 11.8.

11.10.7

Screening and Buffering:

Parking lot screening per 11.5.7 required. Other: See Zoning Ordinance.

11.10.8

Other:

All other requirements such as 11.3 (Walls, Retaining Walls, and Significant Grade Changes) apply depending on redevelopment proposals.

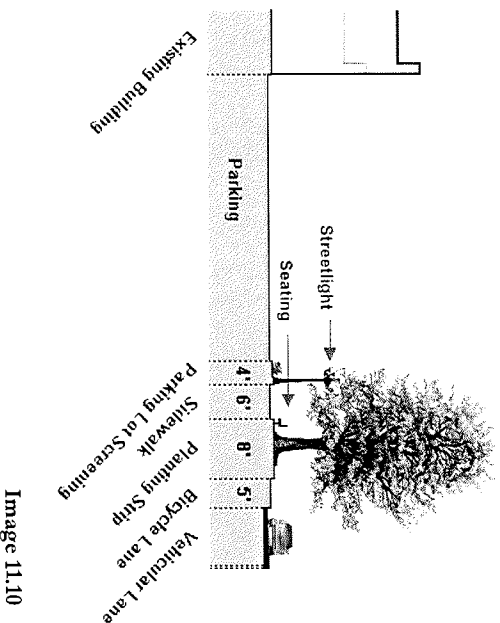


Image 11.10

11.11 Required Plantings and Tree Quality

11.11.1

General:

All required plantings must be of good quality, disease free, and the minimum size specified. Any required plant that goes missing, dies, or is otherwise compromised must be replaced with the same plant species unless otherwise approved, in addition to having the entire portion of the previous plant removed (roots included). Required trees replaced that are over 8 inch caliper dbh (diameter at breast height) must be replaced with a minimum dbh tree of 4 inch caliper.

11.11.2

All Trees Planted:

All trees planted must be a minimum of good quality as shown in Image 11.11 and 11.12. A good quality tree shall have only one central leading trunk (for street trees), in addition to being free of any girdling roots, trunk or branch gouges, scrapes, splitting, pests, diseases, fungi, kinks, twists, or large knots and generally has symmetrical evenly spaced branches that are typical of the tree species selected.

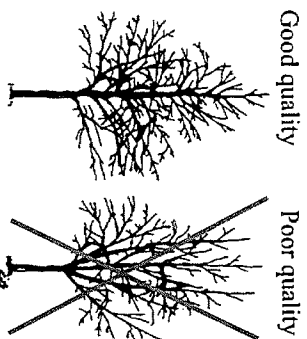


Image 11.11

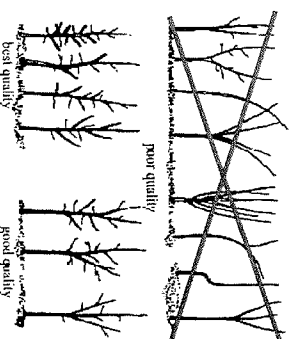


Image 11.12

12.0 Public Open Space

All development shall provide *usable* public open space or be within easy walking distance of it. This open space may take the form of a central village park, improved greenways, or in certain cases a simply well designed streetscape frontage with wide sidewalks and street trees as shown in the streetscape sections. Public right-of-way, landscaped parking lot islands, and preserved vegetation alone are not considered useable open space. The character and size of the public open space should be influenced by the surrounding uses (e.g. residential, retail, office) as well as by the prospective user groups (e.g. workers, shoppers, and youth).

12.1 Future Greenway/Open Space Amenities and Examples

Some Visual Examples of Improvements:

Image 12.1

- Large single trunk maturing trees with a high overhead canopy
- Attractive pedestrian lighting
- Benches adjacent to but setback from walkways

Image 12.2

- Special water overlooks at scenic views
- Possible locations for picnic areas or barbecue grills at scenic locations

Image 12.3

- Wide pedestrian walkway within an attractive colonnade or allee of trees
- Water view from walkway
- Broad expanses of grassy areas
- Convenient location of features such as trash cans and bicycle racks

Image 12.4

- Stabilized creek banks
- Wide walkways
- Abundant seating
- Scenic water views

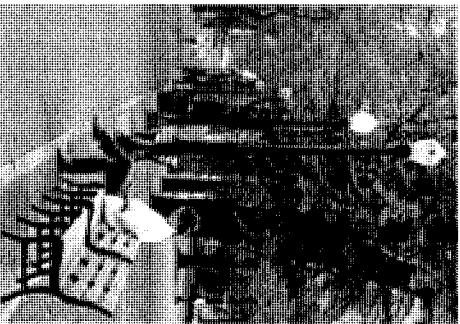


Image 12.1



Image 12.2

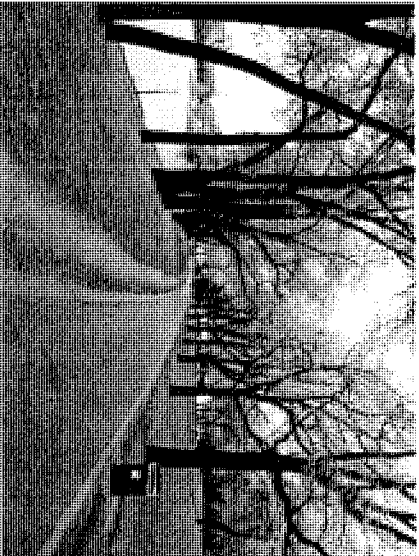


Image 12.3

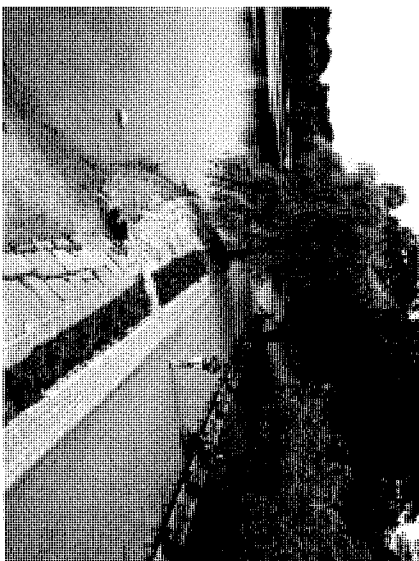


Image 12.4

12.2 Public Usable Open Space Standards

Minimum Dedication Requirement	Development on ≤ 4 Acres (174,240 sqft)	Development on over 4 Acres (174,240 sqft)	Payment-In-Lieu Option*
For Residential-Only Units	Standard Streetscape Requirements	Standard Streetscape Requirements	\$ Market Rate of Property Per Square Foot
For Mixed-Use Development	Standard Streetscape Requirements	Standard Streetscape Requirements	\$ Market Rate of Property Per Square Foot
For Non-Residential Only Development	Standard Streetscape Requirements	5% of Total Buildable Lot Area (May Include Improved Streetscape Requirement Areas)	\$ Market Rate of Property Per Square Foot

*See section 12.3.2-3.

12.3 Greenway Improvement and Dedication Requirements

12.3.1

General Requirements:

Greenway requirements apply as indicated in 7.0 Applicability Matrix. Areas immediately adjacent to any creek system and the associated FEMA floodplain, and particularly the 'SWIM' buffers protecting these water systems shall be negotiated regarding greenway dedication between the landowner/developer, Charlotte-Mecklenburg Parks and Recreation Department, and appropriate official representing the Town of Pineville. At the very minimum the primary SWIM buffer area (currently extending 100 feet) on either side of the waterway centerline, as mapped through Mecklenburg County, must be subdivided and dedicated per 12.3.2-1 below.

12.3.2

Greenway Improvement and/or Dedication Options:

Greenways indicated in this or any other adopted town or county document must comply with one or more of the following options relating to the inclusion of greenway areas that are not currently part of the greenway system for the sake of both the protection of riparian zones and future public enjoyment. Greenway easement or dedication shall be to either Mecklenburg County Parks and Recreation or the Town of Pineville. The Town of Pineville shall reserve the option of first acquisition, however, for all greenway easements or dedications.

12.3.2-1

Option 1: Subdivision and Public Dedication

'SWIM' buffer area (minor tributaries excluded) in addition to area jointly agreed upon by the landowner/developer, Charlotte-Mecklenburg Parks and Recreation Department, and appropriate official representing the Town of Pineville are to be separately subdivided and dedicated to either the Town of Pineville or Mecklenburg County Parks and Recreation to become part of the greenway parks system. All town fees shall be waived relating only to the subdivision and public dedication of greenway areas. Greenway improvements by the owner/developer are not required unless included and agreed upon in a Conditional Use Permit or the owner/developer wishes to improve this entire area for use as required usable open space.

12.3.2-2

Option 2: Easement Established

A permanent public greenway easement shall be established and recorded across the properties in question as determined and agreed upon by both the Charlotte-Mecklenburg Parks and Recreation Department and appropriate official representing the Town of Pineville. This easement shall include at the very minimum the primary creek SWIM buffer areas (minor tributaries excluded). This easement shall be both improved and maintained by the developer or owner in its entirety to 12.5 Usable Open Space Requirements.

12.3.2-3 Option 3: Payment-In-Lieu Option:

Under special written consideration of site or development requirements and/or limitations a payment-in lieu option may be allowed depending on unique or otherwise special site or development challenges so long as the spirit of this or any other adopted ordinance is not undermined. The payment-in-lieu option may be applied to both required land for usable open space and required usable open space improvements, it shall not be applied required streetscape features, organization, architectural requirements or SWIM buffer required dedication areas.

The developer shall make the payment before approval of a final plat for the development, provided, however, the Town Administrator may allow phasing of payments consistent with any proposed and approved phasing of the development.

This option shall be a payment based upon the tax value of the land in question (per square foot) multiplied by the area of required usable open space that is to remain unimproved or undedicated (per square foot) as proposed in submitted development plans.

Payment is shall be made payable to the Town of Pineville for use in improving, maintaining, or purchasing this unimproved greenway area or any other similar public open space application.

12.3.2-4 Option 4: Negotiated Dedication

Development that wishes to otherwise amend, contest, or negotiate the above options shall be denied all new permits, approvals, reviews, plans, grading, utilities and similar relating to the entire development in question for a minimum of 18 months to allow for the negotiated resolution of the topics in question. At the end of the 18 months if a resolution has not been agreed upon then the resolution shall be pursued in applicable standard legal proceedings.

12.4 Required Usable Open Space Organization

12.4.1 Organization and Location:

The design and location of public open space on a site is perhaps the most important determinant in a successful pedestrian environment. To ensure that public open space is well-used, the most usable and feasible location should be selected and must be approved by staff. Priority is placed on broad multi-functional sidewalks and the greenway parks system.

12.4.1-1 Public usable open space shall be completely public, clearly defined, fronted by streets and/or primary building facades to encourage their use and patrol their safety.

12.4.1-2 Views and sun exposure should be taken into account in design and location.

12.4.1-3 The space should be well-buffered with trees and evergreen shrubs from moving cars so that users can enjoy and relax in the space.

12.4.1-4 Further define the space with low walls, landscaping, raised planters, or on-street parking to help buffer and create a comfortable "outdoor room".

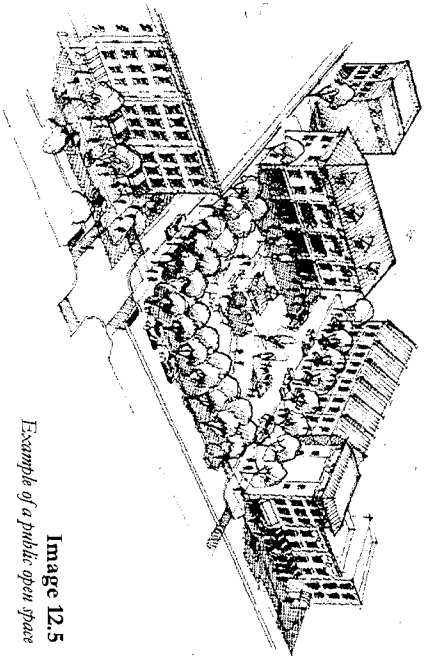


Image 12.5
Example of a public open space

12.5 Usable Open Space and Greenway Requirements

12.5.1

General Improvements:

The general aesthetic template to be followed is shown in Image 12.7. Improvements must consist of clearing weeds/understory brush, establishing/maintaining usable grassy and paved areas, wide clearly defined walkways, and seating.

12.5.2

Greenway Specific Standards:

Greenway improvement is required to fulfill both these requirements in addition to the requirements of the Mecklenburg County Parks and Recreation Greenway Standards. In the case of conflicting requirements the more strict requirement(s) shall be upheld. Combined pedestrian walkways and bicycle lanes (minimum 5 feet wide each) are required through the entirety of the greenway portion of the property in question and made to view the waterway (where possible). Greenway paths are required to be paved in asphalt, concrete, or masonry pavers. The bicycle lane must be marked and striped. Connectivity into adjacent parcels within the greenway or future greenway is required. Large maturing trees are required along both sides of greenway walkways at a maximum 35 feet on center and minimum 3 inch caliper. Existing vegetation may count toward this requirement.

12.5.3

General Pedestrian Walkways (Non-Greenway):

Paved (non-asphalt) pedestrian sidewalks are required in or around all spaces to be considered usable open space where most logical to a minimum width of 5 feet located behind a minimum width planting strip of 10 feet.

12.5.4

Creek/Slope Erosion:

In places where erosion is taking place, the bank(s) must be stabilized using naturalizing techniques including various sizes and colors of rocks (Image 12.6). Limiting the angle of creek banks to not exceed 30 degrees is recommended. Vegetation must be established and maintained onsite in areas where eroding sediment is entering any creek.

12.5.5

Pedestrian Pathway Lighting:

Decorative lighting where possible is encouraged along pedestrian paths.

12.5.6

Greenway Applied to Required Usable Open Space:

Improved greenways count toward and may satisfy the usable open space requirements.



Image 12.6

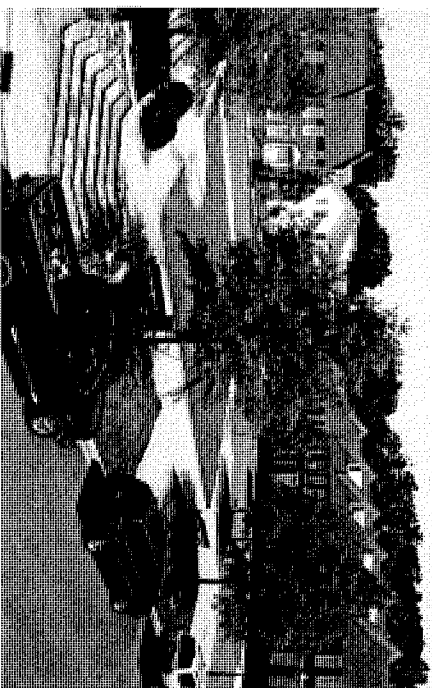


Image 12.7

12.5.7

Existing Features:

Significant stands of trees and other valuable topographic features shall be preserved and incorporated within the required open space areas where applicable.

12.5.8

Public Seating:

Publicly accessible places to sit in the public realm are important not only as basic amenities, but also in sponsoring casual social interaction. Seating can be both formal and informal from benches to low garden walls. Seating should be no less than 18 inches and no more than 30 inches in height above the pedestrian accessible grade and not less than 16 inches in depth. Seating of 32 inches in depth or greater and accessible from two sides shall count double. Individual chairs and spaces count as 1 1/2 linear feet toward required seating. Moveable chairs and sidewalk cafes are strongly encouraged.

12.5.8-1

Non-Streetcape Seating:

Seating that is not part of street side or streetcape section is recommended to provide a minimum of 1.5' linear feet or 1 individual seat provided for every 300 square feet of required open space or fraction thereof.

12.5.8-2

Streetcape and Greenway Seating Not Otherwise Specified:

A town approved bench or similar structure no shorter than 72 inches in length is recommended every 70 feet on center beside any sidewalk or walkway as part of any applicable streetcape section or greenway path.

12.5.9

Other Minimum Amenities (Streetcape and Greenway excluded):

12.5.9-1

One large maturing tree (2 inch caliper) every 35 feet on center in at least a 10 foot planting strip around the perimeter or along a linear path for required open space. Preserved trees may count toward this goal.

12.5.9-2

At least half of the open space should be at street level or grade.

12.5.9-3

Playground equipment, statues, and fountains, if provided, should be located toward the interior of open spaces.

12.5.9-4

One water tap is required for every 10,000 square feet of usable open space (greenway area excluded).

12.5.9-5

One garbage receptacle is required for every 5,000 square feet of usable open space.

12.5.9-6

Any and all additional but not required common space shall follow the same requirements as required usable open space.

12.5.9-7

Usable open space shall be located in the most central and/or easily accessible location possible.

12.5.10

Public Art:

Developments are encouraged to provide outdoor public art on their property or in any adjacent public/town/greenway areas to enrich the pedestrian experience and create a stronger sense of place.

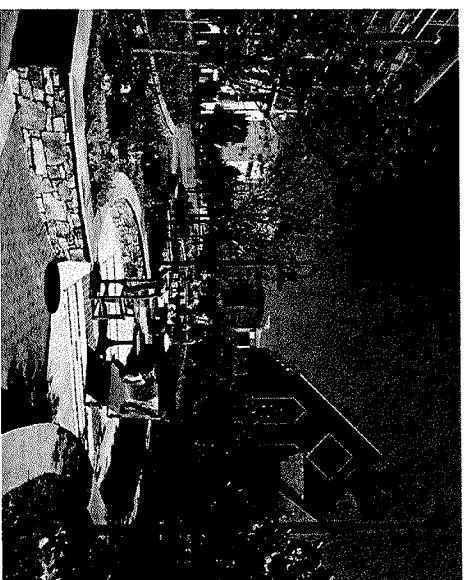


Image 12.8
Example of friendly usable open space and seating

13.0 Transportation and Pedestrian Plan

13.1 Existing Streetscape and Pedestrian Features

13.1.1 Sidewalks:

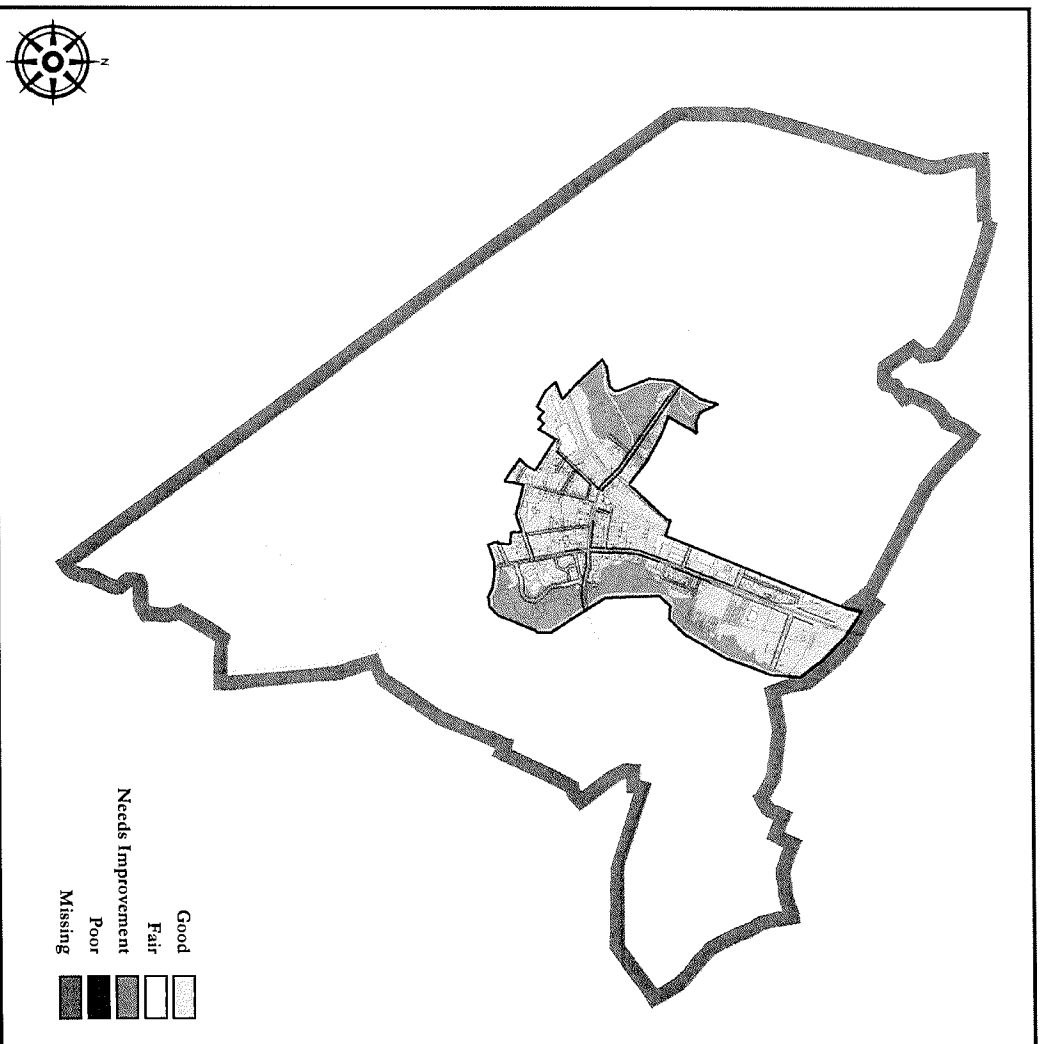


Image 13.1

13.1.3 **Sidewalks:** Existing Pedestrian Condition Photographs

Image 13.2

- Bicycle/automobile conflicts because of no bicycle lanes on highway 51 near Downs Road

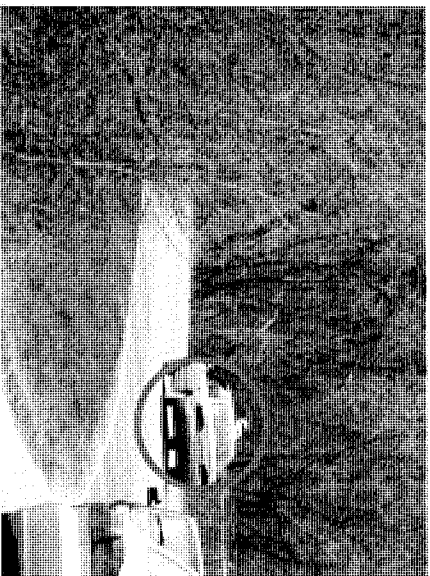


Image 13.2

Image 13.3

- Pedestrian/road conflicts as pedestrian is dangerously close to large trucks and heavy traffic
- No sidewalks in places

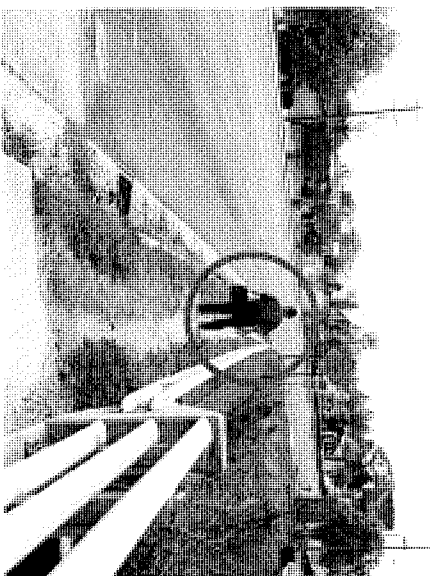


Image 13.3

- Usable but not very pedestrian friendly sidewalks and streetscapes leading into Main Street
- Street trees needed
- Pedestrian marked cross walls needed

Image 13.4

- Sidewalks dangerously close to large trucks and heavy traffic along North Polk Street
- Sidewalk blends into curb cuts confusing pedestrian and automobile space.
- Lack of distinct pedestrian paving/stripping across curb cuts and intersections
- Buildings are to far away from the street for a comfortable pedestrian streetscape

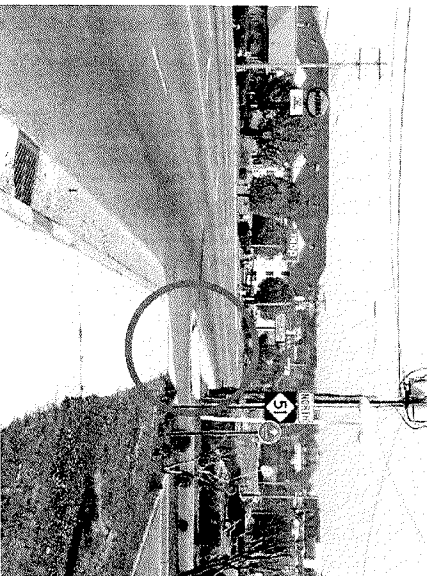


Image 13.4

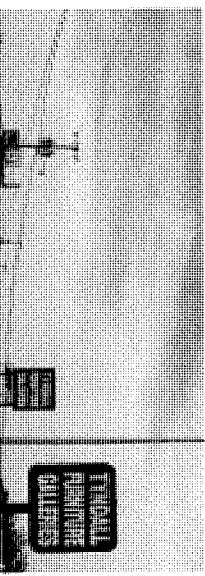


Image 13.5

13.1.4

Sidewalks: Existing Pedestrian Condition Photographs Downtown and Possible Improvements



Image 13.6

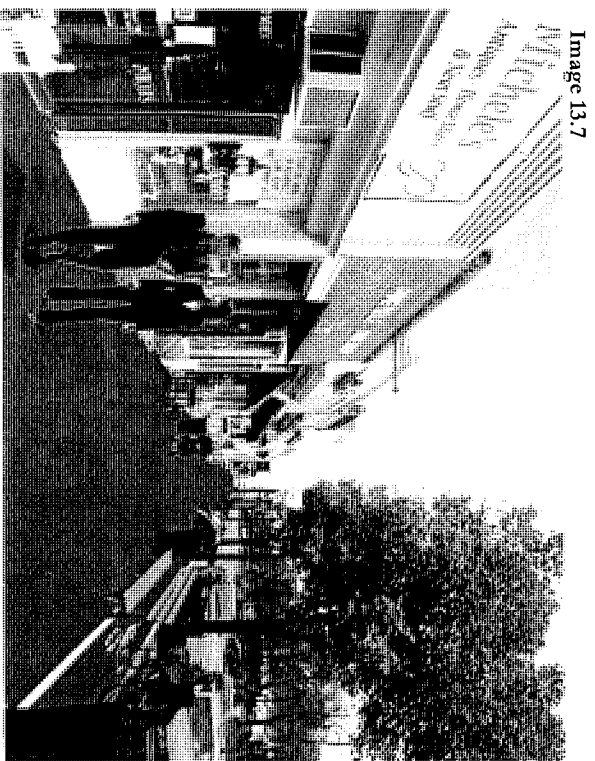


Image 13.7

- Street trees added in between on street parking spaces
- On street parking retained
- Existing concrete sidewalk replaced by herringbone brick pavers
- More and upgraded seating
- More and upgraded trash cans
- Bike lane added in the underutilized area between existing streetlamps and curb

13.2 Future Bicycle and Pedestrian Network and Amenities

13.2.1

Pedestrian and Bicycle Network:

Provide a complete network of pedestrian and bicycle paths that interconnect building entrances, parking, transit stops, public sidewalks and crossings, adjacent properties, adjoining off-street paths, and other key destinations on or adjacent to the site. Avoid steps; provide curb ramps to accommodate wheelchairs, bicyclists, and baby strollers (Image 13.9/13.10).

13.2.2

Adherence to streetscape section(s) and pedestrian design: Streetscape section arrangements as shown incorporating sidewalks, street trees, and bicycle lanes, etc. must be incorporated where mandated by the applicability matrix from chapter 7.0. The exact location of bicycle lane within the streetscape section may be modified upon approval of the planning director.

13.2.3

Pedestrian Pathways: Pedestrian pathways should be provided from the street to the parking area between buildings, as necessary to ensure reasonably safe, direct, and convenient access to building entrances and off-street parking. To aid pedestrian navigation and comfort, the following elements along paths are recommended (Image 13.9):

- Landscaping, such as rows of trees and shrubs, flower beds, and planters
- Pedestrian scaled lighting, such as lighted bollards
- Small, color-coded way-finding signs, or a directory
- Vertical architectural elements, such as arches
- Seating and resting spots
- Special paving

13.2.4

Crosswalks: Whenever pedestrian pathways cross internal drives, curb cuts, and streets or similar (Image 13.8), a different material or texture such as stamped asphalt or concrete in addition to a different color must be used. Where stamped concrete is used it need not be a different color.

13.2.5

Bicycle Parking: See Zoning Ordinance.

13.2.6

Curb-Return Radii: Curb radii shall be designed to reduce pedestrian crossing times along all streets requiring sidewalks. Curb radii should not exceed 20 ft.

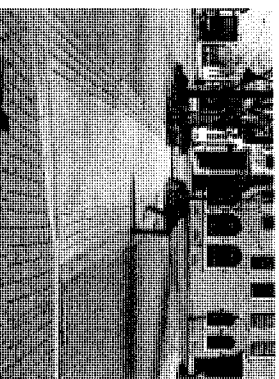


Image 13.8



Image 13.9

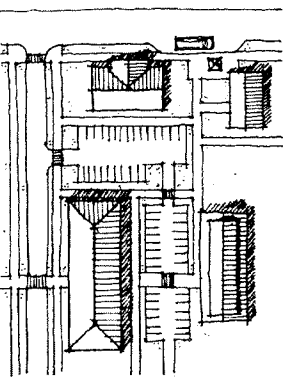


Image 13.10

13.3 Future Public Roads

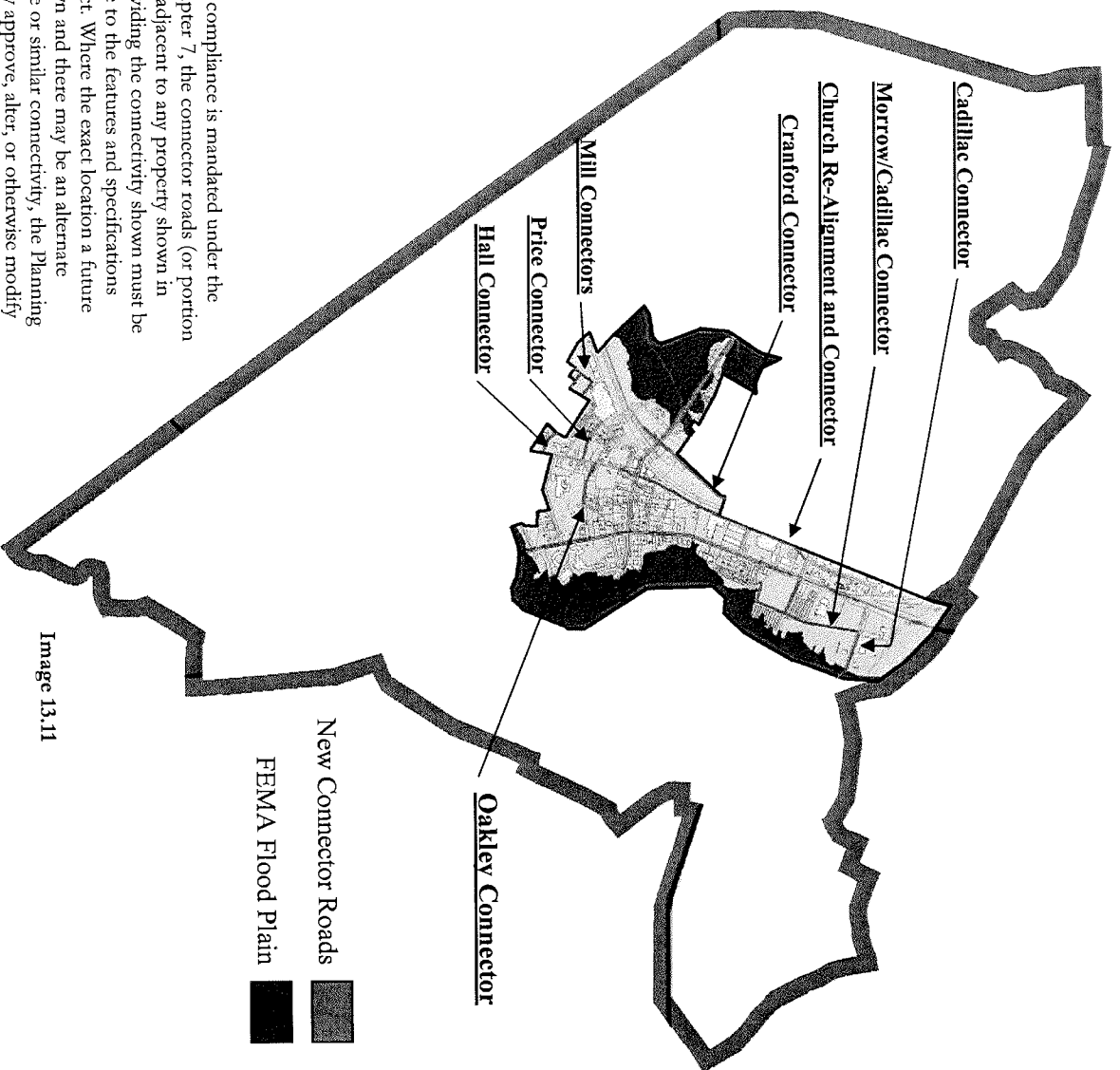


Image 13.11

13.3.1

Implementation: Where full compliance is mandated under the Applicability Matrix from Chapter 7, the connector roads (or portion thereof) that transverses or is adjacent to any property shown in Image 13.9, a public road providing the connectivity shown must be constructed in full compliance to the features and specifications indicated in this overlay district. Where the exact location a future public connector road is shown and there may be an alternate possibility to provide the same or similar connectivity, the Planning Director or their designee may approve, alter, or otherwise modify the requirements and/or locations shown in this section.

14.0 Definitions

Accessory Structure – Any building, structure or portion thereof that is subordinate or secondary in function to the primary building or structure such as garages, ATM machines, flag poles, gazebos, etc.

Alteration – Any external change of a wall, building footprint, canopy, etc. or operation that changes the general mass or material from the previous condition.

Buildable – The ability to be built or developed, by the addition of impervious elements such buildings, parking lots, and similar associated features.

Complete Pitched Roof – An angled roof that converges at a peak over a building to shed rain (Image 10.32) that in no instance has a flat, nearly flat or partial pitched roof (Image 14.1).

Corporate Architecture – Any commonly repeated design, architectural feature, detail or similar structure that is easily identifiable as belonging to a common or specific corporate, commercial, or other enterprise. Typically using standardized branding elements such as, but not limited to roofs, towers, arches, bells, windows, and curves.

Daylight Basement – A basement which is primarily underground but has windows to allow daylight to enter, such as for properties with significant changes in elevation.

Dormers – Window projections extending from a sloped roof.

Eaves – The overhanging or lower edge of a roof.

Exterior Remodel – The general cosmetic retrofit improvement to an existing building façade including but not limited such items as modified/added windows, canopies, doors, etc. New paint or simple façade material replacements are excluded.

Floor Plate – The gross square footage of a single floor occupied by a single tenant.

Grade – Ground level at given spot for fences and walls, or where the ground intersects a building, sign, etc. measured from top of curb or pavement.

Greenway – Any perennial stream, creek, or otherwise proposed water feature and the surrounding area as stated or identified by either the City of Charlotte or the Town of Pineville, such as Sugar Creek, Little Sugar Creek, or McAlpine Creek.

Knee Wall – Any short wall used as a part of the support for a roof structure and built to create additional useable space under a roof, usually paired with dormers in the creation of a half-story.

Large Maturing Tree – A tree listed as an approved large maturing tree in Pineville's Approved Tree and Shrub list. Typically growing over 40', tolerant of our particular climatic zone, pollution tolerant, and long-lived.

Linear Building Frontage – The entirely enclosed and occupied portion of a building as it faces or extends along a property boundary.

Partial Pitched Roof – A roof that begins as angled but whose majority is actually flat and/or does not converge at a common peak from all sides to shed rain. See Image 14.1.

Pilaster – A rectangular protrusion or addition to a façade that takes on the form of a column, but which is not freestanding consisting of a base, middle, and capital.

Planning Director – The head planner for the Town of Pineville, or their designee.

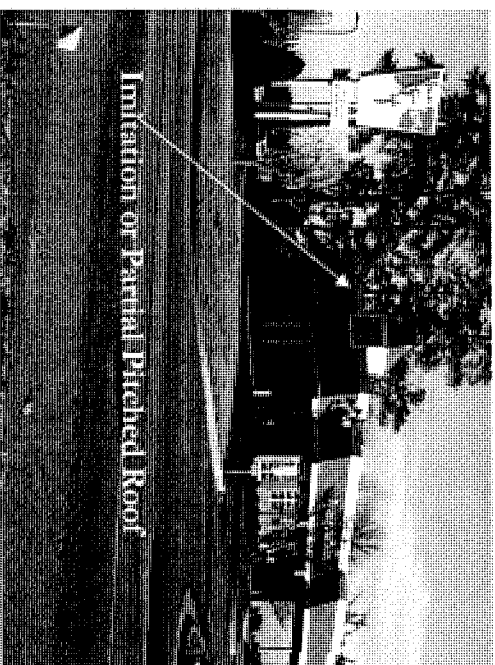


Image 14.1

Primary Facade - Any building facade or portion thereof that looks directly onto or is visible from any street (alleys excluded) or public space intended as park, usable open space, or similar.

Proportionate - Harmonious and balanced in traditional scale and detail to all parts of the composition as determined by the Planning Director or their designee.

Quoin - A solid architectural element such as brick or stone forming the external corner of a wall. Quoins are a decorative element that are usually larger, a different color, or different shape than the rest of the surrounding wall.

Rectilinear/Orthogonal - Straight lines meeting at no more or no less than ninety degrees.

Street Planting Terms - **(Tree Wells)** a square or circular area within a paved area, usually a sidewalk, that is planted with a single approved tree, mulched over and sometimes planted with additional vegetation to provide shade, overhead canopy, and buffer from another area such as a street. **(Planting Strip)** a generally continuous planting strip in which an orderly planting of multiple trees and sometimes other vegetation and is mulched over that creates a buffer between two or more areas such as the street and sidewalk.

Street Trees - Trees planted in either tree wells or a planting strip located immediately adjacent to a road, generally between a road and sidewalk.

Streetscape - A building, series of buildings facades, and the space running parallel between these facades and the street comprising an overall street vista or comprehensive visual impression by general pedestrian and/or vehicular traffic.

Temporary - Not intended or allowed to remain in perpetuity. For construction: lasting no longer than the time needed to complete construction.

Trim - The integrated proportionate architectural embellishment of a buildings facade taking place along strategic edges or borders such as under, over, or around windows, doors, foundation, parapet, roof, etc. Trim must not overpower, interfere, or become greater than 25-35% of the composition of a single facade.

Usable Open Space - Is outdoor open space that is an amenity by way of features and able to be occupied by the pedestrian or general population. This space shall have sidewalks, common and easy access, seating, generally flat topography, cleared of weeds, overgrowth, and debris, in addition to being consolidated in distribution rather than dispersed.

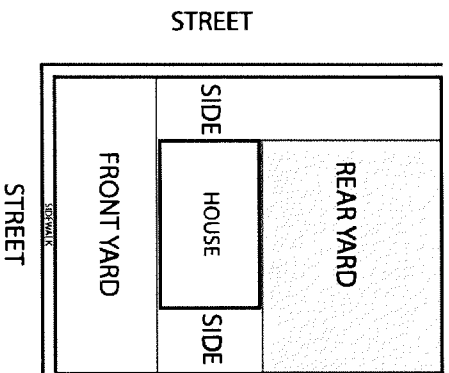
Well Detailed - Visually interesting, attractive, well fitted, and integrated into various other components as to hide gaps and resist weathering.

Yard (front/ side/ rear) see Image 14.2 - 14.3

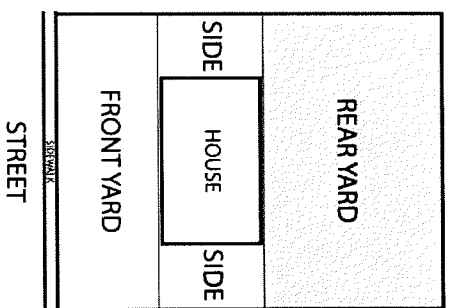
(Front yard) is the area measured from the primary building facade and/or formal front door extended both outward to side property boundaries and forward to a street, right-of-way, or similar. **(Side yard non-corner)** is the property area immediately between the front and rear facades extended outward to property lines. See Image 14.3. **(Side yard corner)** is the property area immediately behind the front facade extended both outward to the adjacent street and backward from the rearmost corner facing this street, right-of-way, or similar to the property limits. See Image 14.2. **(Rear yard)** is the area behind the rear facade of a building extended outward and backward to property boundaries in area which is not a front or side yard. Image 14.2/14.3.

Zoning Ordinance - The Pineville Zoning Ordinance

Corner Lot Image 14.2



Standard Lot Image 14.3



15.0 Image Bibliography

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CHAPTER 4

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Image 9.1: Image by Travis Morgan

CHAPTER 10

Image 10.1: The Lawrence Group: Pineville Urban Code

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CHAPTER 11

Image 11.1: Image by Travis Morgan

Image 11.2:

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Image 11.7: The Lawrence Group: Pineville Urban Code

Image 11.8: The Lawrence Group: Pineville Urban Code

Image 11.9: The Lawrence Group: Pineville Urban Code

Image 11.10: Image by Travis Morgan

Image 11.11:

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Image 11.12:

[http://www.urbanforest.org/stories/storyReader\\$103](http://www.urbanforest.org/stories/storyReader$103)

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Image 12.1:

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Image 12.5: The Lawrence Group: Pineville Urban Code

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Image 12.7: The Lawrence Group: Pineville Urban Code

Image 12.8: The Lawrence Group: Pineville Urban Code

CHAPTER 13

Image 13.1: Image by Travis Morgan

Image 13.2: Image by Travis Morgan

Image 13.3: Image by Travis Morgan

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Image 13.9: The Lawrence Group: Pineville Urban Code

Image 13.10: The Lawrence Group: Pineville Urban Code

Image 13.11: Image by Travis Morgan

CHAPTER 14

CHAPTER 15

Image 15.1: Courtesy Kevin Krouse from Bessemer City

Image 15.2*:

http://www.ci.trenton.oh.us/images/servicedirectories/yard_diagram.gif

Image 15.3*:

http://www.ci.trenton.oh.us/images/servicedirectories/yard_diagram.gif

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CHAPTER 15

CHAPTER 16

CHAPTER 17

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17.0 Overlay District Reference





DOWNTOWN DESIGN GUIDELINES | ZONING REGULATIONS

»»» **ADOPTED**
SEPTEMBER 23 - 2003

City Of Turlock
DOWNTOWN DESIGN GUIDELINES
&
ZONING DISTRICTS

ADOPTED SEPTEMBER 23, 2003

Prepared for:
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City Of Turlock

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GLOSSARY OF TERMS

The following terms are used to describe certain elements of site and building architecture. They are generally defined as stated. Terms used in the Downtown Design Guidelines but not identified here shall have the same meaning as that contained in the Downtown Turlock Main Street Design Guidelines (1995), General Plan, or Zoning Ordinance. As interpretation questions arise with implementation of these guidelines, terms that are unclear and not contained herein shall be added. Implementation of terms and guidelines are subject to the interpretation by the Community Development Services Director or designee.

Arcade: A covered passageway or lane supported by columns, piers, or pillars.

Articulation: The arrangement of parts on a building's exterior that serve to give the its individual personality. Also used when referring to projections on a building that would break-up flat or unadorned building facades.

Awning: A fixed frame fabric shelter supported entirely from the exterior wall of a building.

Berm: An earth embankment, typically landscaped, used for screening of a given area.

Buffering: An area set aside to preserve the integrity of an adjacent area and to prevent physical or aesthetic encroachment on that area.

Bulbouts: A traffic calming devise used to slow down automobiles while turning or used to create a shorter distance for pedestrians to cross roads. Commonly landscaped.

Bulkhead: In historic buildings, the portion at the base of the building often treated in decorative manner with tiles or bricks.

Canopy: A roof like covering used to protect entrances and windows of a building.

Cluster Development: Development in which a number of dwelling units are placed in closer proximity than usual, or are attached, with the purpose of retaining an abutting open space or plaza areas.

Commercial: Buildings that house retail commercial, highway commercial, downtown commercial, commercial services, entertainment, restaurants, fast food, and other permitted commercial uses (see Zoning, Chapter 2).

Cornice: The uppermost portion of an exterior wall when treated as a crowning element.

Design Guidelines: Guidelines established by a local municipality intended to advise and direct the design of buildings, streetscapes, parking facilities, etc.

Easement: A legal tool which gives the right to use property owned by another for a specific purpose. Utility companies use easements over the private property of individuals to be able to install and maintain utility facilities.

Eaves: The lower border of a roof or a projecting edge that overhangs the wall of a building.

Element: Individual architectural feature of a building.

Environment: The California Environmental Quality Act (CEQA) defines environment as “the physical conditions which exist within the area which will be affected by a proposed project, including land, air, water, mineral, flora, fauna, noise and objects of historic or aesthetic significance.”

Facade: The exterior walls of a building.



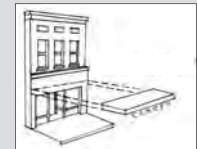
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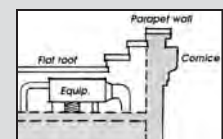
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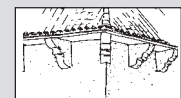
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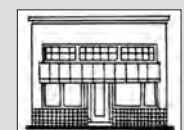
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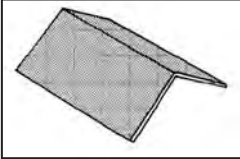
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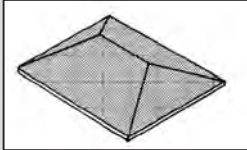
FACADE



FINGER ISLAND



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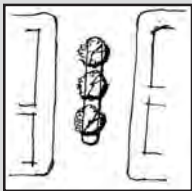
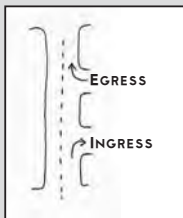
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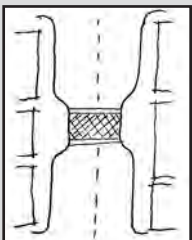
GANG MAIL BOXES



MANSARD ROOF



MEDIAN



MID-BLOCK CROSSING

Fascia: A flat band, usually a horizontal member of a building that covers the open end of a projecting eave.

Finger Island: Used to divide up parking stalls in a parking lot. Usually planted with landscaping to break up the hardscape of a parking lot.

Fire Apparatus:

Floor Area Ratio (FAR): The gross floor area permitted on a site, divided by the total area of the site expressed in decimals to one or two places.

Footcandle: A unit of illuminance on a surface that is one foot from a uniform point source of light of one candle and equal to one lumen per square foot.

Gable Roof: A triangular wall section at the ends of a pitched roof, bounded by the two roof slopes and the ridge pole.

Gang Mail Boxes: Multiple mail box compartments within a single parcel box.

Ground Plane Treatment: All hardscape, landscape or erosion control treatments that affect the ground surface. This includes accent paving, sidewalk, low growing shrubs and flowering plants, grasses, gravel, wood chips, rock formations, etc.

Hardscape: All features of the landscape such as sidewalks, streets, furnishings, and constructed elements contrasting to vegetative landscape.

Hip Roof: The external angle formed by the meeting of two adjacent slopes of a roof.

Human (Pedestrian) Scale: A spatial level of comfort a pedestrian experiences within a defined space.

Industrial: Buildings that house industrial and heavy commercial uses including, manufacturing, auto repair, storage facilities, warehousing/distribution, and other permitted uses as described in the City of Turlock Zoning Ordinance and herein (see Chapter 2, Zoning).

Infill Development: Development of vacant land (usually individual lots or leftover properties) within areas, which are already largely developed.

Ingress and Egress: The ability to enter a site from a roadway (ingress) and exit a site onto a roadway (egress) by motorized vehicle.

Infrastructure: The physical systems and services which support development and people, such as streets and highways, transit services, water and sewer systems, and the like.

Landmark: Refers to a building, element, or site (including a specific tree or tree species) having historic, architectural, social or cultural significance and may also be designated for preservation by the local, state or federal government.

Landscaping: Planting, including trees, shrubs, and ground covers suitably designed, selected, installed and maintained so as to permanently enhance a site, the surroundings of a structure, or the sides or medians of a roadway.

Mansard Roof: A roof with two slopes on all four sides, the lower slope being nearly vertical and the upper nearly horizontal.

Mass and Scale: Size and shape of a building and its relationship to the surrounding structures and spaces.

Medians: A paved or planted strip dividing a roadway into lanes according to direction of travel.

Mid-block Crossing: A crosswalk in the middle of a block that allows pedestrians to cross the roadway in commercial areas without having to reach the end of a block.

Mixed Use: Allows the combining of two or more uses on a single parcel or a single structure.

Molding: A decorative plane or curved strip used for ornamentation or finishing.

Monotonous Structures: Unvarying structures marked by a sameness of pitch and intensity.

Monument Sign: A low rise sign detached from the main structure.

Multi-Family Residential: Buildings that house multiple residential units in a single building (3 or more per structure). Such as apartments/condominiums as permitted in the R-3 zone.

Office: Buildings that house both offices and supporting activities including, medical, dental, legal, architectural, engineering, contractors, banks and other permitted uses.

Parapet Walls: A low wall extending above the edge of a platform, roof, or bridge, intended to protect the edge or screen views.

Pedestrian Networks: A connecting and linked series of pathways, sidewalks and walkways.

Projections: A spatial object upon a plane or curved surface or a line that outcrops its points to create shadow effects on a surface.

Renovation: Fixing up or repairing an existing building. If the building is historic, it refers to preserving historic features or elements of the building.

Rhythm: The “flow” and cadence of parts on a building, or buildings on a street.

Right-of-way: The strip of land over which certain transportation and public use facilities are built, such as roadways, railroads and utility lines.

Roofline Cornices: The molded and projecting horizontal member that crowns an architectural composition or a wall. A decorative band of metal or wood used to conceal curtain fixtures.

Scale: The relative proportions of elements on a building or between buildings.

Screening: To give protection, to separate or to shield from a view.

Setbacks: Refers to an area of certain distance from a property line within which building development cannot occur. Use of setbacks creates front, side and rear yard areas in developments. Setbacks are also used to establish safe ‘clear areas’ around buildings for fire, police or aesthetic reasons.

Shall: As used herein, shall is not intended to diminish the flexible application of the stated guidelines, but to reinforce the requirement to meet, at a minimum, the intent of the particular section, guideline, or design principle.

Should: Signifies a directive to be honored if at all possible.

Sign: Any representation (written or pictorial) used to identify, announce or otherwise direct attention to a business, profession, commodity, service or entertainment.

Site: A parcel of land used or intended for use or a group of uses and having frontage on a public or an approved private street.

Storefront Improvements (or Facade Improvements): Work done to repair or fix elements on the ground level of a building.

Street Trees: Trees strategically planted, usually in the wells, parkway strips or medians, to enhance the visual quality of a street.

Streetscape: The area including the buildings, sidewalks, streets, and related improvements visible along the street.

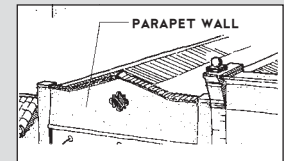
Structure: Anything constructed or erected which requires location on the ground (excluding swimming pools, fences, and walls used as fences).



MOLDING & CORNICE



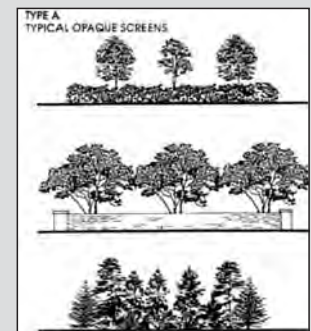
MONUMENT SIGN



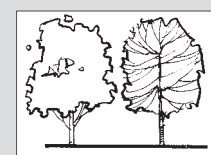
PARAPET WALL



RHYTHM



SCREENING



STREET TREES



TRANSOM WINDOWS

Transom: Windows located on the top of the main window. Such windows may be fixed or moveable.

Viewshed: The area within view from a defined observation point.

1.0 Introduction

As early as 1960, the policy makers of the City of Turlock had a Vision to create a compact community that would encourage economic growth while preserving small town character and the livability of Turlock. An important aspect of that livability and small town character is a vibrant and economically vital downtown. In 1992, the City Council adopted the Turlock Downtown Master Plan which set forth initial goals for improvement in the Downtown Core. Phase I of those improvements is constructed in the Downtown and the result has been an attractive, pedestrian-oriented retail area. In 1995, the City adopted the Downtown Turlock Main Street Design Guidelines in concert with the California Main Street program. This document, setting forth the Downtown Zoning Regulations and Design Guidelines is intended to further the work started in the Turlock Downtown Master Plan (TDMP) and Main Street Design Guidelines.

It is the objective of this document to further the City's Vision for Downtown Turlock by establishing Downtown Guidelines and Standards that will provide land use and physical design details and guidelines necessary to guide future Downtown investments. With the investment that the City has made in the public realm improvements of the Downtown Core, private investment interest has increased. It is anticipated that private investment will continue. The Zoning Regulations and Guidelines contained herein are intended to encourage and facilitate appropriate private investment within the Downtown Area, that reflects the historic commercial character of the core and the traditional residential character of the adjoining neighborhoods.

Community participation has been an important aspect in the preparation of this document, primarily provided through the input and involvement of the Downtown Zoning District and Design Guidelines Steering Committee. A series of three Workshops were conducted with the Committee to solicit their valuable input. At the outset, the Committee participated in a Citizen Photo Survey wherein disposable cameras were provided to each participant along with a photo log sheet. Photographs of the "likes" and "dislikes" of Downtown architecture and streetscape environment were photographed and catalogued as a means to establish agreement on Downtown issues (see Figures 1 and 2).



1.1 Historic Overview

Main Street, on both sides of Golden State Boulevard, reflects the primary proliferation of historic buildings in Downtown



"ALLEY ACCESS FITS IN WELL."



"OFF-CENTER SIGN IS A GOOD MODEL
"PEDESTRIAN ORIENTED SIGNAGE"



"ATTRACTIVE HARDSCAPING/ BOLLARDS
AND MIDBLOCKING."



"FRONT PORCHES AND RECESSED PARKING
IN THE REAR."



"MURALS ARE A NICE TOUCH."



"LUNCHBOARD SIGNS ADD
CHARACTER TO THE STREET."



"TREES AND RECESSED BUILDING."



"FLAGS AND HISTORICAL BUILDING."



"A NICE FACADE IMPROVEMENT."



"NICE USE OF LANDSCAPING AND LIGHTING."



"LIKE THE FLOWERS."
"THE PARK IS A GREAT ASSET."



"PUBLIC ORIENTATION"
"NICE SIGNAGE"



"APARTMENTS LOOK LIKE SINGLE FAMILY
"LIKE HOW THE PARKING IS IN BEHIND."



"A GREAT LOOKING COMMERCIAL STREET."

FIGURE I - POSITIVE IMAGES MAP

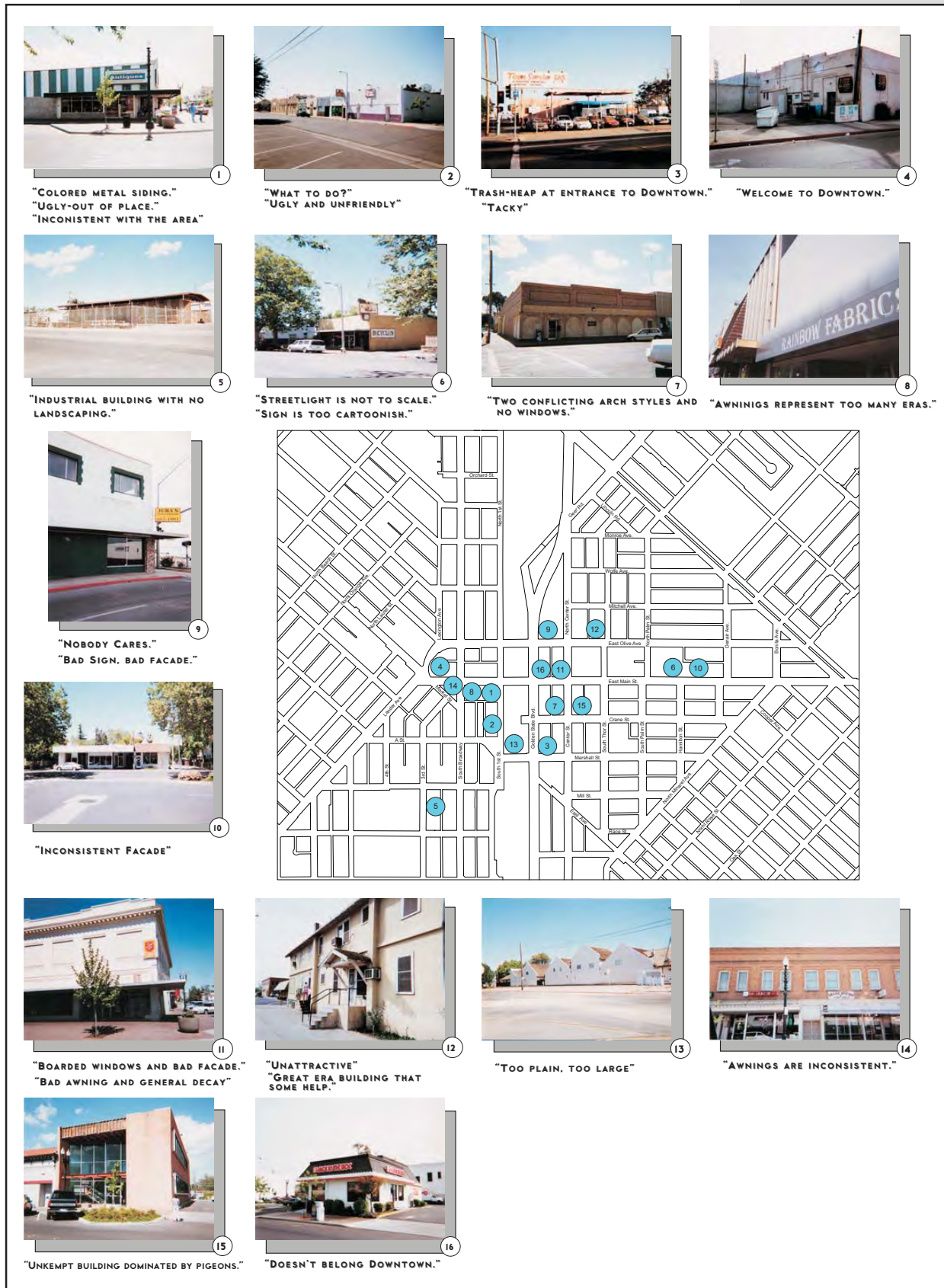


FIGURE 2 - NEGATIVE IMAGES MAP



Turlock and is considered the core of Downtown. It is along Main Street that the Phase I public improvements have been constructed by the City as the initial Implementation Phase of the Turlock Downtown Master Plan. This document is intended to build on the foundation that has already been established and reinforced by the City in the Downtown Master Plan, Downtown Main Street Design Guidelines, and in the 1992 General Plan.

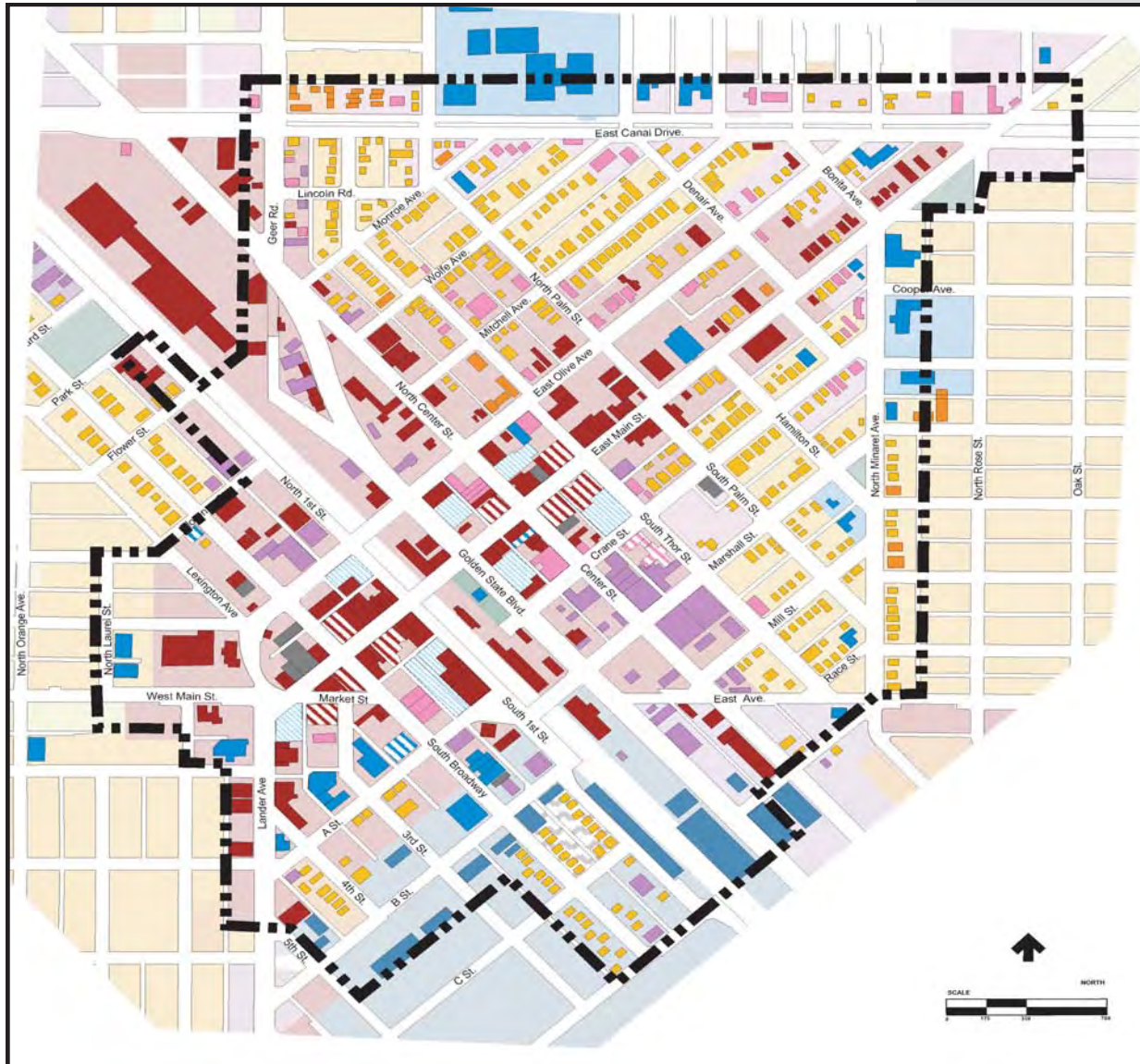
The Turlock Downtown Area, for the purposes of this document, has been defined as the general area bound by Canal Drive to the north, Geer Road/Lander Avenue to the west, East Avenue to the south and Minaret Avenue to the east. The Downtown Area generally encompasses the original historic grid that was laid out parallel and perpendicular to the First San Joaquin Valley Rail Line (now Union Pacific/Burlington Northern) that bisects the Downtown Plan Area. As new growth areas developed around the Downtown grid, streets tended to be laid out in a north, south, east, west fashion, creating a unique delineation of the Downtown Area where the two grid patterns are juxtaposed (see Figure 3). The final boundaries of the Downtown Area and subdistricts were modified through the public review process working with the Steering Committee (see Figure 4).

Downtown Turlock, being the original town site, relied almost exclusively upon the railroad for transportation of goods. Turlock relies upon the automobile to move people in and out of the Downtown Area. The focus of the City's General Plan, Downtown Master Plan and this document is to emphasize the importance on pedestrian access and accessibility throughout the Downtown Area making it a place where people will want to linger and spend time and find ease of access.

1.2 Existing Land Uses

The Downtown Plan Area is comprised of a full range of land uses from single family residential to industrial (see Figure 3). Commercial uses make up what is known at the core area (Main Street). Commercial uses extend to adjacent areas along Golden State Blvd., West Main, and Lander Ave. Traditional residential uses flank the Core Area on both sides. Some office uses also exist in and throughout the Downtown. The industrial uses are isolated to the South end of the Plan Area with some scattered residential uses.

FIGURE 3 - EXISTING CONDITIONS



EXISTING CONDITIONS

LEGEND

EXISTING LAND USE

- Low Density Residential
- Medium Density Residential
- High Density Residential
- Commercial Office
- Community Commercial
- Heavy Commercial/ Light Industrial
- Commercial Thoroughfare
- Industrial
- Parks/ Drainage Basins
- Public/ Semi - Public
- Heavy Commercial, High Density Residential & Commercial
- Vacant

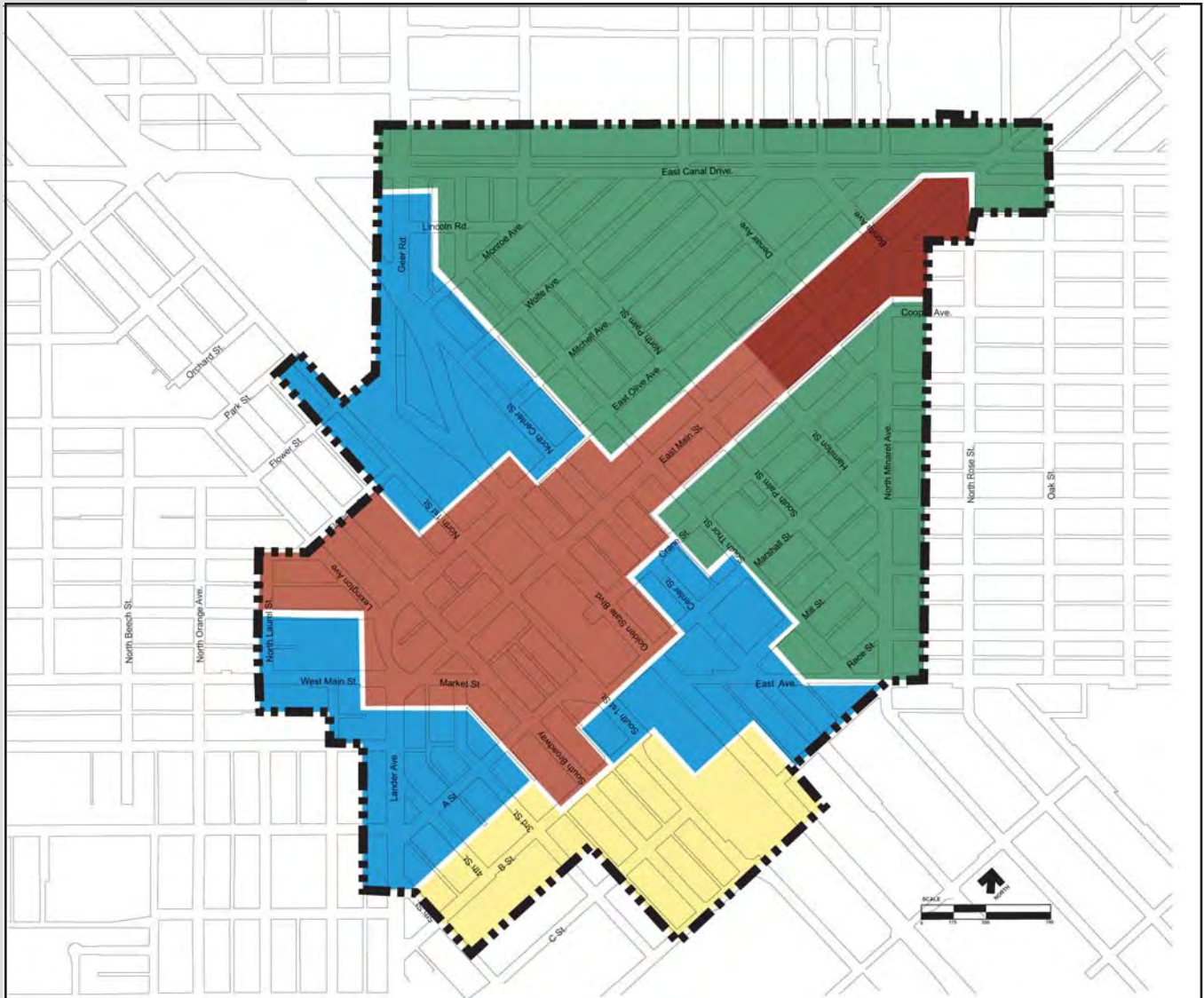
- Community Commercial - Historically Significant
- Public/ Semi - Public - Historically Significant
- Public Parking Lots
- Plan Area Boundary

EXISTING ZONING

- Low Density Residential
- Medium Density Residential
- High Density Residential
- Commercial Office
- Community Commercial
- Heavy Commercial/ Light Industrial
- Commercial Thoroughfare
- Industrial
- Parks/ Drainage Basins
- Public/ Semi - Public
- Heavy Commercial, High Density Residential & Commercial

* Note: Existing landuse development shown reflects information based on survey of downtown core, aerial photos, field work and Turlock Downtown Master Plan Land Use Plan and may not reflect detailed,







FIGURE 4 - DOWNTOWN DISTRICTS



* Note: Existing landuse development shown reflects information based on survey of downtown core, aerial photos, field work and Turlock Downtown Master Plan Land Use Plan and may not reflect detailed,

DOWNTOWN DISTRICTS

LEGEND

-  Plan Area Boundary
-  District 1 - Downtown Core
-  District 1A - Downtown Core Transition
-  District 2 - Transitional Commercial
-  District 3 - Industrial / Residential
-  District 4 - Office / Residential

1.3 Purpose

The goals for the Zoning Regulations and Design Guidelines include:

- ♦ To ensure the current and future success of the Downtown by preserving and enhancing its unique historic character and to encourage future development that is compatible with the overall feel of Downtown.
- ♦ To protect and enhance the pedestrian environment and accessibility in and around the Downtown Core Area.
- ♦ To conserve the traditional character of the immediate surrounding residential neighborhoods while guiding future development for use and reinvestment through alternative uses.
- ♦ To promote renovation of historic buildings in Downtown and promote new investment and construction.

1.4 Existing Policy Framework

The City's 1992 General Plan sets forth policy that is the supporting framework for the preparation of this document. These policies address both commercial and residential uses as a part of the Downtown Area. They include traditional residential neighborhoods that face the eminent pressure of potential conversion from residential to commercial or office land uses. The policy framework from the General Plan for residential and commercial land use is as follows:

1.4.1 Residential Policy 2.3-h

Prepare and adopt residential design guidelines (see also City Design Element).

Policy 7.3-d

Preserve the scale and character of established neighborhoods.

Policy 7.2-o

Preserve residential areas north and east of Downtown.

1.4.2 Commercial Policy 2.4-e

Make Downtown a unique shopping district emphasizing specialty shops, entertainment opportunities, restaurants and professional services.

Policy 2.4.f

Emphasize compact form and pedestrian orientation in new shopping areas.

Policy 2.4.o and 7.2-c

Implement Downtown Master Plan (TDMP)

Policy 7.2-a

Continue efforts to preserve and enhance Downtown.

Policy 7.2-b

Encourage development of Downtown as a mixed-use, day and evening activity center. Encourage office and residential development near Downtown but minimize conversion of established residences to offices.

Policy 7.2-g

Establish methods for inducing storefront rehabilitation and seismic upgrading of unsafe structures.

Policy 7.2-l

Improve access to and within Downtown. Issues addressed should include entrances to Downtown and signage.

Policy 7.2-n

Facilitate and encourage development of mixed-use projects in Downtown.

1.4.3 Street Design and Connectivity

Policy 7.4-f

Designate principle access points to Turlock which warrant special treatment and development review consideration as gateway zones. These entrances, including West Monte Vista Avenue, Golden State Boulevard, West Main Street and Lander Avenue can provide important gateway functions as visual entryways. The road segment should receive special landscape treatment to create impressionable and coordinated entries.

Policy 7.4-g

Use overlay zones to implement specific entrance-way designs and landscaping goals along designated “Gateway Routes.”

Policy 7.4-k

Prepare and implement a landscape and signage plan for Golden State Boulevard between Fulkerth and F Street in coordination with the Downtown Master Plan Guidelines, balancing design considerations with the need for Golden State to be retained as a major circulation route.

1.4.4 Historic Preservation

Policy 7.6-a

Integrate historic preservation into planning for Downtown and other areas with historic significance.

1.4.5 Urban Design Principles

Policy 7.7-a

Prepare and adopt guidelines that address the variety of urban design issues for which the General Plan establishes policies. Subject all projects except single units on existing parcels to a design and site plan review that may be conducted by City Staff.

Policy 7.7-c

Accommodate the needs of all pedestrians, bicyclists, and wheelchair-dependent persons.

While some of these policies do not specifically pertain to Downtown, they do have relevance to the Downtown Zoning District and Design Guidelines and have helped to set the framework for establishing this document.

1.5 Downtown Overlay Zone and Design Guidelines Policies

The following policies are specific to the districts that have been delineated for the Downtown Area. Each of the Districts is distinct and, therefore, the policy statements below have been identified by district and apply only to the district for which they are listed.

1.5.1 Downtown Core

- a The Downtown Turlock Main Street Design Guidelines of January 1995 shall continue to be utilized in conjunction with this document, particularly with respect to “historic architectural style”. In the event the design guidelines in this document conflict with the design guidelines in the Main Street guidelines document, this document shall supersede.
- b Preserve the Main Street pedestrian environment through appropriate land uses, zoning and design within the Downtown Core.
- c Encourage compact mixed-use development in the Downtown that is “layered” (e.g., commercial, ground floor office and residential second floor and up).
- d Undulating building heights are encouraged to break-up the vertical street wall.



FIGURE 4 - DISTRICT MAP

- PLAN AREA BOUNDARY
- DOWNTOWN CORE
- DOWNTOWN CORE TRANSITION
- TRANSITIONAL COMMERCIAL
- INDUSTRIAL/RESIDENTIAL
- OFFICE/RESIDENTIAL

- e The City shall update the parking study completed as a part of the Turlock Downtown Master Plan and determine the appropriate mechanisms necessary to ensure adequate and accessible parking in and around the Downtown Core.

1.5.2 Downtown Core Transition District

- a Preserve the lower intensity residential scale character of this transition zone while creating a visual connection to the core from the “gateway” at Canal and East Main Street by utilizing common design elements.
- b Improve area streetscape and promote pedestrian accessibility throughout this district.
- c Encourage mixed use development and land uses that are appropriate to the existing structures and character of this district.

1.5.3 Transitional Commercial

- a Allow for a variety of commercial uses and a development character consistent with a predominantly automobile-oriented commercial district with appropriately scaled and articulated architecture.
- b Create gateway elements along the Golden State Boulevard Corridor to establish the identity of the Downtown Area.
- c Encourage consistent streetscape design to unify the area and create a visual connection to the Downtown Core and to promote pedestrian accessibility along street corridors.

1.5.4 Industrial/Residential District

- a Acknowledge the significance of the agricultural industry to the City and capitalize on the unique architectural forms and character of the existing agricultural industrial buildings along Golden State Boulevard.
- b Create a gateway statement on south Golden State Boulevard through both signage and streetscape to announce the Downtown Core.
- c Promote the redevelopment and reuse of the existing large-scale agricultural industrial buildings along Golden State Boulevard with a mix of land uses that will invigorate commercial and industrial activity in the area.
- d Create an opportunity for the market to determine appropriate

land uses (i.e., industrial vs. residential) within the district. Ensure new development in the District fits into the Downtown fabric by establishing design guidelines for both industrial and residential development.

- e Encourage well-designed industrial development and compatible industrial uses.
- f Make provisions to mitigate industrial - residential interface impacts.

1.5.5 Office/Residential District

- a Preserve historic character and residential uses within the District neighborhoods.
- b Promote residential scale design for new office development.
- c Unify the area with streetscape improvements (street trees, continuous sidewalks, street lighting, etc.).
- d Maintain and enhance the pedestrian-friendly environment and accessibility.
- e Parking areas shall be concentrated toward the rear of the building. Signage shall be provided to direct autos toward the rear of the building.
- f Establish guidelines for appropriate signage of non-residential uses that is consistent throughout the district.
- g Establish methods to mitigate impacts where residential and office uses are directly adjacent to one another.
- h Changes in zoning from residential to office use shall be permitted only when the change in zoning on a given parcel is contiguous to similarly zoned property. Where a zone change is approved, the design of new office facilities will be required to respect and preserve the historic residential character of the district by complying with the District Design Guidelines.

1.6 Relationship to Other Documents

This Downtown Zoning District and Design Guidelines Document, as mentioned above built upon the foundation established by the 1992 General Plan as well as the initial effort of the City completed in conjunction with the Turlock Downtown Master Plan document. The General Plan emphasizes the importance of encouraging a mixed-

use environment in the Downtown to promote both day and evening activities with the support of office and residential development in the surrounding neighborhood. The Downtown Master Plan recommends that the Downtown be developed as a specialty retail and entertainment center. This program is intended to enable Downtown to compete more effectively with the peripheral shopping center development that has occurred in Turlock. This is accomplished by encouraging retail specialty stores that draw from a regional customer base, extending beyond the boundaries of what would otherwise be considered the primary market area. In addition, this program encourages entertainment businesses such as eating and drinking establishments and theatres that can take advantage of an appealing downtown pedestrian environment. The goal is that through this type of program, the downtown will differentiate itself from other developments by offering a combination of uses that cannot be duplicated in shopping centers.

The Downtown Zoning Regulations and Design Guidelines also relate to the City's Zoning Ordinance (Title 9) with the creation of the Downtown District Overlay Zones. Chapter 9-4 of the City's Zoning Ordinance sets up the framework for Overlay District Regulations. The Overlay Zones for the Downtown Districts will provide specific requirements for each of the district areas without changing the base zoning that exists in Downtown. An amendment to the City's Zoning Ordinance will be required to implement these Overlay Zones.

1.7 User Guide

The biggest challenge with any planning document is to make it a document that is user friendly. To accomplish this, it is important to understand who will actually use these guidelines. The following is a summary of potential users:

1.7.1 Property Owners

The Overlay Zones and Guidelines will provide property owners with a clear and simple design review and approval process. This document will work in conjunction with the General Plan Zoning Ordinance (Title 9) and the Uniform Building Code for the City of Turlock. It will provide a clear set of expectations and responsibilities for property owners.

1.7.2 Design Professionals and Developers

The Overlay Zones and Guidelines will provide a clear and graphic directive for renovation and new construction. It will serve as an information tool that can provide a link between the property owner and the designer or developer and will clarify the aspects of quality design.

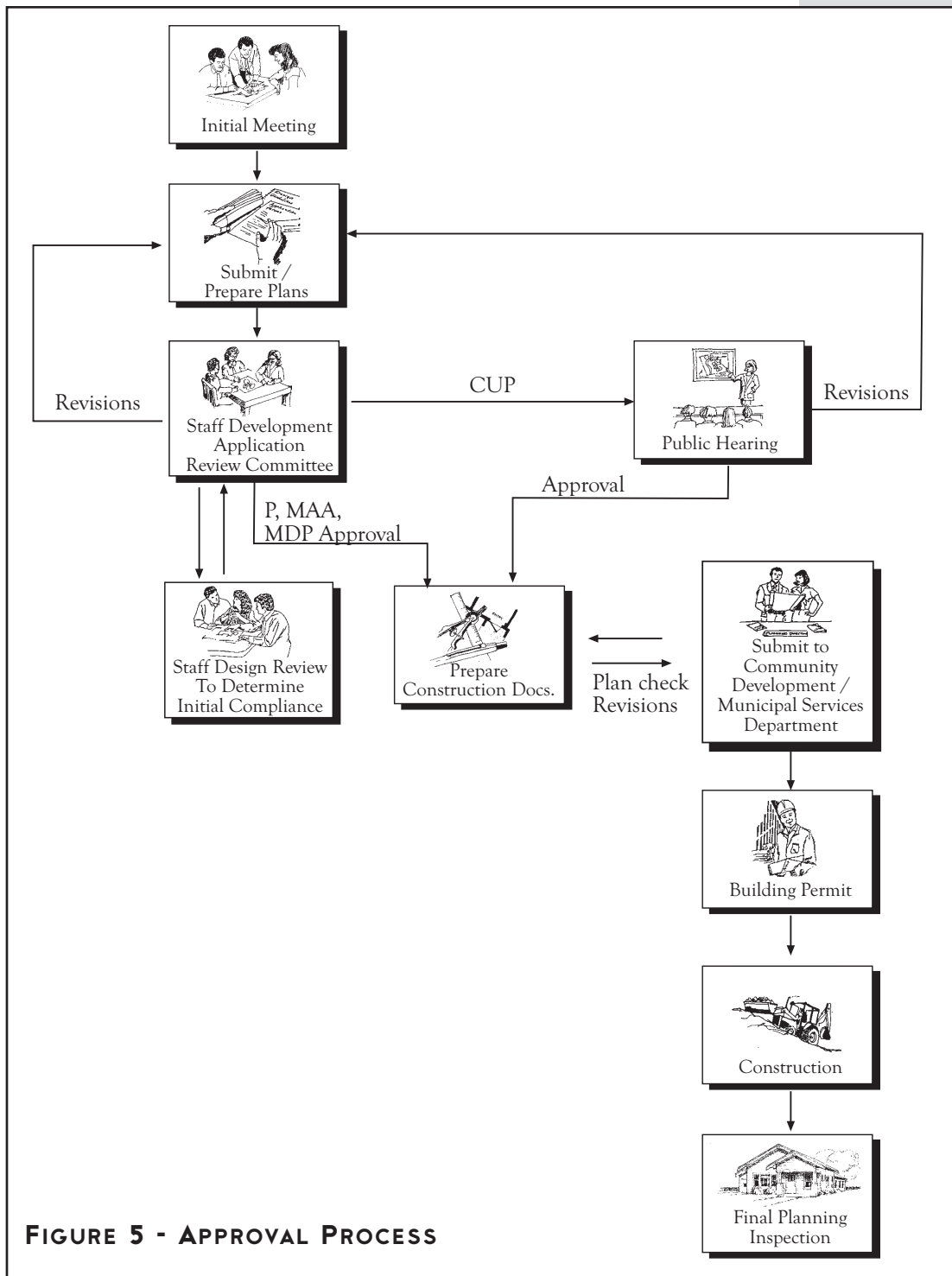


FIGURE 5 - APPROVAL PROCESS

*Refer also to 9-5-100ART, City Zoning Ordinance

1.7.3 City Staff

City Staff will utilize the Zoning Regulations and Design Guidelines in assisting applicants and their representatives with project processing. The Zoning District and Guidelines will serve as the basis for evaluating proposals for compatibility and compliance with development in the Downtown Area. City Staff will also use this document when working with the Planning Commission and the City Council.

1.7.4 Review Bodies

The Zoning Regulations and Design Guidelines will provide the Planning Commission and City Council/Redevelopment Agency with a basis for evaluating proposals for compatibility and compliance.

1.8 Application Process

All applications for building permit, sign permit, conditional use permit, variance, minor administrative permit, minor discretionary permit, or other entitlements which include a physical alteration for construction (including parking) shall be reviewed to ensure consistency with the Overlay Zoning and Guidelines. The Community Development Director or his/her designee or the Planning Commission will decide if the project is consistent with the overall intent of this document.

Design Review is implemented by the City Staff depending upon the level of permit approval required. A project may be approved at the City Staff level, Planning Commission level, or the City Council/Redevelopment Agency level.

The diagram reflected in Figure 1 depicts the application and approval process. This process coincides with the process set forth in Chapter 5 of the City of Turlock Zoning Ordinance (Title 9). The purpose of the initial meeting is to advise the project applicant of applicable Overlay Zone Requirements and Design Guidelines to ensure the appropriate reading of this document and its applicability to the subject project.

Following the initial meeting, plans are produced and submitted as part of the application process to the City. If a Public Hearing is necessary, the project goes on to the Planning Commission and/or to the City Council for approval.

Once the project has been approved in the planning process, construction documents are produced and submitted to the Building and Safety Division of the Community Development Department for a Building Permit. Upon receipt of a Building Permit, construction may begin. Finally, inspections are made and the building may be occupied.

1.9 Applicability/Review

This document applies specifically to the Downtown Area defined on Figure 4 Downtown Districts. The Zoning District Regulation requirements apply only to those sites located within the specific district. The Design Guidelines apply to the specific building or element that may be under consideration. For example, a new commercial building being proposed in the Downtown Core Overlay Zone (District 1) would have to meet the requirement set for the Downtown Core Overlay Zone and the Design Guidelines set for commercial buildings, streetscape, public spaces, landscaping and other categories of guidelines that may apply.

1.10 Organization and Use of Zoning and Guidelines

This document is organized into four parts to ease use. These four parts are as follows:

- ◆ **Chapter 1**
This section includes the discussion of the history, purpose and method of development of this document as well as the relationship to other documents and the Users Guide.
- ◆ **Chapter 2**
The Downtown Regulations and Overlay Zoning and Requirements consists of a total of five Downtown Districts each of which has an Overlay Zone Requirement specific to the particular District. These Requirements are intended to be consistent with the Base Zoning Requirements while, in some instances, being more restrictive. Some Amendments to the base zones will be necessary. Where the Overlay Zone Requirements conflict with Base Zone Requirements, the Overlay Zone Requirements will prevail.
- ◆ **Chapter 3**
This section contains the Downtown Design Guidelines. The first section includes general guidelines which apply to all of the downtown areas. Following are guidelines for each of the five downtown overlay districts. Where the guidelines contained herein conflict with guidelines or zoning elsewhere, the guidelines contained herein shall supercede.
- ◆ **Chapter 4**
This is the implementation section which includes an overview of the Design Review process and other considerations for implementation of the regulations and guidelines contained herein.

PART 2 - ZONING

Chapter 9-4 Overlay District Regulations

- 9-4-100 Downtown Overlay Regulations
- 9-4-101 Downtown Core Overlay District #1
- 9-4-102 Downtown Core Transition Overlay District #1-A
- 9-4-103 Transitional Commercial Overlay District #2
- 9-4-104 Industrial/Residential Overlay District #3
- 9-4-105 Office/Residential Overlay District #4

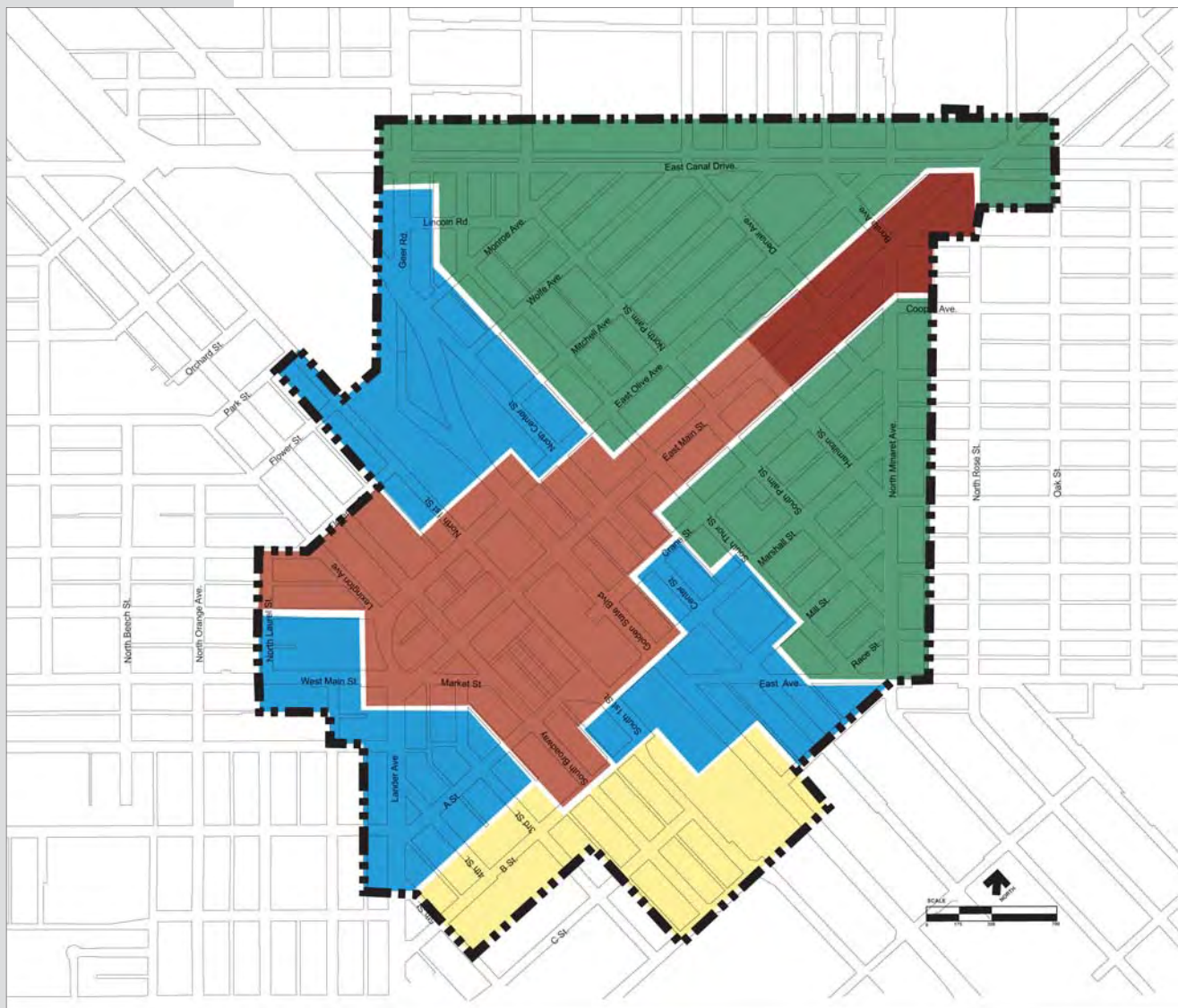
9-4-100 ART. Downtown Overlay Regulations

The following Overlay District Regulations apply specifically to the Downtown area as defined in the Turlock Downtown Zoning and Design Guidelines document. Figure 4 shows the Downtown area as well as the Overlay Regulation Districts within the Downtown area. These regulations in some cases modify the Base District Regulations for the purposes set forth herein. However, these regulations are not all inclusive and therefore must be used in concert with the balance of the City of Turlock zoning regulations. Wherever there is a conflict or contradiction in the Overlay District and Base District Regulations, the Overlay District Regulations set forth in this document shall apply.

(a) Specific Purposes

In addition to the purposes listed in Section 9-1-103, and elsewhere in each of the Base District Regulations, the purpose of the Downtown Overlay Regulations are to:







- (1) Maintain and further enhance a prominent pedestrian oriented environment throughout all the regulation districts of the Downtown.
- (2) Promote and encourage economic investment in the Downtown area.
- (3) Protect and preserve the City's historic architectural character of the Downtown Core and immediately surrounding areas.
- (4) Acknowledge the distinct opportunities that exist in the Downtown.
- (5) Ensure the economic vitality of the Downtown as the "heart" of Turlock for years to come.



* Note: Existing landuse development shown reflects information based on survey of downtown core, aerial photos, field work and Turlock Downtown Master Plan Land Use Plan and may not reflect detailed,

DOWNTOWN DISTRICTS

LEGEND

-  Plan Area Boundary
-  District 1 - Downtown Core
-  District 1A - Downtown Core Transition
-  District 2 - Transitional Commercial
-  District 3 - Industrial / Residential
-  District 4 - Office / Residential

9-4-101. DOWNTOWN CORE #1

The Downtown Core is the historic focal point of Downtown. It's a place where shopping, dining, and entertainment is encouraged and is an area where buildings shall be high density in order to achieve an urban appearance. Buildings shall range from two to four stories in height in order to encourage a mix of commercial, office, and residential uses. The design and look of the Core communicates the historic character of the City through the use of architecture and streetscape design. The following zoning is intended to preserve and enhance the historical character of the Downtown Core and the quality of public realm (streetscape, public parking, plazas, etc.) improvements. This overlay district accomplishes this through specific use requirements and development standards.

A. Specific Purposes

1. To ensure the current and future success of the Downtown Core by preserving and enhancing its unique historic character and to encourage future development and land uses that are compatible with the overall character of The Downtown Core.
2. To protect and enhance the pedestrian environment and accessibility in and around the Downtown Core Area.
3. To promote re-use and renovation of historic buildings in Downtown while promoting new investment and construction.
4. Encourage mixed-use development in the Downtown Core supporting residential and offices on the upper floors.
5. Encourage ground floor retail and restaurants on the ground level.



■ DISTRICT I -
DOWNTOWN CORE

B. Use Classifications Downtown Core District (DC)

All new or expanded uses of a site or structure, involving an expansion of floor area of 1,000 square feet or 25% of the existing building floor area, which ever is less, or the conversion of an existing residential structure to a non-residential use, are subject to design review in accordance with Article 9-5-1000. Design review shall take place concurrently with the processing of any other required permit. Compliance with the adopted design guidelines of the City of Turlock is mandatory for all commercial developments subject to design review.

Alterations or modifications to a developed site or the exterior of an existing structure are subject to review in accordance with *Article 3 of Chapter 5 of Title 9 of the Turlock Municipal Code: Minor Administrative Approvals*. The review is to ensure compliance with the established policies, standards and guidelines adopted by the Turlock City Council.

Any change in use or business within an existing structure which does not require an approved CUP, shall obtain a Zoning Certificate in accordance with *Article 9-5-100: Zoning Certificate*. The zoning certificate shall be obtained prior to the issuance of a building permit or prior to commencement of a use where no building permit is required.

Uses not contained in the following sections (C,D & E) may be permitted subject to a Conditional Use Permit. Such conditional uses must be of a similar nature and intensity as other uses in the district as determined by the Community Development Director or designee.

C. Permitted Uses:**Ground level:**

Antique shops, art galleries, artist studios if accessory to art galleries, business and professional offices, cultural institutions, financial services, government offices, personal services, printing & publishing, restaurants (including outdoor dining), retail sales, retail bakeries, and other similar uses as determined by the Community Development Director or designee.

Second floor & above:

Residential units, business and professional offices, clubs & lodges, cultural institutions, government offices, photography studios, artists' studios, medical and dental clinics, hotels and motels, research &

development services, personal services, and other similar uses as determined by the Community Development Director or designee.

D. Conditionally Permitted Uses:

Ground level:

Bars, dance hall/night clubs, live entertainment, fortune telling, and other similar uses as determined by the Community Development Director or designee.

Second floor & above:

Day care centers, religious assembly uses, trade schools, dance schools, all those uses conditionally permitted at ground level, and other similar uses as determined by the Community Development Director or designee.

E. Prohibited Uses:


Automobile sales, service, repair or washing, restaurants (drive through), industry (limited or general), utilities (major and minor), ambulance services, convenience gas mart, outdoor storage, funeral & internment services, rental storage facilities, second hand stores, travel trailer or mobile home parks, salvage and wrecking operations, warehousing, and other similar uses as determined by the Community Development Director or designee.

F. Development Standards

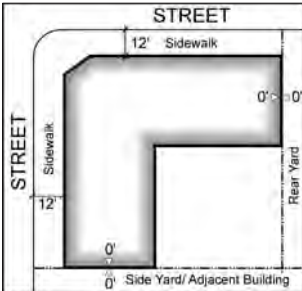
DOWNTOWN CORE OVERLAY ZONE (DC) 9-4-101

CATEGORY	REGULATION	INTERPRETATION
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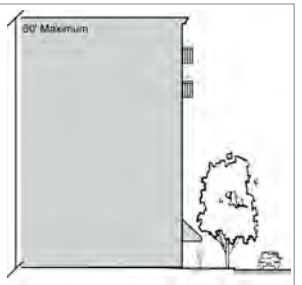
LAND USE

Applicable Base Zone	CC	
Max Lot Coverage:	100% <i>*Intensity of the allowable building coverage of the lot area. See design guidelines for how to handle frontage treatments.</i>	
Floor Area Ratio:	3.0 for Mixed-Use 1.0 for Retail Commercial <i>*Floor Area Ratio (FAR) is the ratio of building area to parcel area</i>	
Permitted Uses:	Refer to Section 9-4-101 C of this chapter	
Conditional Uses:	Refer to Section 9-4-101 D of this chapter	

SETBACKS

Front Yard:	0 feet maximum <i>*except for plazas, courtyards, entries or outdoor dining</i>	
Side Yards:	0 feet minimum	
Rear Yard:	0 feet minimum	
Corner Lot Side Yard:	0 feet minimum	
Distance Between Buildings:	0 feet	

BUILDING MASSING


Building Height:	60 feet maximum	
Landscaping:	0% of lot area <i>*may include hardscape, plazas, courtyard areas, and planters</i>	

PARKING

Parking Requirements:	Off-street parking not required in the Downtown Core Overlay Zone
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SIGNAGE

Signage in accordance with TMC 9-2-500ART (Signs) except:

Freestanding Signs	No freestanding signs are permitted, except for tenant directory signs which may only be placed within a courtyard, plaza, or entry. Any freestanding signs shall be single sided, shall be limited to six (6') feet in overall height, shall not exceed three (3') feet in width, shall be placed within a landscaped bed, and shall be made from the same materials as other signs on the site.	
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SIGNAGE CONTINUED

Restaurant Menu Signs

Restaurant Menu Signs shall be permitted and shall be located in a permanently mounted display box on the surface of the building adjacent to the entry. Taping a menu to a box is not an appropriate menu sign. The allowable area for restaurant menu signs shall be a maximum of 6 square feet. For special circumstances in which restaurants occupy a considerable amount of window space, menus are to be decoratively displayed in the window adjacent to the entry. Such signs will not be included in the sign area calculation for the business.



Wall Signs

Wall Signs shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting material is preferred over internal illumination. Cabinet signs are prohibited.



Projecting Signs

Projecting Signs shall not exceed two (2') feet by two (2') feet in size and shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting material is preferred over internal illumination. Cabinet signs are prohibited. Projecting signs shall not be included in the sign area calculation for the building.



A-Frame Signs

A-Frame Signs shall be permitted provided the sign complies with the following size and design requirements:

- No A-Frame Sign shall have more than two sides
- The overall size of the sign, including frame, shall not exceed two (2') feet in width and four (4') feet in height
- The sign shall be constructed of materials similar to those found on the building and/or the wall signs
- The sign shall not be placed on the public sidewalk in such a manner as to obstruct public access, including ADA accessibility requirements

A-Frame signs shall not be included in the sign area calculation for the building



OTHER

Design: Compliance with the Downtown Core District Design Guidelines section of this document (Chapter 3-1) is required.

9-4-102. DOWNTOWN CORE TRANSITION #1A

The Downtown Core Transition District is a contrast to the historic urban feel of the Downtown Core with ample setbacks, mature trees lining the streets, and low-intensity residential and office structures. Yet, located along the East Main Corridor, this district is an important link and gateway opportunity for the Downtown Core. The Downtown Core Transition District’s “residential scale” is to be preserved while creating a unifying streetscape character that ties this area to the Downtown Core. Consideration of gateway features and strengthened pedestrian orientation are priorities for this district. All new uses, construction, reconstruction, and remodels shall be subject to these regulations.

A. Specific Purposes

1. Preserve the lower intensity residential scale character of this transition area while maintaining the importance of this link to the Downtown Core.
2. Encourage mixed use development and land uses that are appropriate for the existing structures and character of this district.
3. To encourage pedestrian accessibility and orientation.

 DISTRICT 1A -
DOWNTOWN CORE
TRANSITION



B. Use Downtown Core Transition District (DCT)

All new or expanded uses of a site or structure, involving an expansion of floor area of 1,000 square feet or 25% of the existing building floor area, which ever is less, or the conversion of an existing residential structure to a non-residential use, are subject to design review in accordance with Article 9-5-1000. Design review shall take place concurrently with the processing of any other required permit. Compliance with the adopted design guidelines of the City of Turlock is mandatory for all commercial developments subject to design review.

Alterations or modifications to a developed site or the exterior of an existing structure are subject to review in accordance with *Article 3 of Chapter 5 of Title 9 of the Turlock Municipal Code: Minor Administrative Approvals*. The review is to ensure compliance with the established policies, standards and guidelines adopted by the Turlock City Council.

Any change in use or business within an existing structure which does not require an approved CUP, shall obtain a Zoning Certificate in accordance with *Article 9-5-100: Zoning Certificate*. The zoning certificate shall be obtained prior to the issuance of a building permit or prior to commencement of a use where no building permit is required.

Uses not contained in the following sections (C, D & E) may be permitted subject to a Conditional Use Permit. Such conditional uses must be of a similar nature and intensity as other uses in the district as determined by the Community Development Director or designee.

C. Permitted Uses:

Business & Professional Offices, medical and dental offices and clinics, restaurants, residences, photography studios, artists studios, art galleries, public uses, government offices, day care centers, personal services, private schools, dance schools, and financial institutions, single and multi-family residential and other similar uses as determined by the Community Development Director or designee.

All residential uses shall comply with the standards for the Residential Medium Density (R-M) zoning regulations, unless authorized in accordance with *Article 9-5-600: Conditional Use Permits and Variances*. (See Director's Interpretation 99-02)

D. Conditionally Permitted Uses:

Clubs and lodges, religious assembly uses, gas stations (including convenience gas marts), mixed use projects, nurseries, and other similar uses as determined by the Community Development Director or designee.


All residential uses shall comply with the standards for the Residential Medium Density (R-M) zoning regulations, unless authorized in accordance with *Article 9-5-600: Conditional Use Permits and Variances*. (See also Director's Interpretation 99-02)

E. Prohibited Uses:

Auto sales, auto service and repairs, drive through restaurants, equipment sales, service, and/or rentals, industrial uses, maintenance services, outdoor storage, rental storage facilities,

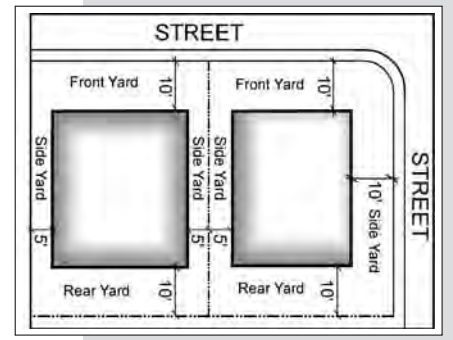
F. Development Standards

DOWNTOWN CORE TRANSITION OVERLAY ZONE (DC) 9-4-102

CATEGORY	REGULATION	INTERPRETATION
LAND USE		
Applicable Base Zone	CO & CC	
Maximum Building Lot Coverage:	60% <i>*Intensity of the allowable building coverage of the lot area</i>	
Floor Area Ratio:	C-O = 1.0 C-C = 1.0 <i>*Floor Area Ratio (FAR) is the ratio of building area to parcel area</i>	
Permitted Uses:	<i>*Refer to section 9-4-102 C of this chapter</i>	
Conditional Uses:	<i>*Refer to section 9-4-102-D of this chapter</i>	

SETBACKS

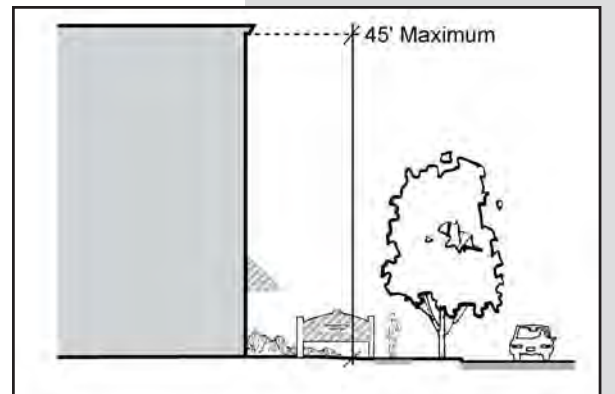
Front Yard:	C-O = 10' min.	C-C = 10' min.
Side Yards:	C-O = 5' min.*	C-C = 5' min.*
Rear Yard:	C-O = 10' *	C-C = 10' min.*
Corner Lot Side Yard:	C-O = 10'	C-C = 10' min.



**When adjacent to residential, a six foot decorative masonry wall is required along the property boundary.*

BUILDING MASSING

Building Height:	45 feet maximum
Landscaping:	25% of lot area for C-O 25% of lot area for C-C <i>*may include hardscape, plazas, courtyard areas, and planters</i>



PARKING

Parking Requirements:	50% of the parking requirements as set forth in Section 209 of Chapter 2 of Title 9 (Zoning).
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Parking shall be located off of alley access to the rear of the building unless the applicant can demonstrate it is infeasible to do so.

SIGNAGE

Signage in accordance with TMC 9-2-500ART (Signs) except:

Freestanding Signs

Freestanding Signs shall not exceed six (6') feet in overall height, measured from grade, may be internally illuminated, but external illumination is preferred, installed within a landscaped bed, and constructed of materials designed to complement the primary structure.



Wall Signs

Wall Signs shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting material is preferred over internal illumination. Cabinet signs are prohibited.



A-Frame Signs

A-Frame Signs shall be permitted provided the sign complies with the following size and design requirements:

- No A-Frame Sign shall have more than two sides
- The overall size of the sign, including frame, shall not exceed two (2') feet in width and four (4') feet in height
- The sign shall be constructed of materials similar to those found on the building and/or the wall signs
- The sign shall not be placed on the public sidewalk in such a manner as to obstruct public access, including ADA accessibility requirements



A-Frame signs shall not be included in the sign area calculation for the building

OTHER

Design:

Compliance with the Downtown Core Transition District Design Guidelines section (Chapter 3-1A) is required.

9-4-103. TRANSITIONAL COMMERCIAL #2

The Transitional Commercial areas lay north, south, and west of the Downtown Core. These areas contain office and commercial buildings that cater to the auto-oriented consumer. These areas also serve as the main gateways into the downtown core and shall be designed to establish a good first impression of the downtown area. This can be accomplished by incorporating gateway signage and landscaping, providing a unified streetscape design, regulating signage, and screening parking. The following regulations are set forth to encourage a community character that will support the charm and character of the Downtown Core.

A. Specific Purposes

1. Allow for a variety of commercial uses and an architectural character consistent with a predominantly automobile oriented commercial district with appropriately scaled architecture.
2. To enhance aesthetics through improved landscape, landscaping, and architectural forms.
3. Create a pedestrian friendly and accessible commercial district environment.



■ DISTRICT 2 -
TRANSITIONAL
COMMERCIAL

B. Use Classifications Transitional Commercial (TC):

All new or expanded uses of a site or structure, involving an expansion of floor area of 1,000 square feet or 25% of the existing building floor area, which ever is less, or the conversion of a residential structure to a non-residential use, are subject to design review in accordance with Article 9-5-1000. Design review shall take place concurrently with the processing of any other required permit. Compliance with the adopted design guidelines of the City of Turlock is mandatory for all commercial developments subject to design review.

Alterations or modifications to a developed site or the exterior of an existing structure are subject to review in accordance with *Article 3 of Chapter 5 of Title 9 of the Turlock Municipal Code: Minor Administrative Approvals*. The review is to ensure compliance with the established policies, standards and guidelines adopted by the Turlock City Council.

Any change in use or business within an existing structure which does not require an approved CUP, shall obtain a Zoning Certificate in accordance with *Article 9-5-100: Zoning Certificate*. The zoning certificate shall be obtained prior to the issuance of a building permit or prior to commencement of a use where no building permit is required.

Uses not contained in the following sections (C,D & E) may be permitted subject to a Conditional Use Permit. Such conditional uses must be of a similar nature and intensity as other uses in the district as determined by the Community Development Director or designee.

C. Permitted Uses:

Automobile sales, automobile service, automobile repair (minor), animal boarding, animal grooming, animal hospitals, building materials & services, business and professional offices, convenience gas marts, cultural institutions, day care centers, financial institutions, food and beverage sales (less than 10,000 sf), funeral and internment services, government offices, hardware stores, health and recreation centers, hotels and motels, laundries (limited or self serve), medical and dental clinics, nurseries, personal services, recycling facility (small), residential (single and multi-family), retail sales, restaurants (including drive through), second hand stores, and other similar uses as determined by the Community Development Director or designee.

D. Conditionally Permitted Uses:

Automobile repair (major), bars, commercial recreation & entertainment, convalescent hospitals (including nursing homes and assisted living facilities), dance halls, equipment sales, service and rental, food and beverage sales (greater than 10,000 sf), interim housing, hospitals, nightclubs, outdoor storage, pawn shops, religious assembly uses, and other similar uses as determined by the Community Development Director or designee.

E. Prohibited Uses:

Equipment sales, service, and rentals, industrial uses, maintenance services, outdoor storage, rental storage facility.

F. Development Standards

TRANSITIONAL COMMERCIAL OVERLAY ZONE #2 9-4-103

CATEGORY	REGULATION	INTERPRETATION
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LAND USE

Applicable Base Zone	CC
Max Lot Coverage:	45% <i>*Intensity of the allowable building coverage of the lot area. See design guidelines for how to handle frontage treatments.</i>
Floor Area Ratio:	0.6 <i>*Floor Area Ratio (FAR) is the ratio of building area to parcel area</i>
Permitted Uses:	Refer to Section 9-4-103 C of this chapter
Conditional Uses:	Refer to Section 9-4-103 D of this chapter

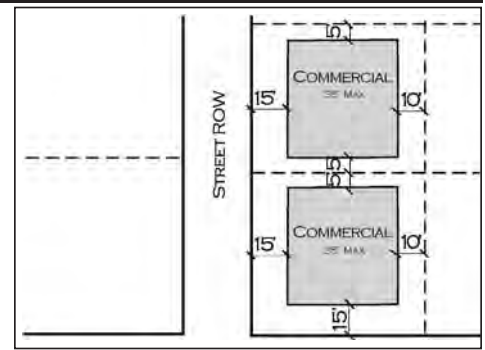


SETBACKS

Front Yard:	15 feet maximum* <i>*except for plazas, courtyards, entries or outdoor dining</i>
Side Yards:	5 feet minimum*
Rear Yard:	10 feet minimum*
Corner Lot Side Yard:	15 feet minimum

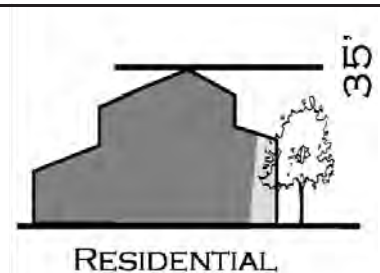
Setback area shall be landscaped

* Seven foot high decorative masonry walls shall be used when adjacent to residential uses or residential zoned property



BUILDING MASSING

Building Height:	35 feet maximum
Landscaping:	25% of lot area <i>*may include hardscape, plazas, courtyard areas, and planters</i>



PARKING

Parking Requirements:	Refer to City of Turlock's parking requirements in section 9-2-200 of the Turlock Municipal Code
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SIGNAGE

Signage in accordance with TMC 9-2-500ART (Signs) except:

Sites that support an auto-servicing use, such as automobile fueling/convenience gas mart, auto sales, auto repair, and the like may incorporate freestanding monument signs within the required landscaping. Such signs shall not exceed six (6') feet in overall height, measured from grade, and may be internally illuminated. All materials for the sign shall be complementary to the primary structure. Otherwise, all signs within this district shall be permanently affixed to the wall of the primary structure. All wall or projecting signs shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting material is preferred over internal illumination. Cabinet signs are prohibited.

No portable A-frame style signs shall be permitted.



9-4-104 INDUSTRIAL/RESIDENTIAL #3

The Industrial/Residential area lies in the southwest sector of the downtown. This is a unique opportunity area to capitalize on the industrial character of the existing agricultural related buildings. Many vacant and under utilized sites currently occupy this district, however multi-family infill buildings, mixed use buildings, and enhanced streetscapes will help to liven up the area. There is also an opportunity to create an industrial gateway to the downtown core by providing gateway signage and improved landscaping along Golden State Boulevard. The following district regulations address the unique land use opportunities in this area by providing for market forces to work while addressing inherent land use conflicts.

A. Specific Purposes

1. Encourage economically viable re-use of existing agricultural/ industrial buildings.
2. Create opportunities for the market to determine appropriate land uses while preventing inherent land use conflicts.



**DISTRICT 3 -
INDUSTRIAL
RESIDENTIAL**

B. Use Classifications Industrial / Residential District (IR)

All new or expanded uses of a site or structure, involving an expansion of floor area of 1,000 square feet or 25% of the existing building floor area, which ever is less, or the conversion of a residential structure to a non-residential use, are subject to design review in accordance with Article 9-5-1000. Design review shall take place concurrently with

the processing of any other required permit. Compliance with the adopted design guidelines of the City of Turlock is mandatory for all commercial developments subject to design review.

Alterations or modifications to a developed site or the exterior of an existing structure are subject to review in accordance with *Article 3 of Chapter 5 of Title 9 of the Turlock Municipal Code: Minor Administrative Approvals*. The review is to ensure compliance with the established policies, standards and guidelines adopted by the Turlock City Council.

Any change in use or business within an existing structure which does not require an approved CUP, shall obtain a Zoning Certificate in accordance with *Article 9-5-100: Zoning Certificate*. The zoning certificate shall be obtained prior to the issuance of a building permit or prior to commencement of a use where no building permit is required.

Uses not contained in the following sections (C,D &E) may be permitted subjected to a Conditional Use Permit. Such conditional uses must be of a similar nature and intensity as other uses in the district as determined by the Community Development Director or designee.

C. Permitted Uses:

Ambulance services, animal hospitals, automobile repair (minor and major), automobile storage (see 9-2-112), bakeries (wholesale), Building materials and services, day care centers, government offices, industry (limited), interim housing, outdoor storage, parking lots, printing (limited and unlimited), , residential (single and multi family), trade schools, vehicle washing, warehousing, and other similar uses as determined by the Community Development Director or designee.

D. Conditionally Permitted Uses:

Commercial recreation and entertainment, convenience gas mart, emergency shelters, mixed use projects, nightclubs and dance halls, private schools, religious assembly uses, restaurants, transitional housing, and other similar uses as determined by the Community Development Director or designee.

E. Prohibited Uses:

Financial services, office uses (unless accessory to a permitted use), retail sales.

F. Development Standards

INDUSTRIAL RESIDENTIAL OVERLAY ZONE #3 9-4-104

CATEGORY	REGULATION		INTERPRETATION
LAND USE	INDUSTRIAL	RESIDENTIAL	
Applicable Base Zone	I	I	
Maximum Building Lot Coverage:	35%	50%	
Floor Area Ratio:	I = .4 <i>*Floor Area Ratio (FAR) is the ratio of building area to parcel area</i>	Residential = .75	
Permitted Uses:	<i>*Refer to section 9-4-104 C of this chapter</i>		
Conditional Uses:	<i>*Refer to section 9-4-104-D of this chapter</i>		

SETBACKS

	INDUSTRIAL	RESIDENTIAL	
Front Yard:	15' min.	10' min.**	
Side Yards:	5' min.*	5' min.*	
Rear Yard:	10' *	10' min.*	
Corner Lot Side Yard:	15'	10' min.	

**When adjacent to residential, a seven foot decorative masonry wall is required along the property boundary.*
*** 20' to garage for single family residential units*

BUILDING MASSING

Building Height:	50 feet maximum Industrial 35 feet maximum Residential	
Landscaping:	25% of lot area for Industrial 25% of lot area for Residential <i>*may include hardscape, plazas, courtyard areas, and planters</i>	
Parking Requirements:	50% of the parking requirement set forth in the City of Turlock's Zoning Ordinance, section 9-2-209 for off-street parking requirements.	

PARKING REQUIREMENTS

Industrial	Refer to parking requirements in section 9-2-200 of the Turlock Municipal Code.
Residential	Single Family Residential = min.. 2 spaces/unit Multi-Family Residential - refer to parking requirements in section 9-2-200 of the Turlock Municipal Code.

SIGNAGE

Signage in accordance with TMC 9-2-500ART (Signs) except:		
Freestanding Signs	Freestanding Signs shall not exceed six (6') feet in overall height, measured from grade, may be internally illuminated, but external illumination is preferred, installed within a landscaped bed, and constructed of materials designed to complement the primary structure.	
Wall Signs	Wall Signs shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting material is preferred over internal illumination. Cabinet signs are prohibited. No portable A-frame style signs shall be permitted.	

9-4-105 OFFICE/RESIDENTIAL DISTRICT #4

The intent of the office/residential district is to preserve the character of the traditional residential neighborhoods while providing for the orderly and logical conversion or transition to compatible office uses as the market allows. The office/residential district area shall maintain its character as a traditional residential neighborhood through the preservation of historic residential structures and the establishment of guidelines for new construction, remodels and renovation that will ensure a residential scale and character. The pedestrian friendly environment in this area is also a priority. Unifying the streets with street trees and continuous sidewalks will further enhance the pedestrian friendly environment. Streetscape elements consistent with the Downtown Core elements such as; street lights, trash receptacles, and benches placed in appropriate locations will visually unify and tie together this district to the Core.

A. Specific Purposes

1. Preserve historic character of buildings and residential character of the District.
2. Promote residential scale design for new office development.
3. Maintain and enhance a pedestrian friendly environment.

 DISTRICT 4 - OFFICE/RESIDENTIAL



B. Use Classifications Office / Residential (RO):

All new or expanded uses of a site or structure, involving an expansion of floor area of 1,000 square feet or 25% of the existing

building floor area, which ever is less, or the conversion of an existing residential structure to a non-residential use, are subject to design review in accordance with Article 9-5-1000. Design review shall take place concurrently with the processing of any other required permit. Compliance with the adopted design guidelines of the City of Turlock is mandatory for all commercial developments subject to design review.

Alterations or modifications to a developed site or the exterior of an existing structure are subject to review in accordance with *Article 3 of Chapter 5 of Title 9 of the Turlock Municipal Code: Minor Administrative Approvals*. The review is to ensure compliance with the established policies, standards and guidelines adopted by the Turlock City Council.

Any change in use or business within an existing structure which does not require an approved CUP, shall obtain a Zoning Certificate in accordance with *Article 9-5-100: Zoning Certificate*. The zoning certificate shall be obtained prior to the issuance of a building permit or prior to commencement of a use where no building permit is required.

Uses not contained in the following sections (C,D & E) may be permitted subjected to a Conditional Use Permit. Such conditional uses must be of a similar nature and intensity as other uses in the district as determined by the Community Development Director or designee.

C. Permitted Uses:

Business and professional offices, cultural institutions, day care centers, medical and dental clinics, personal services, residential (single and multi-family) and other similar uses as determined by the Community Development Director or designee.

D. Conditionally Permitted Uses:


Convalescent hospitals (including nursing homes and assisted living facilities), financial institutions, interim housing, hospitals, mixed use projects, neighborhood stores, religious assembly uses, restaurants (including delicatessens), and other similar uses as determined by the Community Development Director or designee.

E. Prohibited Uses:

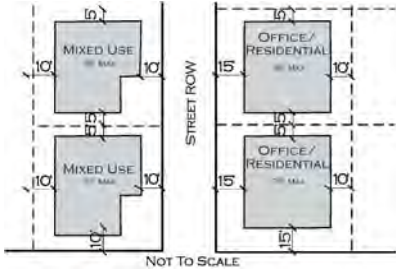
Auto sales, service, and repairs, drive through restaurants, drive through personal services, industrial uses, outdoor storage, rental storage facilities, retail sales, and other similar uses.

F. Development Standards

OFFICE/RESIDENTIAL OVERLAY ZONE #4 9-4-105

CATEGORY	REGULATION		INTERPRETATION
LAND USE	OFFICE/RESIDENTIAL	MIXED USE	
Applicable Base Zone	CO, R-L	CO, R-L	
Max Building Lot Coverage:	40%	60%	
	*Intensity of the allowable building coverage of the lot area. See design guidelines for how to handle frontage treatments.		
Floor Area Ratio:	.6 for Office/Residential .8 for Mixed Use		
Permitted Uses:	Refer to Section 9-4-105 C of this chapter		
Conditional Uses:	Refer to Section 9-4-105 D of this chapter		

SETBACKS

	OFFICE/RESIDENTIAL	MIXED USE	
Front Yard:	15 feet min. <i>*except for plazas, courtyards, entries or outdoor dining</i>	10 feet min.	 <p>NOT TO SCALE</p>
Side Yards:	5 feet min.*	5 feet min.	
Rear Yard:	10 feet min.*	10 feet min.	
Corner Lot Side Yard:	10 feet min.	10 feet min.	

BUILDING MASSING

Building Height:	35 feet maximum
Landscaping:	30% of lot area. Refer also to City's Landscape Master Plan



PARKING REQUIREMENTS

Office	50% of the required number of parking spaces for office uses found in section 9-2-200 of the Turlock Municipal Code On-street parking directly abutting property may be applied to meet office parking requirements
Residential	Single family residential = 2 spaces/unit

SIGNAGE

Signage in accordance with TMC 9-2-500ART (Signs) except:

Freestanding Signs Freestanding Signs shall not exceed four (4') feet in overall height, measured from grade, may be externally illuminated, installed within a landscaped bed, and constructed of materials designed to complement the primary structure.

Wall Signs Wall Signs shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting fixtures is permitted. Cabinet signs are prohibited.

No portable A-frame style signs shall be permitted.



3 GENERAL DESIGN GUIDELINES

GENERAL DESIGN GUIDELINES FOR DOWNTOWN TURLOCK

Building facades that have a sense of cohesiveness and aesthetic pride can encourage shopping, increase one’s sense of security, and generate pedestrian activity; all of which is essential and necessary for Downtown Turlock to thrive. Many building facades in downtown Turlock have a charming historic architectural style reminiscent of the mid to early 1900’s as well as several art-deco style buildings peppered among them. In addition, there are some newer buildings that are scattered throughout the downtown area, a few of which, have architectural styles that are inconsistent with the historic theme or have failed the test of time. While these guidelines are intended to provide a general framework for design and do not mandate specific architectural styles, themes or details; new developments shall take into consideration the existing historic architectural theme and style. The user should know that while individual and guideline conformance is flexible, the overall intent of the design guidelines presented in this document is NOT optional. However, these guidelines are not binding and the City will be open to considering innovative, alternative design concepts that reinforce the intent expressed herein. These guidelines shall be applied to any type of new construction or physical change in the building’s appearance within the Downtown District boundaries defined by Figure 4. Refer to the Application Process on page 1-12 for further information.

Exterior Building Materials & Colors

These guidelines are intended to build upon the guidelines provided in the Materials and Colors section of each downtown overlay zone district. The basic recommendations for color and material selection shall be reviewed in conjunction with this section.

Exterior Materials

The following listings of appropriate and inappropriate materials were developed based upon the professional judgment and opinions of those involved in the development of these guidelines. The materials listed as “appropriate” have generally stood the test of time to have desirable aesthetic qualities, while those listed as “inappropriate” have failed to do so. Certain materials have been omitted because their success or failure has more to do with the overall design, rather than the materials themselves.

These listings are intended to provide general guidance, and are not intended to be exhaustive; designers should not feel that they must limit their material palette to the following selections. New materials and refined fabrication methods are continually being introduced and Turlock encourages designers to take advantage of these innovations.



THIS BUILDING CONTAINS MANY GOOD DESIGN ELEMENTS SUCH AS CORNER EMPHASIS, OUTDOOR EATING AREAS, AND WELL COORDINATED BUILDING COLORS AND MATERIALS



ATTRACTIVE BUILDING FACADES HAVE VARYING TEXTURES, COLORS, AND WALL PLANES.



NATIVE STONE MATERIALS HAVE HELPED TO MAKE THIS AN ATTRACTIVE PUBLIC SPACE.



HISTORIC BUILDINGS WITH ELABORATE BUILDING CORNICES HAVE HELPED TO ARCHITECTURALLY DEFINE DOWNTOWN TURLOCK



METAL CORRUGATED SIDING, METAL OVERHANGS, AND GOOSE-NECK LIGHTING MAKE THIS AN ATTRACTIVE INDUSTRIAL BUILDING



VARIED FORMS AND ROOFLINES ARE ENCOURAGED

Appropriate Primary Wall Surfaces

- ◆ Native stone veneer
- ◆ Cement plaster stucco
- ◆ Smooth and hand-troweled stucco
- ◆ Tile (used at base or for accent only)
- ◆ Rough, split-face masonry
- ◆ Wood siding/ shingles
- ◆ Cement/ fiber siding (6", 8", or 12" horizontal siding)
- ◆ Brick

Inappropriate Primary Wall Surfaces

- ◆ T-111 Siding (4'x8' plywood sheets with vertical grooves at 8"-12" increments)
- ◆ Highly polished materials
- ◆ Mirror or heavily tinted glazing
- ◆ Corrugated metal/ fiberglass panels
- ◆ Metal siding
- ◆ Spray-on or knock-down stucco

Appropriate Wall Articulation and Accents:

- ◆ Accent tile
- ◆ Stucco corbels², lintels³, sills⁴
- ◆ Timber lintels, sills, corbels
- ◆ Clay tile vents
- ◆ Wood vents
- ◆ Recessed niches
- ◆ Colonnade
- ◆ Wrought Iron
- ◆ Wood trellises/ shading devices

Appropriate Roofing Materials

- ◆ Dimensional asphalt/ composite shingles
- ◆ Metal roofing
- ◆ "Cool Roof" built-up roofing

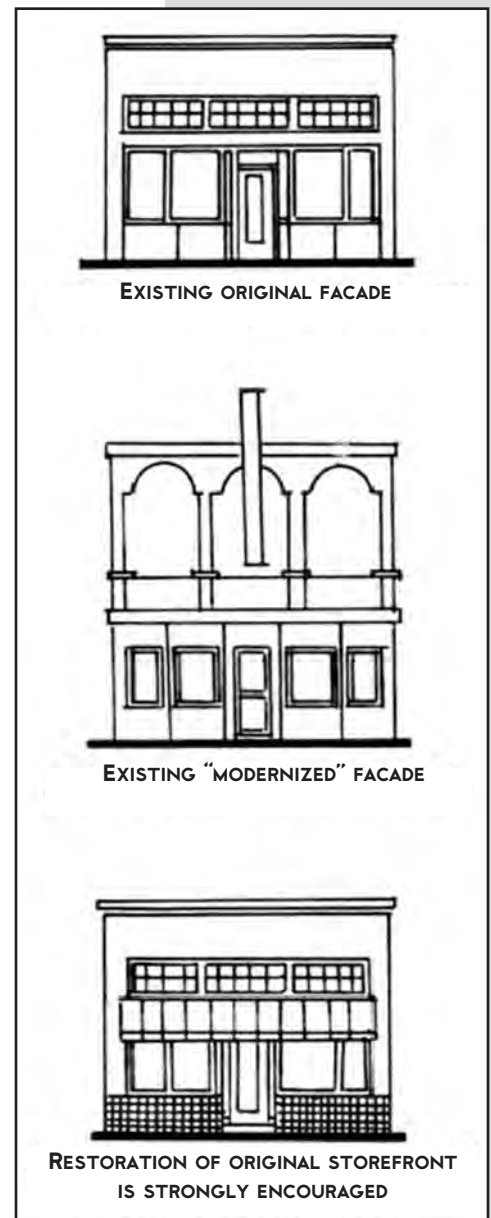
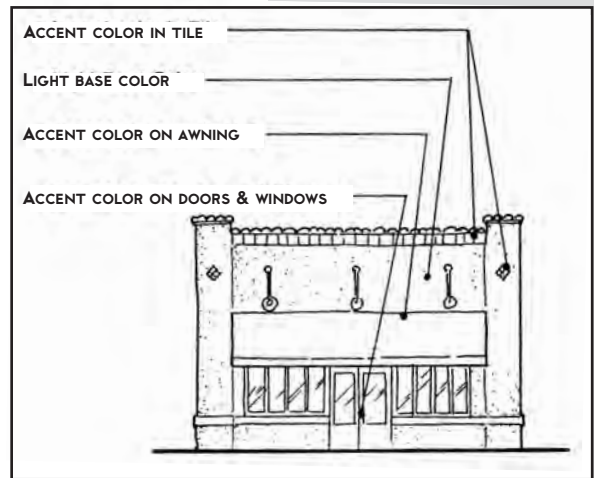
Exterior Colors

- ◆ Light, subtle, earth tones such as tan, beige, sand, and cream used in conjunction with bold, rich complementary accents are appropriate color choices.
- ◆ Simple color schemes involving a maximum of 3 colors are recommended.
- ◆ Bright colored and stark white walls are discouraged.
- ◆ Certain materials, such as stone and brick, have distinct coloring in their natural state and shall be thought of as an element of the color palette used. These materials shall not be painted.
- ◆ Brighter colors shall be used as accents.

Design Considerations

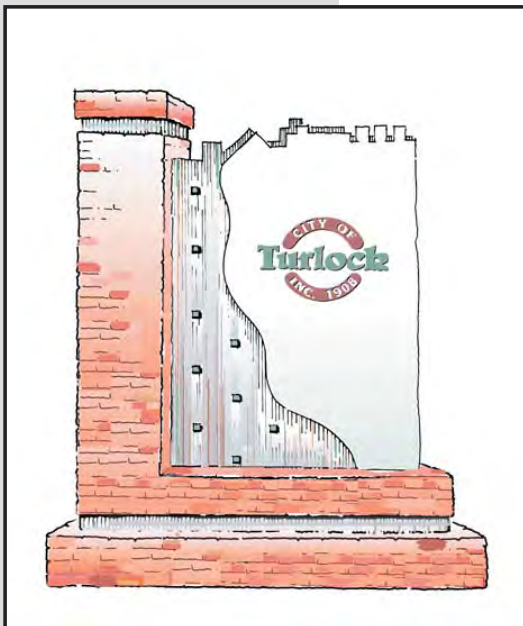
Many existing developments within the community are in need of renovation. Façade and character upgrades can make a dramatic difference in the attractiveness and desirability of a retail piece of property. Simple cosmetic changes such as painting, incorporating appropriate signage and lighting, and installing shading devices can significantly improve the appearance of the building. The removal of unsafe and unsightly building components, such as deteriorated stucco, mansard roofs, and other materials, will also greatly enhance the aesthetics of the entire community.

- ¹ Decorative-corrugated metal siding may be appropriate for industrial buildings if they fit within the character of the district.
- ² A projection of one of a series of projections, each stepped progressively outward with increasing height, and usually projecting from a wall or chimney.
- ³ A horizontal structural member (such as a beam) over an opening.
- ⁴ A horizontal member, at the bottom of the frame of a wood structure





THE WESTERN ENTRY INTO DOWNTOWN TURLOCK COULD BE ENHANCED WITH A GATEWAY SIGN FEATURE SIMILAR TO THE EXAMPLES BELOW.



VARYING MATERIALS AND TEXTURES HELP TO MAKE A CAPTIVATING GATEWAY SIGN



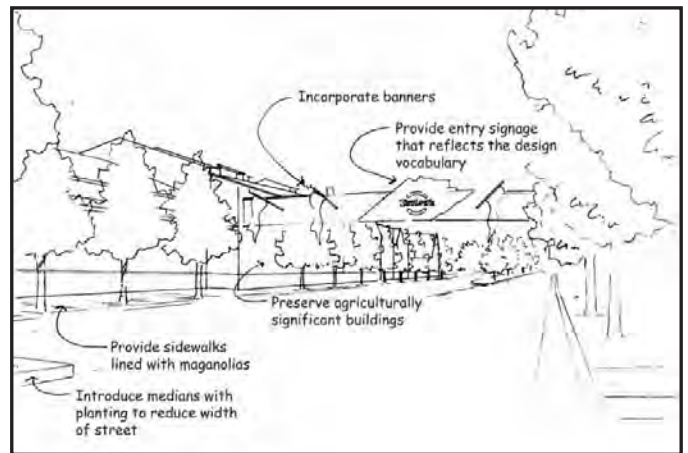
GATEWAY SIGNS PLACED IN THE MEDIAN BENEFIT DRIVERS GOING BOTH DIRECTIONS

Gateways

Gateways are intended to identify primary entrances into the Downtown Core. Incorporation of “gateway scenes” at the defined gateway locations (see figure 5) will function as a visual anchor to clearly identify the area as a gateway. “Gateway scenes” shall be composed of specific elements that serve to provide a sense of arrival, reaffirm direction and reinforce the identity and character of Downtown Turlock. Placement and consistency of gateway monuments and signs will help pedestrians and autos know when they are entering and exiting the downtown boundaries. Where possible, landmark buildings/architectural elements shall be used to define gateway locations. Refer also to the “Gateway Corridors” section of the Turlock Beautification Master Plan in Appendix A of this document.





THE OVERPASS CONNECTING THESE TWO INDUSTRIAL BUILDINGS ACTS AS A NATURAL GATEWAY FROM THE EAST. THE ILLUSTRATION TO THE RIGHT DEPICTS HOW IT COULD BE ENHANCED WITH LANDSCAPING AND SIGNAGE.



A COMBINATION OF LANDSCAPING AND SIGNAGE WOULD MAKE THIS AN ATTRACTIVE EASTERN DOWNTOWN GATEWAY.

FIGURE 6 - GATEWAY LOCATIONS



-  Downtown Gateway
-  City Gateway



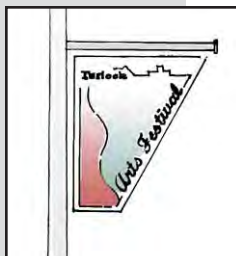
THE STYLE OF BENCH SHOWN ABOVE SHOULD BE USED IN ALL OF THE DOWNTOWN REGULATION DISTRICTS IN ORDER TO CREATE A SENSE OF UNITY AND CONSISTENCY.



PAVERS SHOULD BE CONSISTENT WITH THE EXISTING STYLE.



STREET LIGHTS CAN BE ENHANCED WITH BANNERS THAT ANNOUNCE COMMUNITY EVENTS.



Streetscapes

Streetscape elements incorporated throughout the Downtown's regulation districts will provide an opportunity to reflect consistent character and visually connect and unify the Downtown. Enhancements such as benches, brick pavers, planters, planter urns/pots, transit shelters, banners, and light posts will help give the downtown a cohesive look. Further streetscape information is included in each of the corresponding Downtown District sections of this document.

Benches

The style of bench used in the downtown core shall be used in all of the downtown regulation districts in order to create a sense of unity and consistency.

Street Lighting

Historic light posts reflect Turlock's history and are visually connected with the downtown. Light posts introduced along corridors provide repetition, rhythm, and visually unify corridors. Consolidation of signage into light post will minimize visual clutter. Banners and/or hanging pots may be attached to light posts to visually stimulate pedestrians and drivers. The style of light post currently used in the downtown core shall be used in all areas defined by the downtown regulation districts. However, the dual luminaire style light fixture shall only be used in the Downtown Core and along Golden State Blvd. The remaining areas in the Downtown area shall use a single luminaire style light fixture consistent with the style used in the Core.

Stop Lights

In order to enrich the streetscapes of Turlock, stop lights shall be painted dark green (consistent with the existing street lights) until funding becomes available to replace them with a more historic looking pole.

Pavers

Enhanced paving visually unifies and provides hierarchy along a corridor. Brick pavers recall Turlock's history and reinforces a connection to the Downtown. Pavers currently used in the Downtown Core shall continue to be used in all of the downtown regulation districts to create a sense of unity and consistency. To differentiate the emphasis on the Core Area, use of pavers outside of the Core shall be limited to accent paving (i.e. banding, at intersections, or at crosswalks).

Banners

Banners are temporary signs that can be used to publicize special events or highlight aspects of Turlock's rich heritage. Banners advertise what is special and unique to Turlock and add color and excitement to corridors. Typically located on light posts, banners shall be placed high enough above

the roadway to accommodate truck traffic. Banners shall be consistent with the historic theme, City logo, and compatible graphics.

Trash Cans

Trash cans shall be placed at convenient locations throughout Downtown in order to use. In order to create a sense of unity, trash can style shall be consistent with the style currently used in the Downtown Core.



PREFERRED TRASHCAN

Bike Racks

Bike racks shall be placed near transit stops and office buildings to encourage bicycling as an alternative to automobile use. The rack style shall remain consistent with the ones used in the downtown core.

Transit Shelters

Transit shelters are highly visible and can become strong unifying elements throughout the five regulation districts. It is important that the transit amenities are aesthetically pleasing and are an asset to the Downtown. Shelters shall incorporate design elements consistent with the historic theme of the Downtown Core.



PREFERRED PLANTER URN AND POT

Planters

Planters provide unity, pedestrian scale, and visually enhance and establish hierarchy along corridors. The design for the planters throughout the downtown regulation districts shall incorporate a similar design vocabulary to provide uniformity, but may incorporate additional materials, and/or art, to reflect the character of the specific corridor.

Planter Urns & Pots

Planter urns and pots provide a place for special annual color and reinforce a more urban environment. Planter urns and pots shall incorporate the architectural character and scale of the building they are placed adjacent to. Property owners shall be prepared to maintain and water urns and pots as necessary.



PROPOSED TRANSIT SHELTER

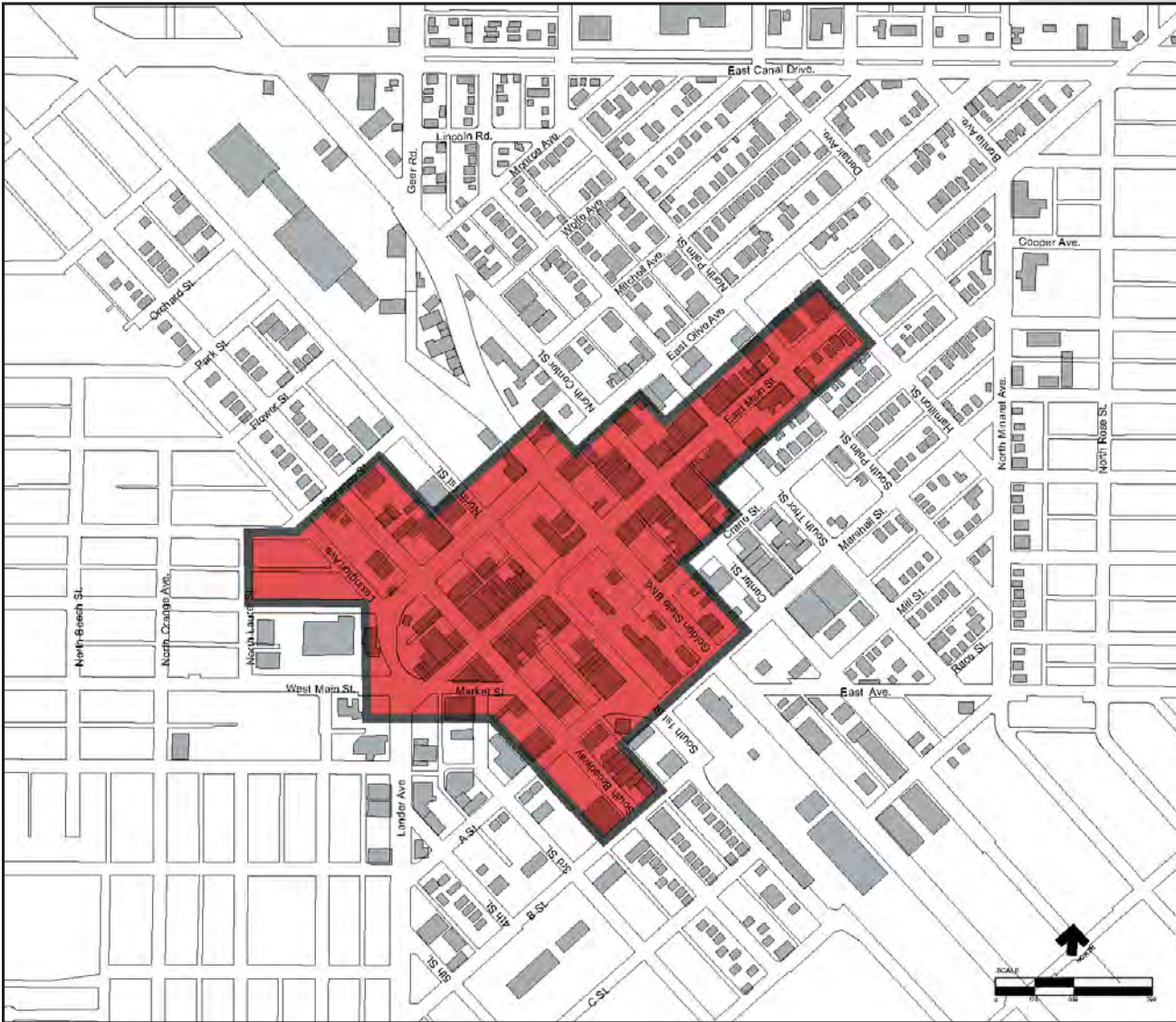
Kiosks & Way Finding Signage

Kiosks and way finding signage help to direct people around the city. Way finding signage complete with maps and 'you are here' icons shall be placed at key intersections to help locals and tourists navigate their way around the downtown. These signs shall draw attention to areas of historic and cultural significance as well as shopping and entertainment destinations.



PREFERRED WAY FINDING SIGNAGE

3-1 DOWNTOWN CORE



DOWNTOWN CORE DESIGN GUIDELINES

District 1 - Downtown Core

1. Downtown Core

The Downtown Core is the heart of Turlock. It's a place where shopping, dining, and entertainment is encouraged and is an area where buildings shall be high in density in order to achieve an urban appearance. Buildings shall range from two to four stories in height in order to encourage mixed use commercial, office, and residential structures. The design and look of the Core communicates the historic character of the City through the use of architecture and streetscape design. The following guidelines are intended to preserve and enhance the historical character of the Downtown Core and the quality of public realm (streetscape, public parking, plazas, etc) improvements. Hence, any new structure, addition, remodeling, or other construction requiring a building permit within this district shall adhere to these guidelines where applicable.

The guidelines are grouped into the following categories:

1. Site Design
2. Building Mass and Scale
3. Building Form and Roofline
4. Building Entrances
5. Building Materials and Colors
6. Windows and Doors
7. Awnings and Overhangs
8. Screening of Utilitarian Equipment and Trash Enclosures
9. Loading and Delivery
10. Signage
11. Lighting
12. Outdoor Space
13. Mixed Use Projects
14. Streetscapes
15. Sidewalk Cafes
16. Golden State Blvd.
17. The Railroad Corridor



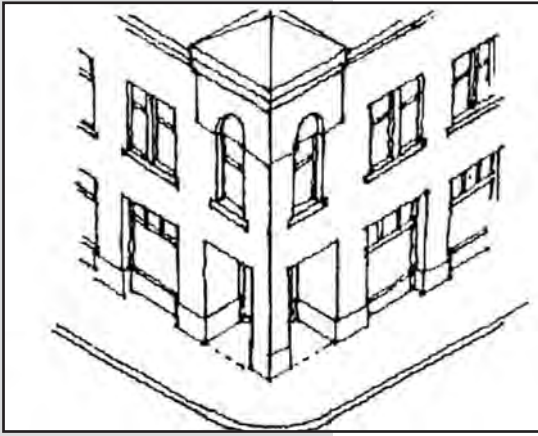
LANDSCAPING AND BULBOUTS MAKE THIS A PEDESTRIAN FRIENDLY INTERSECTION.



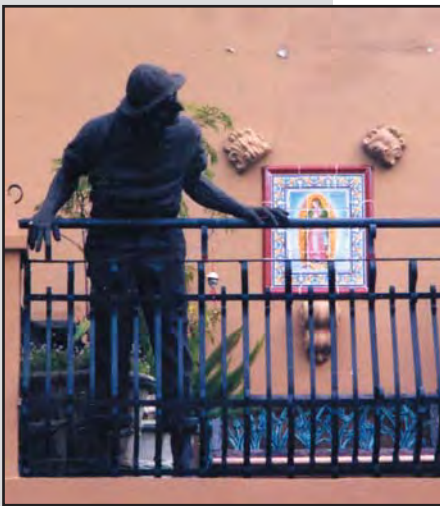
THE LANDSCAPED MEDIAN AND CORNER ORIENTED BUILDING HELP MAKE THIS AN ATTRACTIVE ENTRANCE TO WEST MAIN STREET.



THIS BUILDING FACADE IS AN EXAMPLE OF THE HISTORIC STYLE OF ARCHITECTURE FOUND IN DOWNTOWN TURLOCK.



FOCAL POINTS SUCH AS TOWERS HELP TO CREATE INTEREST AND GIVE IDENTITY TO THE DOWNTOWN



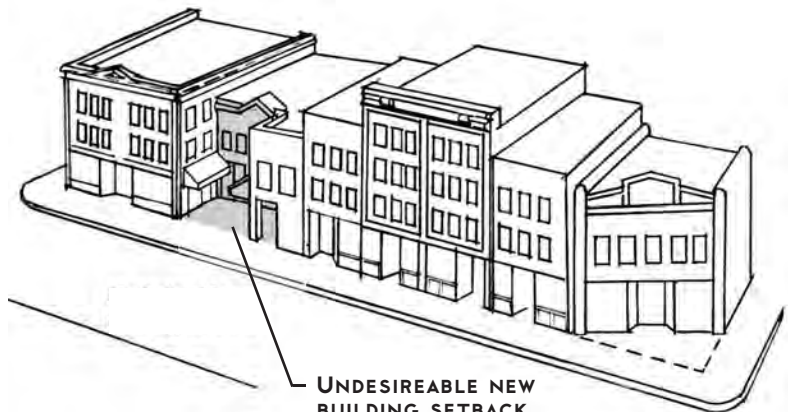
PUBLIC ART CAN BE PLAYFUL AS WELL AS INTERESTING



ALLEYWAYS AND SIDES OF BUILDINGS SHALL BE INVITING

1. Site Design

- a Infill buildings and remodels in the Downtown Core shall give careful consideration to adjacent building conditions and their historic architectural features and scale. Buildings shall be sited and designed to reinforce the scale, massing and rhythm of adjoining facades.
- b Each project is encouraged to have a unique identity but shall integrate appropriate design elements from adjacent structures such as materials, roof forms, window treatments, and architectural style. Building height shall vary from building to building.
- c Special attention shall be given to building orientation and articulation on corner sites. Prominent architectural features such as clock towers, marques and building entries shall be located at and oriented to the corners and intersections.
- d All new infill buildings shall be designed so at least 75% of the buildings frontage is retail storefront set at the back of the sidewalk.
- e Focal points such as plazas, landscape elements, fountains, public art, textured pavement, and vertical building features shall be utilized to create interest, identity and a sense of place (see outdoor spaces).
- f Public art shall be incorporated into buildings and public spaces.
- g Blank walls or loading areas shall not face public streets
- h Alley ways shall be considered as valuable public space and made more inviting. Buildings shall incorporate window displays, landscaping, lighting, pavers, and alleys shall be clear of trash containers, and utility equipment whenever possible.
- i Spaces in commercial buildings shall be designed so that they can be leased to more than one tenant.

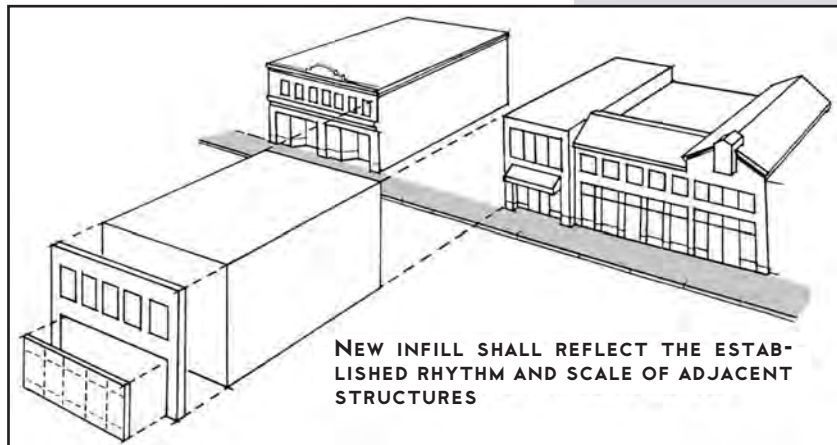


2. Building Mass and Scale

- a Each building shall have a recognizable base, body, roof line and entry.
- b Massing design may include:
 - o Variation in the wall plane (project and recess)
 - o Variation in wall height
 - o Roof located at different levels
- c Vary the planes of the exterior walls in depth and/or direction. Wall planes shall not extend more than 50 feet without a significant variation in wall plane.
- d Changes in vertical planes break up a boxlike appearance. Vertical elements such as pilasters help create “bays” to articulate and create rhythm in the building façade.
- e New buildings shall express their own uniqueness of location, tenant, or structure, designed especially for the particular site and not as a copy of a generic building type which might be used anywhere.
- f Corporate “chain” style architecture shall be avoided in the Downtown Core as it detracts from the historic feel of Turlock. Corporate tenants will be required to design their buildings to fit the scale and character of the Core.
- g Upper floors may be appropriate for varied setbacks to accommodate balconies, seating, and other architectural treatments.
- h Structures larger than two stories shall be reduced in scale by creating horizontal emphasis through the use of trim, awnings, eaves, or other ornamentation, and by using a combination of complimentary colors.
- i Building scale can be reduced through proper use of window patterns, structural bays, roof overhangs, siding, awnings, moldings, fixtures, landscaping, and other details.
- j Architectural details and materials on lower walls that relate to human scale such as trellises or awnings shall be utilized (see awnings and overhangs for more detail).
- k Articulated storefronts with carefully arranged doors, windows, roof overhangs, rather than blank walls shall face onto pedestrian spaces and streets.



ELEMENTS SUCH AS AWNINGS HELP TO GIVE BUILDINGS A PEDESTRIAN ORIENTED SCALE



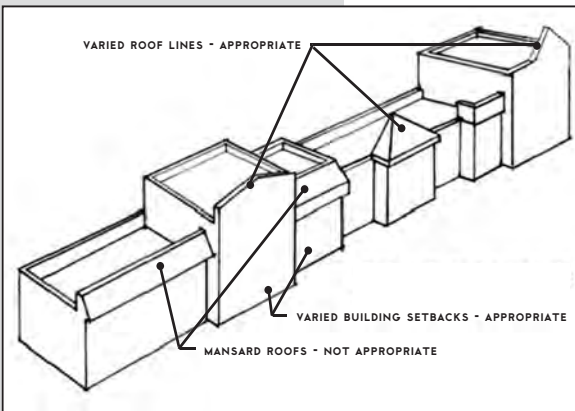
NEW INFILL SHALL REFLECT THE ESTABLISHED RHYTHM AND SCALE OF ADJACENT STRUCTURES



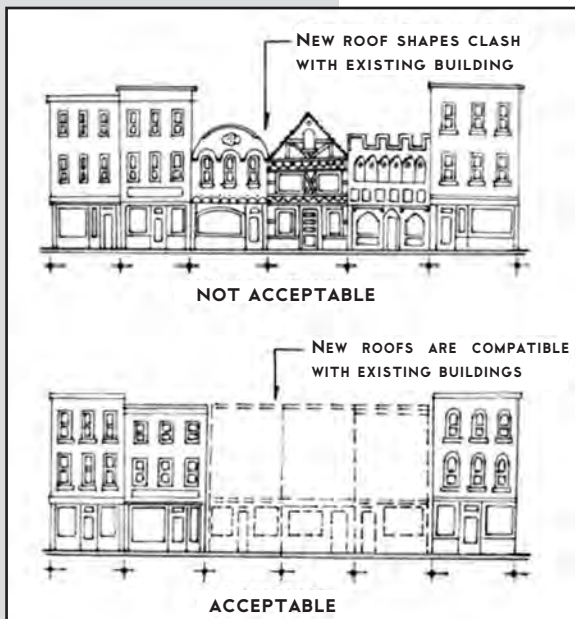
BUILDING PARAPETS AND CORNICES GIVE IDENTITY TO A BUILDING AND HELP TO SCREEN ROOFTOP EQUIPMENT.



UNIQUE ROOF TREATMENTS GIVE THE BUILDING CHARACTER



VARIATION OF ROOF LINES, DETAILS AND HEIGHT IS ENCOURAGED.

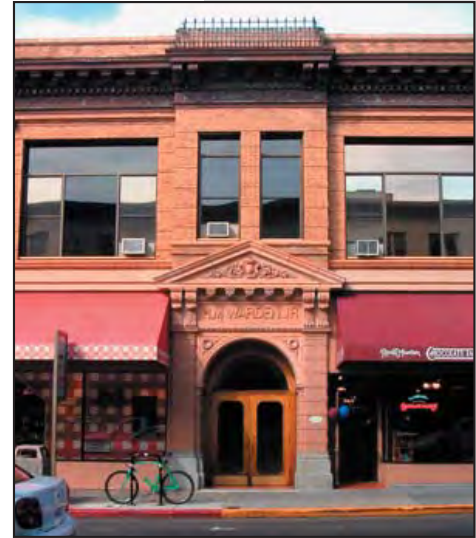


3. Building Form and Roofline

- a Building volumes in downtown Turlock have simple yet strong rooflines. New structures shall use rooflines that reflect the current historic character and may use sloping roof forms as accents.
- b Multi-form roofs, gabled and shed roof combinations shall be used to create an interesting and varying roof form that will lessen the mass of the building, and add visual appeal.
- c Roof materials and colors shall be consistent with the desired architecture and complementary to adjacent structures.
- d Mansard roofs are inappropriate in the Downtown Core and shall be eliminated as buildings redevelop.
- e Deep roof overhangs shall be used to create pedestrian arcades, verandas, and have climatic benefits.
- f Parapets shall be used, when sufficiently detailed, to screen roof mounted equipment and provide a contrast to gabled or hipped roofs.
- g Parapets shall have sufficient articulation of detail such as precast treatments, continuous banding or projecting cornices, lentils, caps, corner details, or variety in pitch.
- h Rooftop equipment on flat roofs shall be screened and not visible from ground level. Buildings with flat or low-pitched roofs shall incorporate parapets, pitched facades, or architectural elements designed to screen roof mounted mechanical equipment and to be architecturally compatible with the design of the building façade.
- i Parapets shall not appear “tacked on” and shall convey a sense of permanence. If the interior side of the parapet is visible from the pedestrian/motorist area of the building, it shall receive appropriate detail, and proper application of materials shall be utilized.

4. Building Entrances

- a The building entryway shall be designed as a significant aspect of the building's overall composition and shall be easily identifiable and accessible.
- b Recessed or projecting building entry ways shall be included in the design as they help to break up the building's mass and prevent a "barracks-like" façade.
- c At a minimum, store frontages and entrances shall include one or more of the following features: transparent display windows, recessed or accentuated entries, pedestrian oriented signs, and high quality construction materials. Other features that could be included are public art, custom entry tiling, canopies/awnings, outdoor dining areas, and landscaped containers.
- d Upper floor entries at the street frontage shall have their own distinct design that complements the main building frontage.



A CHANGE IN THE HORIZONTAL PLANE HELPS TO EMPHASIZE THE ENTRY INTO THIS BUILDING

5. Building Materials and Colors

- a Where appropriate, "green materials" such as recycled wood, non-toxic paint, and low-voltage lighting shall be used provided that they fit the historic character and style of Downtown Turlock.
- b The selection and placement of building materials shall provide visual interest at the pedestrian level.
- c Use of color, arrangement of façade elements, changes in materials, or other features shall articulate different parts of a building's façade.
- d Details such as wall surfaces constructed with patterns, changes in materials, building pop-outs, columns, or recessed areas to create shadow patterns and depth on the wall surfaces shall be used.
- e The darkest colors and materials of the buildings color palette shall be used at the base of the building in order to "ground" the building.
- f Large areas of intense light color shall be avoided. While more subdued colors usually work best for overall building color, bright or accent colors are typically appropriate for trim, windows, doors, and key architectural elements.
- g Buildings shall keep a balanced color palette between base colors and "brighter" or "darker" accent colors on each building.



A VARIATION IN COLOR HELPS TO EMPHASIZE THIS BUILDING'S ENTRANCE.



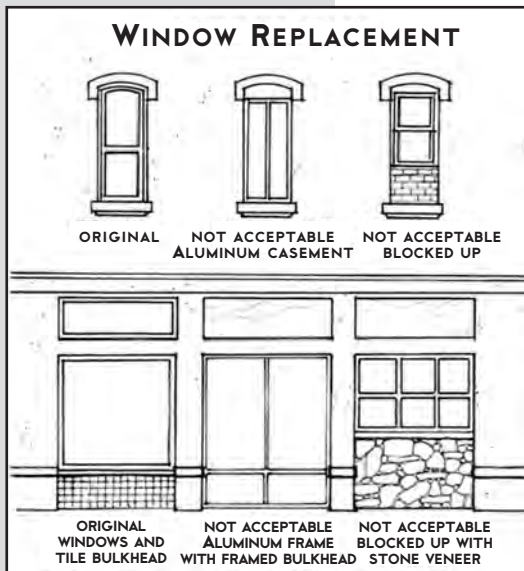
USE OF COLOR, ARRANGEMENT OF FACADE ELEMENTS, AND CHANGES IN MATERIALS HELP TO ARTICULATE THIS BUILDING FACADE



SUBDUED COLORS USUALLY WORK BEST FOR THE OVERALL BUILDING COLOR. ACCENT COLORS SHALL BE USED FOR AWNINGS, DOORS, AND TRIM.



RECESSED ENTRY WAYS AND LARGE WINDOW DISPLAYS SHALL BE USED.



- h Flat muted colors shall be used to reduce sun glare on wall planes. Avoid using bright “hospital” whites.
- i Door and window trims, awnings, and wall tiles provide opportunity for color that adds interest and texture to storefronts or building bases. Color of trim shall be coordinated with wall colors.
- j Colors shall coordinate with natural/unpainted materials used on the facades such as pressure treated wood, tile, brick, and stone.

6. Windows & Doors

- a Well-designed storefronts, including windows, doors, wall composition, colors, and materials are very important to create a sense of entry and pedestrian scale and shall be used.
- b Window type, material, shape, and proportion shall complement the architectural style of the building entry.
- c Windows shall be located to maximize daylighting and views.

d Skylights, roof monitors, or light wells shall be used to add daylight to upper floors.

e At the street level, windows shall have pedestrian scale and detail. The framing provides opportunity for color variation and detail.

f Storefront windows and doors shall be of the same style. The line established by uniform storefront heights helps to establish a sense of scale for pedestrians.

g Recessed openings, windows and doors provide depth and can help break up the apparent mass of a large wall.

h Windows shall be combined with wall planters at their base or use a base material that has color and texture such as ceramic tiles, brick, block, or stone.

i Windows on upper floors shall reinforce the typical rhythm of upper story windows found on historic buildings.

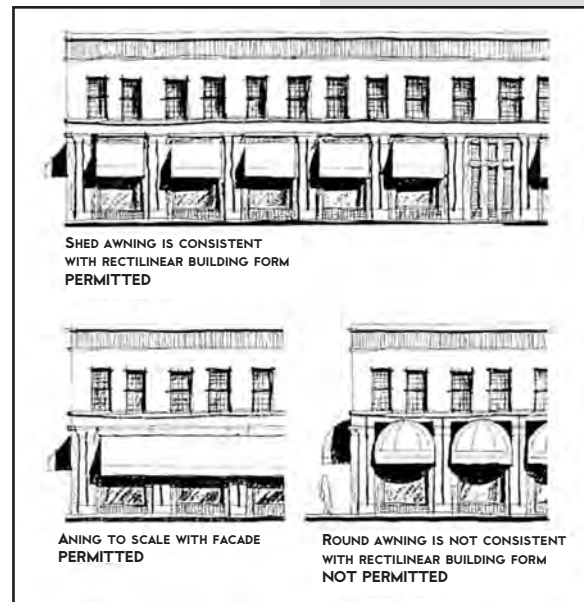
j Operable windows shall be used to provide natural air circulation and allow interchange between indoor and outdoor spaces.

k Retail storefronts with display windows shall be used within the creatively designed façade. Large expanse of glass, glass curtain walls, or glass buildings are not appropriate in the Downtown.

l Windows and doors shall be designed as accent elements with details such as lentils, moldings, and lights.

7. Awnings and Overhangs

- a Awnings add color, form, relief, and pedestrian protection from the elements and shall be used where appropriate. They may also create a space for identification signage.
- b Open ended awnings shall be used as opposed to boxed awnings.
- c When adding an awning to an existing historic building, the awning or overhang shall match the architectural character of the facade. This applies to new buildings as well.
- d Awnings shall reflect the shape of the window openings.
- e Awnings shall be placed within vertical elements when the façade of a building is divided into distinct structural bays.
- f In addition to signage, awnings shall help to clearly demarcate the buildings entries and help orient pedestrians and motorists.
- g Permanent shading devices shall be aesthetically pleasing in addition to cooling the building during summer months.
- h Awning maintenance shall be in accordance with the awning manufacturer's care instructions. The life of the awning is generally not expected to exceed eight to ten years. Property owners shall not propose installing awnings unless they are prepared to replace and maintain the awnings.
- i Awnings shall be regularly maintained and kept free from tears, fading, and stains.
- j Awnings shall be made of cloth (not plastic, metal, or vinyl) and shall be high enough so as not to inhibit pedestrians.
- k Awnings shall not be wrapped around buildings in continuous bands. Awnings shall only be placed on top of doors, windows, and other openings where arcades are not otherwise utilized.
- l Awnings shall not dominate the façade but rather be in scale with the rest of the building.
- m Where vertical building elements do not provide the appropriate segmentation of awnings, awning runs shall not exceed 20 feet and segments shall be proportional to the façade dimensions.



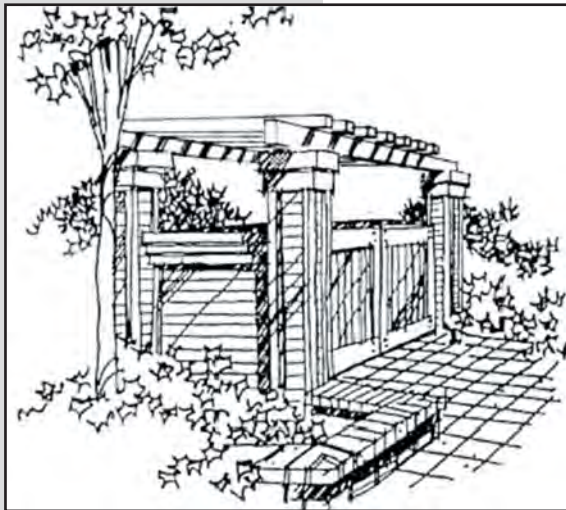
AWNINGS SHALL BE IN SCALE WITH THE REST OF THE BUILDING.



AWNINGS SHALL BE PLACED WITHIN VERTICAL ELEMENTS WHEN THE FACADE OF THE BUILDING IS DIVIDED INTO DISTINCT STRUCTURAL BAYS.



AWNING COLOR SHALL BE INTEGRATED INTO THE OVERALL COLOR SCHEME OF THE BUILDING.



A COMBINATION OF ELEMENTS SUCH AS A TRELLIS AND LANDSCAPING SHALL BE USED TO SCREEN TRASH ENCLOSURES.



TRASH ENCLOSURES SHALL BE CONSISTENT WITH THE STYLE OF THE BUILDING ARCHITECTURE.

- n Awnings, if lighted, shall be lit with direct, architecturally interesting and appropriate fixtures such as goosenecks. Internal lighting of translucent awnings is discouraged.
- o Overhangs shall incorporate a fabric, metal, or wood trim that coordinates with other architectural features on the building.
- p Buildings with existing overhangs/canopies shall incorporate/restore historic detailing of fascia and canopy supports.
- q The color of awnings and overhangs shall be integrated into the overall color scheme of the project.
- r Awnings and overhangs shall not be placed so that they would split a window in half.

8. Screening of Utilitarian Equipment and Trash Enclosures

- a Utility service areas shall be considered early in the building design process to ensure appropriate and complementary placement and design.
- b All utility equipment including, but not limited to, electric and gas meters, electrical panels, cable boxes, and junction boxes shall be located in a utility room within the building or in an architecturally appropriate utility enclosure.
- c Any outdoor equipment, whether on a roof, side of a structure, or on the ground shall be appropriately screened from view and shall not be placed adjacent to public ways. The method of screening shall be architecturally integrated with the adjacent structure in terms of materials, color, shape and size.
- d Where feasible, electrical power lines and other mechanical equipment connections shall be placed underground to maximize safety and minimize visual distraction.
- e New electrical, telephone, cable television, mechanical equipment and other distribution lines shall be placed underground.
- f All new on-site connections and utilities shall be installed underground
- g Roof access shall be designed to be reached from the interior of the building. Where required, exterior roof ladders shall be placed at the rear or non-street side of the building.
- h Trash/Recycling enclosures shall be designed to be consistent with the style of the building architecture.

This is best accomplished through the use of the same materials and colors. Trash receptacles located in or near public parking areas shall meet City of Turlock's design standards.

- i In addition to incorporating a similar architectural style, landscaping shall be incorporated into the design as an additional screen.
- j A separate pedestrian entrance shall be incorporated into the trash enclosure design.
- k Every property shall provide a trash enclosure that is capable of handling the refuse generated by that site. Where feasible, shared facilities shall be provided.

9. Loading and Delivery

- a Loading areas shall be generally located in the rear of the site where they can be screened from view. Where loading areas cannot be located in the rear of the building, special temporary parking zones shall be defined to allow for quick and easy delivery of goods.
- b Service, utility, and loading areas shall be carefully designed, located, and integrated into the site plan. They shall be located and designed for easy access by service vehicles for convenient access by each tenant and located to minimize circulation conflicts with other site uses.

10. Signage

Signs play an important role in the success of any business by providing identification and necessary advertising. When signs are integrated into the building design, they provide a personal quality that contributes to the ambiance of the Downtown Core and streetscape, especially the more unique signs. Conversely, signs may intrude upon pleasant surroundings when they are applied as an afterthought. These guidelines are intended to balance the legitimate advertising needs of businesses with the need to prevent visual clutter.

- a The sign regulations and guidelines are stated in 9-2-500ART. in the City's Zoning Ordinance and shall be adhered to at all times.
- b Signs shall coordinate with the building design, materials, color, size, and placement.



UNIQUE SIGNAGE GIVES CHARACTER TO THE STOREFRONT.



SIGNS THAT INCORPORATE THE LOGO OR ICON OF THE BUSINESS ARE ENCOURAGED.



BUILDINGS WITH MULTIPLE TENANTS SHALL HAVE A UNIFYING SIGN PROGRAM



THIS SIGN HELPS TO EMPHASIZE THE BUILDING'S ENTRANCE.



SIGNS CAN ADD CHARACTER TO THE EXTERIOR OF THE BUILDING.

- c Signs reflecting the type of business through design, shape, or graphic form shall be used.
- d The method of sign attachment to the building shall be integrated into the building and the overall sign design chosen.
- e Signs shall not cover up windows or important architectural features.
- f Sign variety shall be considered among different users.
- g Flush mounted signs shall be positioned within architectural features, such as the window/panel above the storefront or flanking the doorways.
- h Flush mounted signs shall align with others in the “center” so as to maintain the existing pattern.
- i Signs shall be externally illuminated with concealed direct lighting or architecturally treated direct lighting.
- j Signs which rotate and flash shall not be used.
- k Hanging signs attached to buildings that project perpendicular to the building shall be a minimum of 8' from ground level to the bottom of the sign. Signs that project shall be small and reflect the use of the business by incorporating symbols or logos of the business.
- l A single structure with more than five users shall provide a unifying sign theme through a sign program.



WALL SIGNS OF CONSISTENT SIZE AND PLACEMENT ESTABLISH FACADE RHYTHM.

- m Lighting of all exterior signs shall be directional to illuminate the sign without producing glare on pedestrians, autos, or into mixed-use residential units.
- n Signs at storefronts may include temporary window signs that do not obstruct the pedestrian views into the store. Handcrafted wall-mounted signs or individual letters may also be used. All window signage, whether permanent or temporary, is subject to the limitations set fourth in the zoning code.

11. Lighting

Effective lighting provides safety and direction for vehicles and pedestrians, visibility and security for businesses, while enhancing architectural and landscape details. These guidelines apply to on-site lighting for buildings, parking areas, landscaping and area lighting. Light types could include pole lights, spotlighting, wall-mounted sconces, parking and landscape lighting.

- a Light fixtures shall be designed or selected to be architecturally compatible with the main structure or theme of the building.
- b The quality of light, level of light as measured in footcandles, and the type of bulb or source shall be carefully addressed. Lighting levels shall not be so intense as to draw attention to the glow or glare of the project site.
- c Exposed bulbs shall not be used. Cut-off lighting is preferred.
- d In order to conserve energy, there shall be a standard shut-off time for illuminated signs for businesses that do not operate at night.
- e Indirect window display lighting is encouraged to create an interesting and friendly atmosphere.
- f Uplighting of building elements and trees shall use the lowest wattage possible to minimize impacts to the night sky. Additionally, light sources for wall washing and tree lighting shall be hidden.
- g Landscape lighting shall be used to accent walkways and entries and/or seating areas and specimen plants/trees.
- h Timers and sensors shall be utilized to minimize lighting and energy impacts.



LIGHT FIXTURES SHALL BE DESIGNED OR SELECTED TO BE ARCHITECTURALLY COMPATIBLE WITH THE MAIN STRUCTURE OR THEME OF THE BUILDING.



SIGNS SHALL BE ILLUMINATED EXTERNALLY WITHOUT PRODUCING GLARE ON PEDESTRIANS, AUTOS, OR MIXED-USE RESIDENTIAL UNITS.

12. Outdoor Spaces

- a Recognize the importance of spaces between structures as “outdoor rooms” on the site and along the street. Outdoor spaces shall have clear, recognizable shapes that reflect careful planning and are not “left over” areas between structures. Such spaces shall provide pedestrian amenities such as benches, shade, fountains, public art, etc.
- b Areas where the building is set back from the street frontage shall be designed as a plaza or courtyard.
- c Plazas and open spaces shall be designed to be welcoming and inviting to people at all hours of the day and night.
- d Outdoor spaces shall take into consideration local climatic characteristics such as sunshine, cold, shade, and heat that radiates from the ground. Passive energy benefits shall be considered.



THE ENTIRE MIXED-USE DEVELOPMENT SHALL HAVE A CONSISTENT ARCHITECTURAL STYLE AND USE OF MATERIALS. HOWEVER; IF THE INTENT IS TO DIFFERENTIATE BETWEEN USES, SOME ARCHITECTURAL DETAILS SHALL VARY SLIGHTLY.

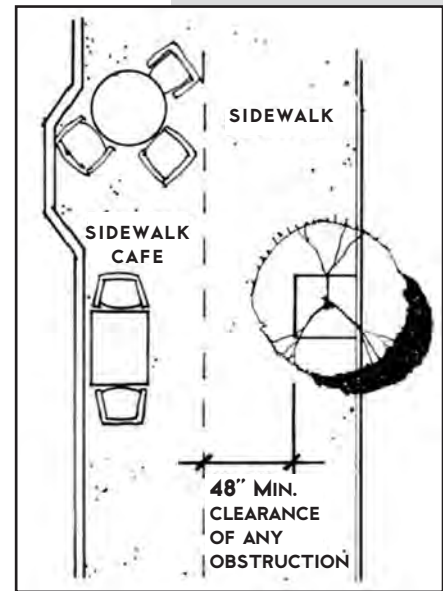
13. Mixed-use projects

- a Mixed-Use projects combine commercial, office, and/or residential uses into one single development. The uses shall be combined in multiple ways such as each use on one floor or wing of a building, or each use in completely separate buildings throughout the site. Retail is a priority use at the street level (see Zoning Ch. 2).
- b Clearly marked, separated driveways and parking areas shall be used for each proposed use.
- c When multiple uses are both proposed in the same building, they shall have separate and convenient entrances for each use.
- d Commercial uses shall attempt to shield parking lot and security lighting from impacting the surrounding residential areas.
- e The entire mixed-use building shall have a consistent architectural style and use of materials. However; if the intent is to differentiate between uses, some architectural details may vary slightly.
- f Mixed-use projects which are three stories or less in height shall use full roofs on at least 50% of the entire roof.
- g Mixed-use projects which are three stories or greater in height shall set back and stagger the upper stories to a minimum of 10 feet for each additional story above the stores.

14. Downtown Core Streetscapes

- a Any new streetscape enhancements shall be consistent with the existing streetscape elements.

- b Outdoor dining is encouraged in the Downtown Core provided that pedestrians can pass between the building and dining area.
- c Umbrellas used for outdoor dining shall be made of cloth (not metal, plastic, or vinyl) and shall be high enough so as not to inhibit pedestrians. Commercial advertising or other signage on umbrellas is prohibited.
- d Umbrellas shall be regularly maintained and kept free from tears, fading, and stains.
- e Light fixtures shall be adorned with banners or flags to announce the entrance into the Downtown Core. Welcome banners or flags announcing public events shall be used.
- f Additional street lighting shall be consistent with existing historic light fixtures
- g Planter urns and enhanced crosswalks shall be introduced at key intersections such as Marshall Street, East Main Street, and Olive Avenue in order to emphasize the entry into the Downtown Core along Golden State Blvd.
- h Walkways/alleys shall be lit to an average 1.5 to 2-foot candle intensity to ensure safe nighttime conditions.
- i Traffic signal poles shall be painted a dark green to match the existing street lights until it can be replaced with a matching dark green decorative pole. Gateway intersections shall be the highest priority.



UMBRELLAS GIVE COLOR AND PROVIDE SHADE ON THIS OUTDOOR DINING AREA.

15. Sidewalk Cafes

- a Sidewalk café areas shall be screens with semi-permanent decorative screens or walls. Screens can be made of wood, plastic or metal, and shall attach to the sidewalk with recessed anchors – allowing for seasonal removal, leaving no tripping hazard in its absence.
- b Screens shall not be more than 42” tall.
- c Screens can either be solid or semi-solid. Designs shall be consistent with building façade design and/or restaurant theme.
- d Screen layout needs to enclose the entire outdoor café area, leaving required exit width accommodations for occupancy of facility.
- e Take-out establishments, where food is purchased inside the building, may have unscreened outdoor dining areas, provided that 48” of clear space is maintained at all times.



OUTDOOR DINING AREAS HELP TO GIVE LIFE TO DOWNTOWN STREETSCAPES.



OUTDOOR DINING AREAS SHALL ALLOW PEDESTRIANS TO PASS WITHOUT OBSTRUCTION.



PARKING SPACES WERE REMOVED TO ALLOW FOR AN OUTDOOR DINING AREA AND PLAZA.



GATEWAY MONUMENTS SHALL BE USED TO ANNOUNCE ENTRY INTO THE DOWNTOWN CORE

- f Tables and chairs can be of varying type, but those designed for exterior use are recommended. Tabletop sunshades, pole shades and sunscreens are recommended.
- g Layout of outdoor cafes shall allow for minimum 48” clear sidewalk right of way. Street signage, furniture, and landscaping shall not encroach in this 60” clear space.
- h Location of café is recommended to be located along building façade, however, the 48” clear space can be designed between the sidewalk café and the building façade.
- i Interior table layout of sidewalk cafes shall conform with all applicable building codes in regards to spacing, aisle width, occupancy, ADA and California Title 24 and exiting.
- j Accent lighting is highly recommended
- k Landscaping such as flower boxes are recommended to be incorporated into the design.

16. Golden State Blvd. Corridor

- a The Golden State Blvd. Corridor is considered a gateway to the downtown core, as it is one of the most heavily traveled arterials in Turlock.
- b Gateway signage and monuments shall be used along this corridor as described in the Turlock Beautification Master Plan. (See Appendix)
 - c Planter urns and enhanced crosswalks shall be introduced at key intersections such as Marshall Street, East Main Street, and Olive Avenue in order to emphasize the entry into the Downtown Core.
 - d Buildings along this corridor shall respect and complement the existing historic, agrarian, thematic, or art-deco building architectural styles.
 - e Structures shall be oriented towards Golden State Blvd.
 - f Reuse of existing materials is encouraged where possible and appropriate. When renovating historic or architecturally significant structures, materials and forms reminiscent of the existing buildings shall be used.
 - g Auxiliary structures such as trash and utility enclosures, and storage areas shall be integrated into the overall design of the building and shall not face or open onto the street
 - h Service areas shall be screened from view with portions of the buildings, architectural wing walls and/or landscape planting.
 - i Loading areas shall be designed to accommodate trucks without having to back onto Golden State Blvd.
 - j Parking lots shall be screened/buffered with a minimum 20’ landscape

screen/buffer unless for vehicle sales/rental. Street trees shall be regularly placed (30' on center).

17. Structures Adjacent to the Railroad Corridor

- a Buildings not dependent on the railroad loading access for freight or transportation purposes shall be set back a minimum of 20' from the railroad right-of-way in order to address visual and safety issues.
- b A minimum 5' landscape buffer shall be provided along the property line adjacent to the railroad right-of-way.
- c Trees, shrubs, and groundcover with decorative fencing shall be provided in the landscape buffer.
- d An open fence design (black decorative iron or black chain link fencing) shall be provided along the railroad corridor edge where storage areas abut the railroad right-of-way. Dense landscaping and or decorative wall treatment shall be provided to adequately screen storage areas.
- e When walls are used to screen the railroad corridor, breaks shall be provided to allow pedestrian circulation and visual access for safety and security purposes.
- f Building facades fronting on the railroad corridor shall include architectural details, articulation, varied roofline, painted details, or murals to create an attractive appearance from surrounding areas.

3-1A DOWNTOWN CORE TRANSITION



DOWNTOWN CORE TRANSITION

DESIGN GUIDELINES

 District 1A - Downtown Core Transition

1A. Downtown Core Transition

The Downtown Core Transition District is a contrast to the historic urban feel of the Downtown Core with ample setbacks, mature trees lining the streets, and low-intensity residential and office structures. Yet, located along the East Main Corridor, this district is an important link and gateway opportunity for the Downtown Core. The Downtown Core Transition District's "residential scale" is to be preserved while creating a unifying streetscape character that ties this area to the Downtown Core. Consideration of gateway features and strengthened pedestrian orientation are priorities for this district. All new construction, reconstruction, and remodels shall be subject to these guidelines.

The following topics are discussed:

1. Site Design
2. Building Mass and Scale
3. Building Form and Roofline
4. Building Entrances
5. Building Materials and Colors
6. Windows and Doors
7. Awnings and Overhangs
8. Screening of Utilitarian Equipment and Trash Enclosures
9. Parking Lot Screening
10. Loading and Delivery
11. Disabled Accessible Ramps and Railing
12. Fire Apparatus
13. Roof Drainage
14. Mailboxes
15. Signage
16. Lighting
17. Outdoor Spaces
18. Parking and Circulation
19. Mixed-use projects
20. Corporate architecture
21. Streetscapes
22. Sidewalk Cafes

1. Site Design

- a Infill buildings and remodels in the Downtown Core Transition District shall give careful consideration to adjacent building conditions and their historic architectural features and scale. Buildings shall be sited and designed to reinforce the scale, massing and rhythm of adjacent facades.
- b Each building is encouraged to have a unique identity but shall integrate design elements from adjacent structures such as height, roof forms, window treatments, and architectural style.
- c Site plans shall balance the need to provide adequate vehicular access, with the need to eliminate unnecessary driveway entrances and provide access points which are coordinated with other properties. Access for parking shall utilize the alley wherever possible.
- d Buildings shall be sited and designed to preserve the sense of “openness” in this district. Ample setbacks ensure appropriate interface between properties.
- e Buildings shall be designed to incorporate existing circulation, natural landscaping, sunlight, and shall not obstruct attractive views such as prominent landmarks, vistas, historical buildings, and the natural environment.
- f Special attention shall be given to building orientation and articulation on corner sites.
- g Focal points shall be developed or redeveloped on larger buildings to create a definite sense of identification.
- h Plazas, landscape, fountains, public art, textured pavement, and vertical building features shall be utilized to create interest, identity and a sense of place (see outdoor spaces).
- i Public art shall be incorporated into buildings and public spaces.
- j Blank walls or loading areas shall not face public streets
- k Alley ways shall be considered as valuable public spaces and be utilized for vehicle access and parking. Buildings shall incorporate window displays, landscaping, lighting, pavers, and alleys shall be clear of trash containers, and utility equipment.

2. Building Mass and Scale

- a Each building shall have a recognizable base, body, roof line and entry.
- b Massing design may include:
 - Variation in the wall plane (project and recess)
 - Variation in wall height
 - Roof located at different levels
 - Varying roof forms
- c For new buildings and renovations, building articulation with residential scale details on windows, doors, entries, roof forms, etc. shall be reflective of the existing district character.
- d Changes in vertical planes break up a boxlike appearance. Vertical elements such as pilasters help create “bays” to give the appearance of several smaller buildings.
- e New development shall express its own uniqueness of location, tenant, or structure, designed especially for the particular building site and not as a copy of a generic building type which might be used anywhere.
- f Corporate “chain” style architecture shall be avoided in the Downtown Core Transition area as it detracts from the historic and charming feel of Turlock. Corporate tenants will be required to design their buildings to fit the scale and character of the Core Transition Area.
- g Upper floors may be appropriate for varied setbacks to accommodate balconies, seating areas, and other architectural treatments.
- h Building scale can be reduced through proper use of window patterns, structural bays, roof overhangs, siding, awnings, moldings, fixtures, landscaping, and other details.
- i Architectural details and materials on lower walls that relate to human scale such as trellises or awnings shall be utilized.
- j Articulated storefronts with carefully arranged doors, windows, roof overhangs, rather than blank walls shall face onto pedestrian spaces and streets.



EACH BUILDING SHALL HAVE A RECOGNIZABLE BASE, BODY, ROOF LINE AND ENTRY



DETAILS SUCH AS PARAPETS AND AWNINGS ADD FORM AND DETAIL TO BUILDINGS.

3. Building Form and Roofline

- a New buildings shall use rooflines that reflect the current historic character and context which may include the use of sloping roof forms as accents.
- b Multi-form roofs, gabled and shed roof combinations are encouraged to create an interesting and varying roof form that



PARAPETS SHALL HAVE SUFFICIENT ARTICULATION OF DETAIL SUCH AS PRECAST TREATMENTS, CONTINUOUS BANDING OR PROJECTING CORNICES, LENTILS, CAPS, CORNER DETAILS, OR VARIETY IN PITCH.



STORE FRONTAGES SHALL INCLUDE AMENITIES SUCH AS TRANSPARENT DISPLAY WINDOWS, MOVEABLE LANDSCAPED CONTAINERS AND POTS AND AWNINGS.

will lessen the mass of the building, and add visual appeal.

- c Roof materials and colors are important aspects of the overall building design and they shall be consistent with the desired architecture and shall be complementary to adjacent structures.
- d Mansard roofs are inappropriate in the Downtown Core Transition Area and shall be eliminated as buildings redevelop.
- e Where buildings are located adjacent to the sidewalk or other pedestrian space, awnings and overhangs shall be used to create comfortable walking areas for pedestrians.
- f Parapets shall have sufficient articulation of detail such as precast treatments, continuous banding or projecting cornices, lentils, caps, corner details, or variety in pitch.
- g Rooftop equipment on flat roofs shall be screened and not visible from ground level. Buildings with flat or low-pitched roofs shall incorporate parapets, pitched facades, or architectural elements designed to screen roof mounted mechanical equipment and to be architecturally compatible with the design of the building façade.
- h Parapets shall not appear “tacked on” and shall convey a sense of permanence. If the interior side of the parapet is visible from the pedestrian/motorist area of the building, it shall receive appropriate detail, and proper application of materials shall be utilized.

4. Building Entrances

- a The building entryway shall be designed as a significant aspect of the building’s overall composition and shall be easily identifiable and accessible.
- b Recessed or projecting building entry ways shall be included in the design as they help to break up the building’s mass and prevent a barracks-like façade.
- c At a minimum, store frontages and entrances shall include one or more of the following features: transparent display windows, recessed or accentuated entries, pedestrian oriented signs, and high quality construction materials. Other features that could be included are public art, custom entry tiling, canopies/awnings, outdoor dining areas, and movable landscaped containers and pots.
- d Upper floor entries at the street frontage shall have their own distinct design that complements the main building frontage and shall not appear tacked on to the exterior of the building.

5. Building Materials and Colors

- a Where appropriate, “green materials” such as recycled wood, non-toxic paint, and low voltage lighting shall be used provided that they fit the historic character and style of the Downtown Core Transition District.
- b The selection and placement of building materials shall provide visual interest at the pedestrian level.
- c Different parts of a building’s façade shall be articulated by use of color, arrangement of façade elements, changes in materials, or other features.
- d Details such as wall surfaces constructed with patterns, changes in materials, building pop-outs, columns, or recessed areas to create shadow patterns and depth on the wall surfaces shall be used.
- e The darkest colors and materials of the buildings color palette shall be used at the base of the building in order to “ground” the building.
- f Large areas of intense light color shall be avoided. While more subdued colors usually work best for overall building color, bright or accent colors are typically appropriate for trim, windows, doors, and key architectural elements.
- g Buildings shall keep a balanced color palette between base wall colors and “brighter” or “darker” accent colors on each building.
- h Flat muted colors shall be used to reduce sun glare on wall planes. Avoid using bright whites.
- i Door and window trims, awnings, and wall tiles provide opportunity for color that adds interest and texture to storefronts or building bases. Color of trim shall be coordinated with wall colors.
- j Colors shall coordinate with natural/unpainted materials used on the facades such as rock, pressure treated wood, tile, brick, and stone.



DETAILS SUCH AS WALL SURFACES CONSTRUCTED WITH PATTERNS, CHANGES IN MATERIALS, BUILDING POP-OUTS, COLUMNS, OR RECESSED AREA TO CREATE SHADOW PATTERNS AND DEPTH ON THE WALL SURFACES SHALL BE USED

6. Windows & Doors

- a Well-designed storefronts, including windows, doors, wall composition, colors, and materials are very important to create a sense of entry and pedestrian scale.
- b Windows shall be located to maximize daylighting and views.
- c Skylights, roof monitors, or light wells shall be used to add daylight to upper floors.
- d At the street level, windows shall be treated with detail on elements such as awnings, awning supports, framing and base colors and materials and glazing (mullions, sand blasting, etc.)



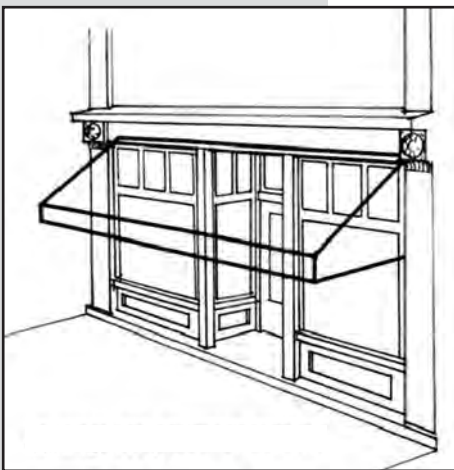
ATTENTION TO DETAIL AT WINDOWS INCLUDES AWNINGS, AWNING SUPPORT, BASE MATERIAL AND COLORS AND LIGHTING; ALL OF WHICH ENHANCE THE PEDESTRIAN SCALE.



AWNINGS SHALL ADD COLOR, FORMS, RELIEF, AND PEDESTRIAN PROTECTION FROM THE ELEMENTS. THEY MAY ALSO BE USED FOR BUSINESS IDENTIFICATION SIGNAGE.



AWNINGS SHALL BE PLACED WITHIN VERTICAL ELEMENTS WHEN THE FACADE OF THE BUILDING IS DIVIDED INTO DISTINCT STRUCTURAL BAYS.



AWNINGS ADD PEDESTRIAN COMFORT.

to strengthen the pedestrian scale of buildings.

- e Recessed openings, windows and doors provide depth and help break up the apparent mass of a large wall. Symmetry and proportionality of openings on a building or series of buildings will reinforce rhythm and scale.
- f Windows may be combined with wall planters at their base or use a base material that has color and texture such as ceramic tiles, brick, stone, or raised wood panels.
- g Windows on upper floors shall reinforce the typical rhythm of upper story windows found on traditional commercial buildings.
- h Operable windows shall be used to provide natural air circulation and allow interchange between indoor and outdoor spaces.
- i Window type, material, shape, and proportion shall complement the architectural style of the building entry.
- j Windows and doors shall be designed as accent elements with details such as lentils, awnings, moldings, and lights.

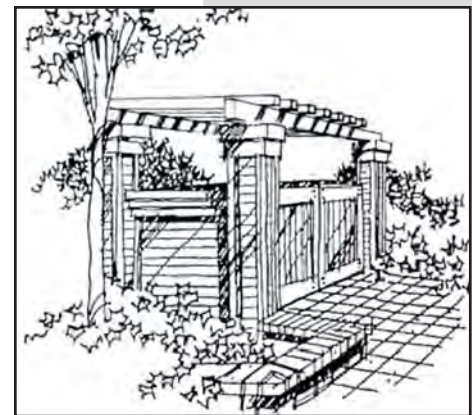
7. Awnings and Overhangs

- a Awnings shall add color, forms, relief, and pedestrian protection from the elements. They may also be used for business identification signage.
- b When adding an awning to an existing historic building, the awning or overhang shall match the architectural character of the facade. This applies to new developments as well.
- c Awnings shall help to clearly demarcate the buildings entries and help orient pedestrians and motorists.
- d Awning maintenance shall be in accordance with the awning manufacturer's care instructions. The life of the awning is generally not expected to exceed eight to ten years. Property owners shall not propose installing awnings unless they are prepared to replace and maintain the awnings.
- e Awnings shall be regularly maintained and kept free from tears, fading, and stains.
- f Awnings shall be made of cloth (not plastic, metal, or vinyl) and shall be high enough so as not to inhibit pedestrians.
- g Awnings shall not be wrapped around buildings in continuous bands. Awnings shall only be placed on top of doors, windows, and other openings where arcades are not otherwise utilized.
- h Awnings shall not dominate the façade but rather be in scale with the rest of the building.
- i Walls that could potentially have long awnings expanding the entire length shall have awnings that

- are broken into smaller segments.
- j Awnings, if lighted, shall be lit with direct, architecturally interesting and appropriate fixtures such as goosenecks.
- k Awnings shall be placed within vertical elements when the façade of a building is divided into distinct structural bays.
- l Overhangs shall incorporate a fabric, metal, or other detail that coordinates with other architectural features on the building.
- m Buildings with existing overhangs shall be remodeled to include strong attention to detail on such things as the fascia and overhand support brackets.
- n The color of awnings and overhangs shall be integrated into the overall color scheme of the project.
- o Awnings and overhangs shall not be placed so that they would vertically split a window in half.

8. Screening of Utilitarian Equipment and Trash Enclosures

- a Utility service areas shall be considered in the early building design process to ensure appropriate and complementary placement and design.
- b All utility equipment including, but not limited to, electric and gas meters, electrical panels, cable boxes, and junction boxes shall be located in a utility room within the building or in an architecturally appropriate utility enclosure.
- c Utility lines from the service drop to the site shall be underground.
- d Where screening is required, a combination of elements shall be used including solid masonry walls, berms and landscaping.
- e Any outdoor equipment, whether on a roof, side of a structure, or on the ground shall be appropriately screened from view and shall not be placed adjacent to public ways. The method of screening shall be architecturally integrated with the adjacent structure in terms of materials, color, shape and size.
- f Where feasible, electrical power lines and other mechanical equipment shall be placed underground to maximize safety and minimize visual distraction.
- g New electrical, telephone, cable television, mechanical equipment and other distribution lines shall be placed underground.
- h All new on-site connections and utilities shall be installed underground
- i Trash/Recycling enclosures shall be designed to be consistent with the style of building architecture. This is best accomplished through the use of the same materials and colors. Trash receptacles located in or near public parking areas shall meet City design standards.



TRASH ENCLOSURES SHALL BE SCREENED WITH A COMBINATION OF ELEMENTS SUCH AS DECORATIVE ENCLOSURES AND LANDSCAPING.



TRASH ENCLOSURES SHALL BE DESIGNED WITH MATERIALS AND COLORS THAT ARE CONSISTENT WITH THE ADJACENT STRUCTURE.

- j In addition to incorporating a similar architectural style, landscaping shall be incorporated into the design where feasible as an additional screen.
- k A separate pedestrian entrance shall be incorporated into the trash enclosure design so large, awkward access gates do not have to be opened as often.
- l Every property shall provide a trash enclosure that is capable of handling the refuse generated by that site. Where feasible, shared facilities shall be provided.

9.

Parking Lot Screening

- a Screening at the periphery of all parking lots visible from the street shall be provided.
- b A 36” to 42” high berm, headlight hedge, or masonry wall shall be provided to screen any parking at the street periphery. A combination of walls, berms, and landscape material is highly recommended.
- c Walls shall be finished and designed to complement surrounding buildings.
- d When walls are used to screen parking, breaks shall be provided to allow pedestrian circulation, and the walls shall be low enough for safety and security purposes.

10.

Loading and Delivery

- a Loading areas shall be generally located in the rear of the site where they can be screened from view.
- b Where loading areas cannot be located in the rear of the building, special temporary parking zones shall be defined to allow for quick and easy delivery of goods.
- c Service, utility, and loading areas shall be carefully designed, located, and integrated into the site plan. They shall be located and designed for easy access by service vehicles for convenient access by each tenant and located to minimize circulation conflicts with other site uses.

11.

Disabled-Accessible Ramps and Railing

- a Guardrails shall complement the architectural style of the building.
- b Ramps shall be integrated into the site design creating functional or unique spaces.

12.

Fire Apparatus

- a Consideration shall be given to the design of new and

remodeled structures to incorporate easy access to fire apparatuses which shall be installed per the City and County Requirements.

- b Access for fire apparatus shall be part of the planning process so as not to disrupt the visual integrity of a project.

13. Roof Drainage

- a Roof scuppers (a device placed in an opening in the wall or parapet which allows water to drain from a roof, and prevents clogging of the drain) shall not be used in areas that are visible to the street or public spaces unless they are integrated into the overall building design and water run-off is managed properly.

14. Mailboxes

- a When required, common box mailbox enclosures shall be designed similar in form, materials, and color to the surrounding buildings.
- b Mailboxes shall be located in alcoves away from the streetscape or inside the building.

15. Signage

Signs play an important role in the success of any business by providing identification and necessary advertising. When signs are integrated into the building design, they provide a personal quality that contributes to the ambiance of the Downtown Core and streetscape, especially the more unique signs. Conversely, signs may intrude upon pleasant surroundings when they are applied as an afterthought. These guidelines are intended to balance the legitimate advertising needs of businesses with the need to prevent visual clutter.

- a The sign regulations and guidelines are stated in 9-2-500ART. in the City’s Zoning Ordinance and shall be adhered to at all times. Adherence to this document, Chapters 2 and 3, is also required.
- b Signs shall coordinate with the building design, materials, color, size, and placement.
- c Signs reflecting the type of business through design, shape, or graphic form shall be used.
- d The method of sign attachment to the building shall be integrated into the overall sign and buildings design.
- e Signs shall not cover up windows or important architectural features and shall be integrated into the building facade.
- f Sign variety is encouraged among different users.
- g Flush mounted signs shall be positioned within architectural features, such as the window/panel above the storefront or flanking the doorways.
- h Flush mounted “auto oriented” signs shall align with others on the building so as to maintain the existing pattern.



SIGNS WITH UNIQUE STYLE AND FONTS ARE ENCOURAGED AMONG DIFFERENT USERS.



PEDESTRIAN ORIENTED SIGNS ADD CHARACTER TO THE STREET.

- i Signs shall be externally illuminated with concealed or architecturally treated indirect lighting.
- j Hanging signs or shingle signs (“pedestrian oriented”) attached to buildings that project perpendicular to the building shall be a minimum of 8’ from ground level to the bottom of the sign. Signs that project shall be small and ornate and reflect the use of the business by incorporating symbols or logos of the business.
- k A single building with more than one user shall provide a unifying sign theme through a master signage plan (see City Zoning 9-2-504 (b)(1)).
- l Lighting of all exterior signs shall be directional to illuminate the sign without producing glare on pedestrians, autos, or into mixed-use residential units.
- m Signs at storefronts may include temporary window signs that do not obstruct the pedestrian views into the store. Handcrafted wall-mounted signs or individual letters may also be used. All window signage, whether permanent or temporary, is subject to the limitations set fourth in the zoning code (9-2-500ART).
- n Detached signage shall be limited to one per site and shall be monument style not to exceed six feet in height.



GOOSE-NECK STYLE LIGHTING IS AN ATTRACTIVE WAY TO LIGHT SIGNAGE.

16. Lighting

Effective lighting provides safety and direction for vehicles and pedestrians, visibility and security for businesses, while enhancing a building’s architectural and landscape details. These guidelines apply to private on-site lighting in parking areas and lights associated with the building. Light types could include pole lights, spotlighting, wall-mounted sconces, parking and landscape lighting.

- a Light fixtures shall be designed or selected to be architecturally compatible with the main structure or theme of the building.
- b Additional street lighting shall be consistent with existing light fixtures
- c The quality of light, level of light as measured in footcandles, and the type of bulb or source shall be carefully addressed. Lighting levels shall not be so intense as to draw attention to the glow or glare of the project site.
- d Exposed bulbs shall not be used. Cut-off lighting is preferred.
- e Indirect window display lighting is encouraged to create an interesting and friendly atmosphere.
- f Uplighting of building elements and trees shall use the lowest wattage possible to minimize impacts to the night sky. Additionally, light sources for wall washing and tree lighting shall be hidden.



LIGHTING OF PEDESTRIAN AREAS PROVIDES A SAFE ENVIRONMENT. FIXTURES SHALL BE CONSISTENT WITH ARCHITECTURAL CHARACTER.

- g Landscape lighting shall be used to accent walkways and entries and/or seating areas and specimen plants/trees.
- h In order to conserve energy, timers and sensors shall be incorporated to avoid unnecessary lighting.
- i Walkways/alleys shall be lit to an average 1.5 to 2-foot candle intensity to ensure safe nighttime conditions.
- j Traffic signal poles shall be painted a dark green to match the existing street lights until it can be replaced with a matching dark green decorative pole.

17. Outdoor Spaces

- a Recognize the importance of spaces between structures as “outdoor rooms” on the site. Outdoor spaces shall have clear, recognizable shapes that reflect careful planning and are not “left over” areas between structures. Such spaces shall provide pedestrian amenities such as benches, shade, fountains, public art, etc.
- b Areas where the building is set back from the street frontage shall be designed as a plaza or courtyard.
- c Plazas and open spaces shall be designed to be welcoming and inviting to people at all hours of the day and night.
- d Outdoor spaces shall take into consideration local climatic characteristics such as sunshine, cold, shade, and heat that radiates from the ground to ensure comfort for pedestrians.

18. Parking and Circulation

This section is intended to ensure that parking lot designs are attractive and functional, while at the same time meet parking regulations.

- a Site plans shall balance the need to provide adequate vehicular access, with the need to eliminate unnecessary driveway entrances and provide reciprocal access points which are coordinated with other properties.
- b The site area adjacent to the street shall not be dominated with parking. Parking shall be concentrated in areas behind buildings and away from the street when possible.
- c Parking access points, whether located on front, side, or rear streets, shall be located as far as possible from street intersections so that adequate stacking room is provided.
- d Parking lots on corner sites shall not be placed adjacent to the street edge.
- e Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts where possible.
- f Where parking abuts street edge, a minimum 5’ wide landscape buffer shall be provided with shrubbery that will screen parking to 36” in



WHERE PARKING ABUTS STREET EDGE, A LANDSCAPE BUFFER SHALL BE PROVIDED.



MIXED USE BUILDINGS BRING A NEW VITALITY TO DOWNTOWN WITH GROUND FLOOR RETAIL/OFFICE AND RESIDENTIAL ABOVE.

- height and street trees planted at regular intervals (30' o.c.)
- g Parking lots shall provide areas for bicycle and motorcycle parking.
- h Reciprocal access shall be provided so that vehicles are not required to enter the street in order to move from one area to another on the same site.

19. **Mixed-Use Projects**

- a Mixed-use projects combine commercial, office, and/or residential uses into one single development. The uses shall be combined in multiple ways such as each use on one floor or wing of a building, or each use in completely separate buildings throughout the site.
- b Combination of uses shall include:
 - Retail on ground floor with office/residential above;
 - Retail on street side frontage; office/residential in rear; or,
 - Office on ground floor or street side and residential above or behind.
- c When multiple uses are both proposed in the same building, they shall have separate and convenient entrances for each use.
- d Security gates and fencing shall be used for the residential access into a mixed-use building.
- e Commercial uses shall attempt to shield parking lot and security lighting from impacting the surrounding residential areas.
- f The entire mixed-use building shall have a consistent architectural style and use of materials. However; when the intent is to differentiate between uses, architectural details (i.e. materials, color, etc.) may vary.
- g Mixed-use projects which are three stories or less in height shall use full roofs on at least 50% of the entire roof.
- h Mixed-use projects which are three stories or greater in height shall set back and stagger the upper stories to a minimum of 10 feet for each story above the second floor.
- i Mixed-use projects shall only use a minimal amount of commercial signage at ground level for pedestrian

orientation and only place signs where they are most appropriate.

20. Corporate Architecture

- a The use of corporate “chain” architecture detracts from the unique character of the community and is strongly discouraged. Corporate tenants shall design their buildings to fit the scale and character of the community that it is proposed within. Corporate signage shall not dominate the building facade.
- b Buildings shall be oriented onto the street and include pedestrian friendly features such as awnings, display windows, and landscaping.
- c Parking areas shall be located at the rear of the building. Only 25% of the total parking spaces shall be located on the side of the building.
- d Drive-thru/up building configurations shall not be located in the Downtown Core Transitional District.
- e Roof forms help to establish the architectural style of the building. Corporate roof forms shall respect the historic character of Turlock by using well articulated parapets
- f The building color and materials shall complement adjacent structures.
- g Attached signage is encouraged. Detached or freestanding signs shall be considered if contained within a low profile structure, consistent with building design and shall be externally lighted (see Zoning Ordinance 9-2-500).
- h Columns supporting a structure shall be of sufficient thickness to emphasize a sense of strength, balance, and traditional masonry proportions. The columns shall also include a cap and a base. The base shall be the darkest exterior material and shall be furred out three to four inches to enhance and anchor the structure.
- i Service bays shall not be designed to face on to the street.



CORPORATE ARCHITECTURE SHALL INCORPORATE MATERIALS THAT COMPLEMENT ADJACENT STRUCTURES.

21. Streetscapes

- a Lighting fixtures shall be consistent with the style currently used in the Downtown Core.
- b Lighting fixtures shall have only one fixture instead of two in order to distinguish the Downtown Core Transition district from the Downtown Core.
- c Light fixtures shall be adorned with banners or flags to announce the entrance into the Downtown Core. Welcome banners or flags announcing public events shall be used.
- d Pavers shall be consistent with the ones used in the Downtown Core and shall only be used on sidewalk corners, as accent trim, and/or crosswalks.

- e Sidewalks shall be five feet (5') wide in order to accommodate pedestrians and separated from the street edge by a planting strip.
- f A minimum four foot (4') planting strip shall be installed with the development of new buildings if it is consistent with the existing environment.
- g Street furnishings (benches, bike racks, trash cans, and planting containers) shall remain consistent with the existing furnishings in the Downtown Core.
- h Tree species and grates shall remain consistent with those used in the Downtown Core.
- i Street signs shall be consistent with those used in the Downtown Core

22. **Sidewalk Cafes**

- a Sidewalk café areas shall be screens with semi-permanent decorative screens or walls. Screens can be made of wood, plastic or metal, and shall attach to the sidewalk with recessed anchors – allowing for seasonal removal, leaving no tripping hazard in its absence.
- b Screens shall not be more than 42” tall.
- c Screens can either be solid or semi-solid. Designs shall be consistent with building façade design and/or restaurant theme.
- d Screen layout needs to enclose the entire outdoor café area, leaving required exit width accommodations for occupancy of facility.
- e Take-out establishments, where food is purchased inside the building, may have unscreened outdoor dining areas, provided that 48” of clear space is maintained at all times.
- f Tables and chairs can be of varying type, but those designed for exterior use are recommended. Tabletop sunshades, pole shades and sunscreens are recommended.
- g Layout of outdoor cafes shall allow for minimum 48” clear sidewalk right of way. Street signage, furniture, and landscaping shall not encroach in this 60” clear space.
- h Location of café is recommended to be located along building façade, however, the 48” clear space can be designed between the sidewalk café and the building façade.
- i Interior table layout of sidewalk cafes shall conform with all applicable building codes in regards to spacing, aisle width, occupancy, ADA and California Title 24 and exiting.
- j Accent lighting is highly recommended
- k Landscaping such as flower boxes are recommended to be incorporated into the design.

3-2 TRANSITIONAL COMMERCIAL



TRANSITIONAL COMMERCIAL

DESIGN GUIDELINES

 District 2 - Transitional Commercial

2 - Transitional Commercial

The Transitional Commercial areas lay north, south, and west of the Downtown Core. These areas contain office and commercial buildings that cater to the auto-oriented consumer. These areas also serve as the main gateways into the downtown core and therefore shall be designed to give one a good first impression of the downtown area. This can be accomplished by incorporating gateway signage and landscaping, providing a unified streetscape design, regulating signage, and screening parking.

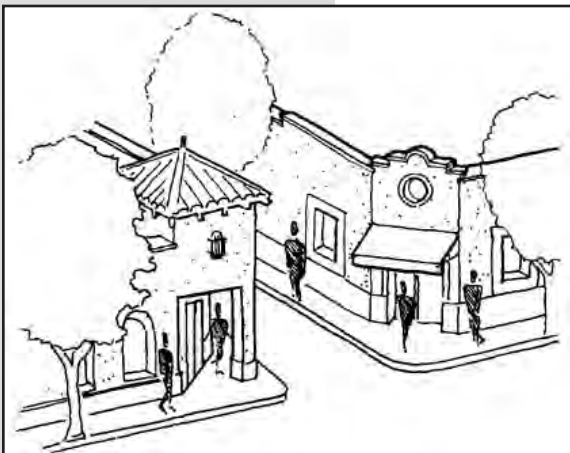
It is recognized that the Transitional Commercial area includes a blend of architectural building styles from historic buildings to small shopping centers and low-intensity commercial space. The intent for this district is to allow the continuation of the eclectic styles of buildings while enhancing the overall aesthetic character of the area and improving the pedestrian environment throughout the area. The following guidelines are set fourth to provide a framework of design solutions with the intent to preserve and enhance the charming character of the Downtown Core and to enhance the aesthetic appearance of the streetscape and commercial buildings and centers in this district. Additionally, any addition, remodeling, relocation or construction requiring a building permit within this district shall adhere to these guidelines where applicable.

The guidelines are grouped into the following categories:

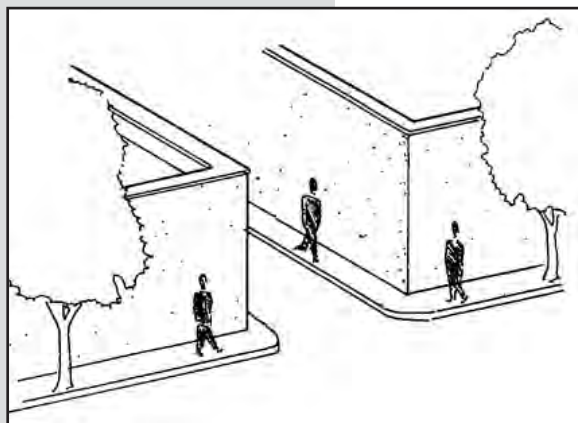
1. Site Design
2. Sides and Backs of Buildings
3. Building Mass and Scale
4. Building Form and Roofline
5. Building Entrances
6. Building Materials and Colors
7. Windows and Doors
8. Awnings and Overhangs
9. Screening of Utilitarian Equipment and Trash Enclosures
10. Loading and Delivery
11. Disabled Accessible Ramps and Railing
12. Roof Drainage
13. Mailboxes
14. Signage
15. Lighting
16. Parking and Circulation
17. Parking Lot Screening
18. Parking Lot Area Planting
19. Outdoor Spaces
20. Sidewalk Cafes
21. Streetscapes
22. Corporate Architecture
23. Golden State Blvd. Corridor
24. The Railroad Corridor



SPECIAL ATTENTION SHALL BE GIVEN TO BUILDING ORIENTATION AND ARTICULATION ON CORNER SITES.



RECOMMENDED CORNER BUILDING TREATMENT.



NOT RECOMMENDED CORNER BUILDING TREATMENT.

1. Site Design

- a Infill buildings and remodels in the Transitional Commercial district shall give careful consideration to adjacent building conditions and their historic architectural features and scale. Buildings shall be sited and designed to reinforce the scale, massing and rhythm of adjacent facades.
- b Each building is encouraged to have a unique identity but shall integrate design elements from adjacent structures such as height, roof forms, window treatments, and architectural style.
- c Site plans shall balance the need to provide adequate vehicular access, with the need to eliminate unnecessary driveway entrances and provide access points which are coordinated with other properties.
- d Buildings shall be sited and designed so that there are no barriers or other elements emphasizing property boundaries. Care shall be taken when addressing the interface between two or more properties. Property lines shall not be treated as walls and or barriers.
- e Special attention shall be given to building orientation and articulation on corner sites especially at gateway intersections (see Gateways section in the introduction). Prominent architectural features such as clock towers, marquees, and building entries shall be located at and oriented to the property's corners and intersections.
- f All new infill buildings except shopping centers shall be designed so at least 75% of the buildings frontage is commercial storefront.
- g Blank walls or loading areas shall not face public streets
- h Focal points such as towers, marquees and porticos shall be included on large buildings to create a definite sense of identification. Plazas, landscape, fountains, public art, textured pavement, and vertical building features shall be combined to create focal points and identity.
- i Public art shall be incorporated into buildings and public spaces.
- j Spaces in commercial buildings shall be designed so that they can be leased to more than one tenant.
- k Commercial buildings shall be designed to have 360 degree architecture. In other words, all four building elevations shall be architecturally articulated.

2. Sides and Backs of Buildings

- a Murals, trellises, or vines and espaliers shall be placed on large expanses of walls at the rear or sides of buildings to soften the wall plane and create interest.
- b Architecturally compatible wall mounted lighting shall be provided between buildings to ensure security.
- c Restaurants and cafes shall use sides of buildings for outdoor seating.

3. Building Mass and Scale

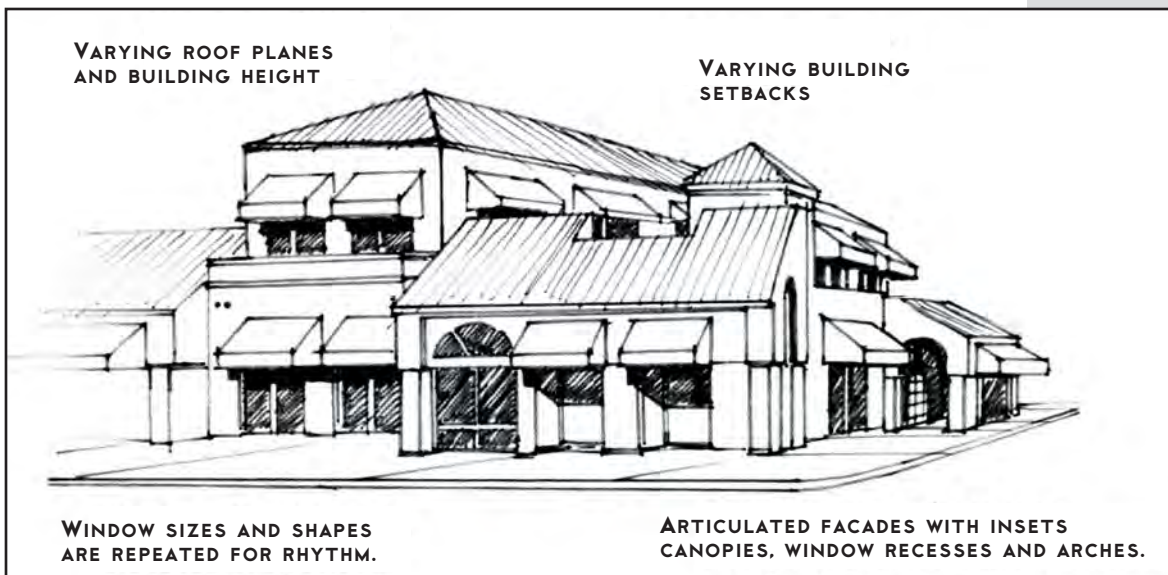
- a Each building shall have a recognizable base, body, roof line and entry.
- b Massing design may include:
 - o Variation in the wall plane (project and recess)
 - o Variation in wall height
 - o Roof located at different levels
- c Vary the planes of the exterior walls in depth and/or direction. Wall planes shall not extend more than 30 feet horizontally without a significant variation in wall plane.
- d Changes in vertical planes break up a boxlike appearance. Vertical elements such as pilasters help create “bays” to give the appearance of several smaller buildings.
- e New buildings shall express their own uniqueness of location, tenant, or structure, designed especially for the particular building site and not as a copy of a generic building type which might be used anywhere.

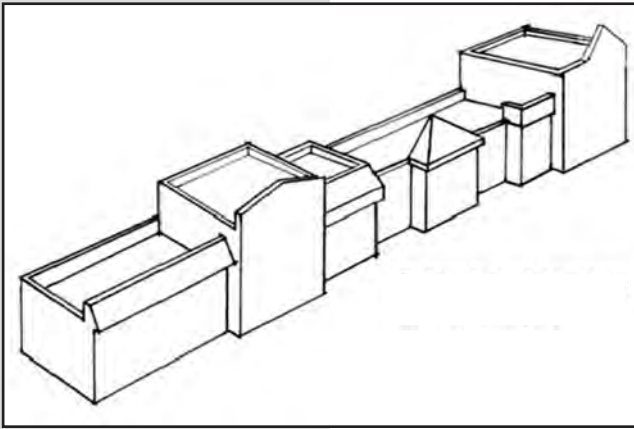


SIDES OF BUILDINGS AND ALLEYWAYS SHALL BE INVITING AND PEDESTRIAN FRIENDLY.



THE SCALE OF THIS LARGE BUILDING HAS BEEN REDUCED BY PROJECTING SMALLER WALL PLANES.





ARTICULATION OF ROOF LINES AND STYLES REDUCE THE MASS OF LARGE, LINEAR RETAIL BUILDINGS.



ROOF LINES SHALL REFLECT AGRARIAN STYLE ARCHITECTURE.



DESIGN ELEMENTS SUCH AS PARAPETS AND CORNER TOWERS SHALL BE USED TO ESTABLISH BUILDING IDENTITY AND CREATE A SENSE OF PLACE.

- f Corporate “chain” style architecture shall fit the scale and character of Turlock (see Corporate Architecture section).
- g Building scale shall be reduced through proper use of window patterns, structural bays, roof overhangs, siding, awnings, moldings, fixtures, landscaping, and other details.
- h Architectural details and materials on lower walls that relate to human scale such as trellises or awnings shall be utilized.
- i Articulated storefronts with carefully arranged doors, windows, roof overhangs, rather than blank walls shall face onto pedestrian spaces and streets.

4. Building Form and Roofline

- a New buildings shall use rooflines that reflect the current historic character and may use sloping roof forms as accents.
- b Multi-form roofs, gabled and shed roof combinations are encouraged to create an interesting and varying roof form that will lessen the mass of the building, and add visual appeal.
- c Roof materials and colors are important aspects of the overall building design. They shall be consistent with the desired architecture and complementary to adjacent structures.
- d Mansard roofs are inappropriate in the Transitional Commercial District and shall be eliminated as buildings redevelop.
- e Parapets shall be used, when sufficiently detailed, to screen roof mounted equipment and provide a contrast to gabled or pitched roofs.
 - f Parapets shall have sufficient articulation of detail such as precast treatments, continuous banding or projecting cornices, lentils, caps, corner details, or variety in pitch.
 - g Rooftop equipment on flat roofs shall be screened and not visible from ground level. Buildings with flat or low-pitched roofs shall incorporate parapets, pitched facades, or architectural elements designed to screen roof mounted mechanical equipment and to be architecturally compatible with the design of the building façade.

- h Parapets shall not appear “tacked on” and shall convey a sense of permanence. If the interior side of the parapet is visible from the pedestrian/motorist area of the building, it shall receive appropriate detail, and proper application of materials shall be utilized.

5. Building Entrances

- a The building entryway shall be designed as a significant aspect of the building’s overall composition and shall be easily identifiable and accessible.
- b Recessed or projecting building entryways shall be included in the design as they help to break up the building’s mass.

6. Building Materials and Colors

- a Where appropriate, “green materials” such as non-toxic paints, recycled wood, and low-voltage lighting fixtures shall be used provided that they are compatible with the adjoining buildings character and style of Downtown Turlock.
- b The selection and placement of building materials shall provide visual interest at the pedestrian level.
- c Different parts of a building’s façade shall be articulated by use of color, arrangement of façade elements, changes in materials, or other features.
- d Details such as wall surfaces constructed with patterns, changes in materials, building pop-outs, columns, or recessed areas to create shadow patterns and depth on the wall surfaces shall be used.
- e The darkest colors and materials of the building’s color palette shall be used at the base of the building in order to “ground” the building.
- f Large areas of intense light color shall be avoided. While more subdued colors usually work best for overall building color, bright or accent colors are typically appropriate for trim, windows, doors, and key architectural elements.
- g Flat muted colors shall be used to reduce sun glare on wall planes. Avoid using bright whites.
- h Door and window trims, awnings, and wall tiles provide opportunity for color that adds interest



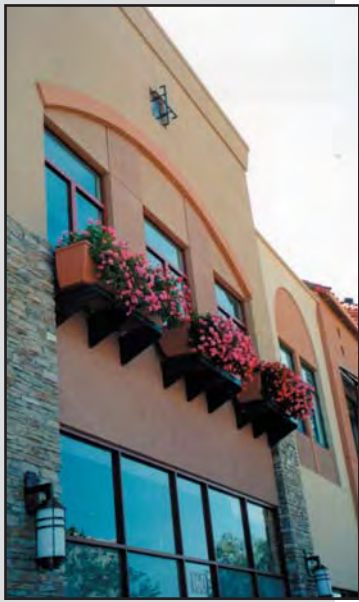
DETAILS SUCH AS WALL SURFACES CONSTRUCTED WITH PATTERNS, CHANGES IN MATERIALS, BUILDING POP-OUTS, COLUMNS, OR RECESSED AREAS TO CREATE SHADOW PATTERNS AND DEPTH ON THE WALL SURFACES SHALL BE USED.



COLORS SHALL COORDINATE WITH NATURAL/UNPAINTED MATERIALS USED ON THE FACADES SUCH AS RIVER ROCK, PRESSURE TREATED WOOD, TILE, BRICK, AND STONE.



DETAILS SUCH AS COLOR VARIATION, WOOD, ROCK, OR BRICK ACCENTS SHALL WRAP AROUND THE PLANE 4' (OR UNTIL THE NEXT WALL PLANE IS REACHED).



WINDOWS SHALL BE COMBINED WITH WALL PLANTERS AT THEIR BASE.



AWNINGS ADD COLOR, FORM, RELIEF, AND PEDESTRIAN PROTECTION FROM THE ELEMENTS.



FACADES THAT COULD POTENTIALLY HAVE LONG AWNINGS EXPANDING THE ENTIRE LENGTH SHALL HAVE AWNINGS THAT ARE BROKEN INTO SMALLER SEGMENTS.

and texture to storefronts or building bases. Color of trim shall be coordinated with wall colors.

- i Colors shall coordinate with natural/unpainted materials used on the facades such as rock, pressure treated wood, tile, brick, and stone.
- j Details such as color variation, wood, rock, or brick accents shall wrap around the plane 2' (or until the next wall plane is reached) so as not to appear tacked on.

7. Windows & Doors

- a Well-designed storefronts, including windows, doors, wall composition, colors, and materials are very important to create a sense of entry and pedestrian scale.
- b Windows shall be located to maximize daylighting and views.
- c Skylights, roof monitors, or light wells shall be used to add daylight to upper floors.
- d At the street level, windows shall have pedestrian scale and detail. The framing provides opportunity for color variation and detail.
- e Storefront windows and doors shall be of the same style. The line established by uniform storefront heights helps to establish a sense of scale for pedestrians.

f Recessed openings, windows and doors provide depth and can help break up the apparent mass of a large wall and shall be used.

g Windows shall be combined with wall planters at their base or use a base material that has color and texture such as ceramic tiles, brick, rock, or raised wood panels.

h Window type, material, shape, and proportion shall complement the architectural style of the building entry.

i Retail storefronts with display windows shall be used within the creatively designed façade. Large expanse of glass, glass curtain walls, or glass buildings are not appropriate.

8. Awnings and Overhangs

a Awnings add color, forms, relief, and pedestrian protection from the elements. They may also create a space for identification signage.

b When adding an awning to an existing building, the awning or overhang shall match the architectural character of the facade. This applies to new buildings as well.

c Awnings shall help to clearly demarcate the buildings entries and help orient pedestrians and motorists.

- d Awning maintenance shall be in accordance with the awning manufacturer's care instructions. The life of the awning is generally not expected to exceed eight to ten years. Property owners shall not propose installing awnings unless they are prepared to replace and maintain the awnings.
- e Awnings shall be regularly maintained and kept free from tears, fading, and stains.
- f Awnings shall be made of cloth (not plastic, metal, or vinyl) and shall be high enough so as not to inhibit pedestrians.
- g Awnings shall not be wrapped around buildings in continuous bands. Awnings shall only be placed on top of doors, windows, and other openings where arcades are not otherwise utilized.
- h Awnings shall not dominate the façade but rather be in scale with the rest of the building.
- i Facades that could potentially have long awnings expanding the entire length shall proportionately segment the awnings into smaller segments.
- j Awnings, if lighted, shall be lit with direct, architecturally interesting and appropriate fixtures such as goosenecks.
- k Awnings shall be placed within vertical elements when the façade of a building is divided into distinct structural bays.



THE COLOR OF AWNINGS AND OVERHANGS SHALL BE INTEGRATED INTO THE OVERALL COLOR SCHEME OF THE PROJECT.



AWNINGS SHALL NOT DOMINATE THE FACADE BUT RATHER BE IN SCALE WITH THE REST OF THE BUILDING.

9. Screening of Utilitarian Equipment and Trash Enclosures

- a Utility service areas shall be considered in the early building design process to ensure appropriate and complementary placement and design.
- b All utility equipment including, but not limited to, electric and gas meters, electrical panels, cable boxes, and junction boxes shall be located in a utility room within the building or in an architecturally appropriate utility enclosure.
- c Where screening is required, a combination of elements shall be used including solid masonry walls, berms and landscaping.
- d Any outdoor equipment, whether on a roof, side of a structure, or on the ground shall be appropriately screened from view and shall not be placed adjacent to public ways. The method of screening shall be architecturally integrated with the adjacent structure in terms of materials, color, shape and size.
- e Where feasible, electrical power lines and other mechanical equipment



AWNINGS SHALL BE MADE OF CLOTH AND BE PLACED HIGH ENOUGH SO AS NOT TO INHIBIT PEDESTRIANS.



SIMILAR OF THE SAME BUILDING MATERIALS SHALL BE USED ON THE ENCLOSURE AS THE BUILDINGS



TRASH/RECYCLING ENCLOSURES SHALL BE DESIGNED TO BE CONSISTENT WITH THE DESIGN OF THE PROJECT AND BUILDING ARCHITECTURE.

shall be placed underground to maximize safety and minimize visual distraction.

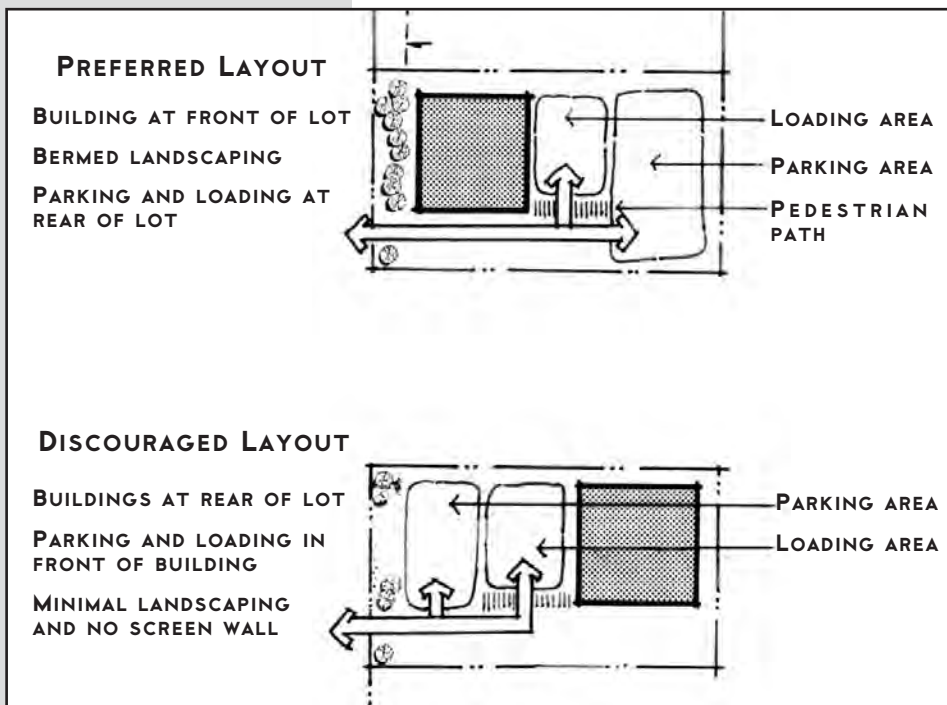
- f New electrical, telephone, cable television, mechanical equipment and other distribution lines shall be placed underground.
- g All new on-site connections and utilities shall be installed underground
- h Trash/Recycling enclosures shall be designed to be consistent with the design of the building and building architecture. Similar or the same building materials shall be used on the enclosure as the buildings.
- i In addition to incorporating a similar architectural style, landscaping shall be incorporated into the design as an additional screen.
- j A separate pedestrian entrance shall be incorporated into the trash enclosure design.
- k Every property shall provide a trash enclosure that is capable of handling the refuse generated by that site. Where feasible, shared facilities shall be provided.

10. Loading and Delivery

- a Loading areas shall be generally located in the rear of the site where they can be screened from view.
- b Where loading areas cannot be located in the rear of the building, special temporary parking zones shall be defined to allow for quick and easy delivery of goods.
- c Service, utility, and loading areas shall be carefully designed, located, and integrated into the site plan.

They shall be located and designed for easy access by service vehicles, for convenient access by each tenant and located to minimize circulation conflicts with other site uses.

- d Service and loading areas shall be designed as to not disrupt nearby residential neighborhoods.



11. Disabled-Accessible Ramps and Railing

- a Guardrails shall complement the architectural style of the building.
- b Ramps shall be integrated into the site design creating functional or unique spaces.

12. Roof Drainage

- a Roof scuppers (a device placed in an opening in the wall or parapet which allows water to drain from a roof, and prevents clogging of the drain) shall not be used in areas that are visible to the street or public spaces unless they are integrated into the overall building design.

13. Mailboxes

- a Common box mailbox enclosure shall be designed similar in form, materials, and color to the surrounding buildings.
- b Mailboxes shall be located in alcoves away from the streetscape.

14. Signage

- a Signs play an important role in the success of any business by providing identification and necessary advertising. When signs are integrated into the building design, they provide a personal quality that contributes to the ambiance of the Downtown Area and streetscape, especially the more unique signs. Conversely, signs may intrude upon pleasant surroundings when they are applied as an afterthought. These guidelines are intended to balance the legitimate advertising needs of businesses with the need to prevent visual clutter.
- b The sign regulations and guidelines are stated in 9-2-500ART. in the City’s Zoning Ordinance and shall be adhered to at all times.
- c Signs shall coordinate with the building design, materials, color, size, and placement.
- d Signs reflecting the type of business through design, shape, or graphic form shall be used.
- e The method of sign attachment to the building shall be integrated into the overall sign design chosen.
- f Signs shall not cover up windows or important architectural features.
- g Sign variety is encouraged among different users.
- h Flush mounted signs shall be positioned within architectural features,



MONUMENT SIGNS SHALL REFLECT THE ARCHITECTURAL CHARACTER OF THE BUILDING



CORPORATE TENNANTS SHALL ADAPT THEIR MONUMENT SIGNS TO FIT THE CHARACTER OF DOWNTOWN.



SIGNAGE CAN BE AN ATTRACTIVE FEATURE OF A BUILDINGS ENTRANCE.



CUSTOM SIGNAGE REFLECTING THE LOGO OR ICON OF THE BUSINESS IS ENCOURAGED.



LIGHT FIXTURES SHALL BE DESIGNED OR SELECTED TO BE ARCHITECTURALLY COMPATIBLE WITH THE MAIN STRUCTURE OR BUILDING.



PROJECTING LIGHTS HELP TO INDIRECTLY LIGHT THE BUILDING SIGN.



LIGHTS HELP TO DRAW VERTICAL ATTENTION TO A BUILDING.

such as the window/panel above the storefront or flanking the doorways.

- i Flush mounted signs shall align with others in the “center” so as to maintain the existing pattern.
- j Hanging signs attached to buildings that project perpendicular to the building shall be a minimum of 8’ from ground level to the bottom of the sign. Signs that project shall be small and reflect the use of the business by incorporating symbols or logos of the business.
- k A single building with more than five users shall provide a unifying sign theme through a master signage plan.

- l Lighting of all exterior signs shall be directional to illuminate the sign without producing glare on pedestrians, autos, or into adjacent properties.

15. Lighting

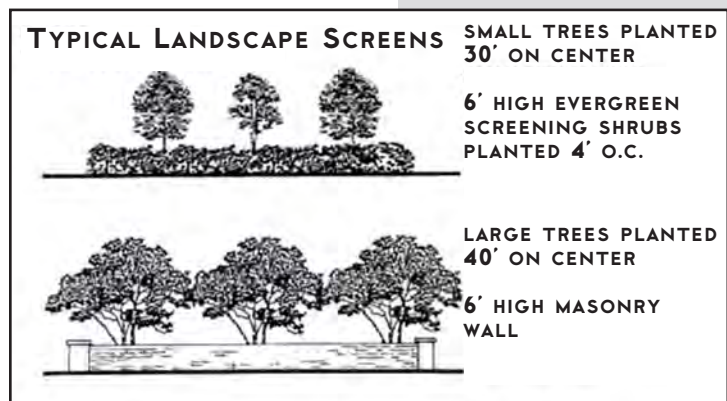
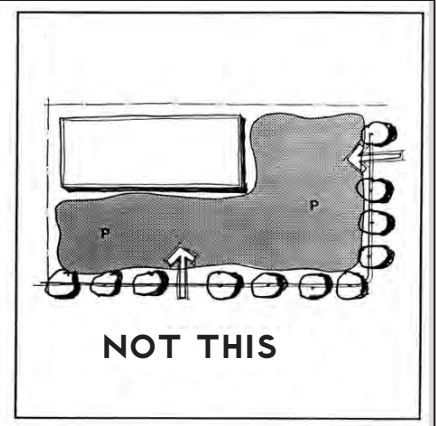
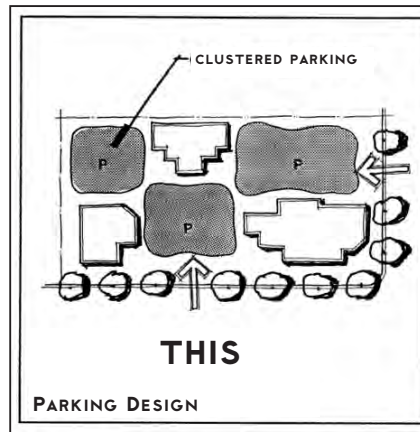
- a Effective lighting provides safety and direction for vehicles and pedestrians, visibility and security for businesses, while enhancing architectural building and landscape details. These guidelines apply to private on-site lighting, parking areas, and lights associated with the building. Light types could include pole lights, spotlighting, wall-mounted sconces, parking and landscape lighting.
- b Light fixtures shall be designed or selected to be architecturally compatible with the main structure or theme of the building.
- c Additional street lighting shall be consistent with existing City street light fixtures. Double luminaries shall be used along major thoroughfares, single luminaries are to be used elsewhere.
- d The quality of light, level of light as measured in footcandles, and the type of bulb or source shall be carefully addressed. Lighting levels shall not be so intense as to draw attention to the glow or glare of the building site.
- e Exposed bulbs shall not be used. Cut-off lighting is preferred.
- f Uplighting of building elements and trees shall use the lowest wattage possible to minimize impacts to the night sky. Additionally, light sources for wall washing and tree lighting shall be hidden.
- g Landscape lighting shall be used to accent walkways and entries and/or seating areas and

specimen plants/trees.

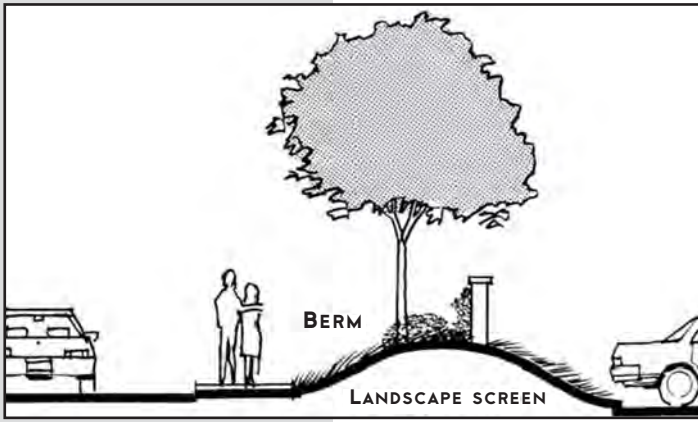
- h To conserve energy, timers and sensors shall be incorporated to avoid unnecessary lighting.
- i Walkways/alleys shall be lit to an average 1.5 to 2-foot candle intensity to ensure safe nighttime conditions.

16. Parking and Circulation

- a This section is intended to ensure that parking lot designs are attractive and functional, while meeting parking regulations.
- b Site plans shall balance the need to provide adequate vehicular access, with the need to eliminate unnecessary driveway entrances and provide reciprocal access points which are coordinated with other properties.
- c The site area adjacent to the street shall not be dominated with parking. Parking shall be concentrated in areas behind buildings at the front of the property and away from the street when possible.
- d Parking access points, whether located on front, side, or rear streets, shall be located as far as possible from street intersections so that adequate stacking room is provided.
- e Parking lots on corner sites shall not be placed adjacent to the street edge.
- f Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts where possible.
- g Parking lots shall provide areas for bicycle and motorcycle parking.
- h Reciprocal access easements shall be obtained where possible to minimize ingress/egress along street frontage.
- i The traffic generated from parking lots shall not disturb local residential neighborhoods.
- j Parking areas shall be designed so that cars and pedestrians are separated. The need for pedestrians to cross parking aisles shall be minimized. Landscape island walkways shall be used to connect parking and building entries.
- k Access between transit/bus stops to building entrances shall be clearly defined.



LANDSCAPED ISLANDS MAKE PARKING LOTS MORE ATTRACTIVE.



- l The on-site pedestrian circulation system shall be directly connected to off-site public sidewalks.
- m Asphalt sidewalks are not appropriate and shall not be used.

17. Parking Lot Screening

- a Screening at the periphery of all parking lots shall be provided with a minimum 5' wide landscape area.
- b A 36" high berm, headlight hedge, or masonry wall shall be provided to screen any parking at the street periphery. A combination of walls, berms, and landscape material is highly recommended.
- c When walls are used to screen parking, breaks shall be provided to allow pedestrian circulation, and the walls shall be low enough for safety and security purposes.
- d Walls shall be finished and designed to complement surrounding buildings.

18. Parking Lot Area Planting

- a Landscaping within parking lots shall be given special consideration. These areas are typically located out of the public right-of-way and shall contain different planting materials than a neighboring street. To this end, these guidelines shall provide a parking lot designer with the direction needed to create a functional and attractive parking environment. Refer to City Zoning Section 9-2-109 for specific requirements.
- b Appropriate lighting and landscaping shall be provided, including shade trees and lampposts (refer to lighting section of these Guidelines).
- c Where more than five (5) automobile parking spaces exist on a lot or parcel of land, areas not used for vehicle parking or maneuvering, or for the movement of pedestrians to and from vehicles shall be used for landscaping. The required trees shall be distributed throughout the parking lot so as to maximize the aesthetic effect and compatibility with adjoining uses.
- d All landscaped areas shall be bordered by a concrete curb a minimum of six (6) inches high adjacent to the parking surface.
- e Landscaping shall be provided at the rear of buildings that interface with parking areas.



LANDSCAPED WALKWAYS GIVE PEDESTRIANS A SAFE ROUTE TO THE BUILDING ENTRANCE

- f A landscaping buffer shall be provided between parking areas and public rights-of-way. The landscaped buffer area shall not be included when calculating the minimum percent landscaping required within the parking lot interior (see City Zoning 9-2-109).

19. Outdoor Spaces

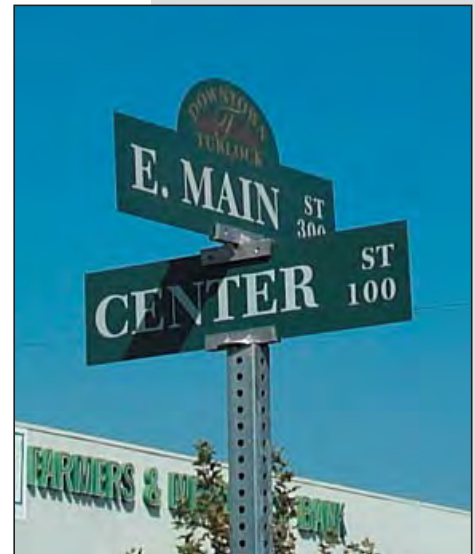
- a Recognize the importance of spaces between structures as “outdoor rooms” on the site. Outdoor spaces shall have clear, recognizable shapes that reflect careful planning and are not “left over” areas between structures. Such spaces shall provide pedestrian amenities such as benches, shade, fountains, public art, etc.
- b Areas where the building is set back from the street frontage shall be designed as a plaza or courtyard.
- c Plazas and open spaces shall be designed to be welcoming and inviting to people at all hours of the day and night.
- d Outdoor spaces shall take into consideration local climatic characteristics such as sunshine, cold, shade, and heat that radiates from the ground to ensure comfort and utility of the space.



OUTDOOR DINING AREAS BRING LIFE AND ACTIVITY TO THE STREET.

20. Sidewalk Cafes

- a Sidewalk café areas shall be screens with semi-permanent decorative screens or walls. Screens can be made of wood, plastic or metal, and shall attach to the sidewalk with recessed anchors – allowing for seasonal removal, leaving no tripping hazard in its absence.
- b Screens shall not be more than 42” tall.
- c Screens can either be solid or semi-solid. Designs shall be consistent with building façade design and/or restaurant theme.
- d Screen layout needs to enclose the entire outdoor café area, leaving required exit width accommodations for occupancy of facility.
- e Take-out establishments, where food is purchased inside the building, may have unscreened outdoor dining areas, provided that 48” of clear space is maintained at all times.
- f Tables and chairs can be of varying type, but those designed for exterior use are recommended. Tabletop sunshades, pole shades and sunscreens are recommended.
- g Layout of outdoor cafes shall allow for minimum 48” clear sidewalk right of way. Street signage, furniture, and landscaping shall not encroach in this 60” clear space.
- h Location of café is recommended to be located along building façade,



THIS STYLE OF SIGN SHALL BE USED THROUGHOUT THE DOWNTOWN



WELL ARTICULATED FACADES, AWNING TREATMENTS, AND USE OF MATERIALS SHALL BE USED BY CORPORATE TENANTS IN ORDER TO FIT THE SCALE AND CHARACTER OF THE DOWNTOWN.



however, the 48” clear space can be designed between the sidewalk café and the building façade.

- i Interior table layout of sidewalk cafes shall conform with all applicable building codes in regards to spacing, aisle width, occupancy, ADA and California Title 24 and exiting.
- j Accent lighting is highly recommended
- k Landscaping such as flower boxes are recommended to be incorporated into the design.

21. Streetscapes

- a Lighting fixtures shall be consistent with the style currently used in the Downtown Core.
- b Lighting fixtures along major thoroughfares shall have the dual luminaries while all other areas shall have only one luminaire in order to distinguish the significance of roadways
- c Light fixtures shall be adorned with banners or flags along Golden State Blvd. and Landers Ave. to announce the entrance into the Downtown Core. Welcome banners or flags announcing public events are appropriate.
- d Use of pavers shall be consistent with the ones used in the Downtown Core and shall only be used on sidewalk corners, as accent trim, and/or crosswalks.
- e Sidewalks shall be a minimum twelve feet (12’) wide in order to accommodate pedestrians,

street trees, and street furnishings.

- f Street furnishings (benches, bike racks, trash cans, and planting containers) shall remain consistent with the existing furnishings in the Downtown Core.
- g Tree species and grates shall remain consistent with those used in the Downtown Core.
- h Street signs shall be consistent with those used in the Downtown Core.
- i Traffic signal poles shall be painted a dark green to match the existing street lights until they can be replaced with a matching dark green decorative pole. Gateway intersections shall be first priority.

22. Corporate Architecture

- a The use of corporate “chain” architecture detracts from the unique character of the community and is strongly discouraged. Corporate tenants shall design their buildings to fit the scale and character of the

- community that it is proposed within. Corporate signage shall not dominate the building facade.
- b Buildings shall be oriented onto the street and include pedestrian friendly features such as awnings, display windows, and landscaping.
 - c Roof forms help to establish the architectural style of the building. Corporate roof forms shall respect the historic and rural character of Turlock by using well articulated parapets and roof lines.
 - d The building color and materials shall complement adjacent structures.
 - e Attached signage is encouraged. Detached or freestanding signs shall be considered if contained within a monument sign, consistent with building design and shall be externally lighted.
 - f Gas station canopies shall be consistent with the design of the overall and building architecture. Similar or the same materials shall be used on the canopy as the buildings. The roof structure shall be designed to be architecturally compatible.
 - g Columns supporting a structure shall be of sufficient thickness to emphasize a sense of strength, balance, and traditional proportions. The columns shall also include a cap and a base. The base shall be the darkest exterior material and shall be furred out three to four inches to enhance and anchor the structure.
 - h Service bays shall not be designed to face directly on to the street.

23. Golden State Blvd. Corridor

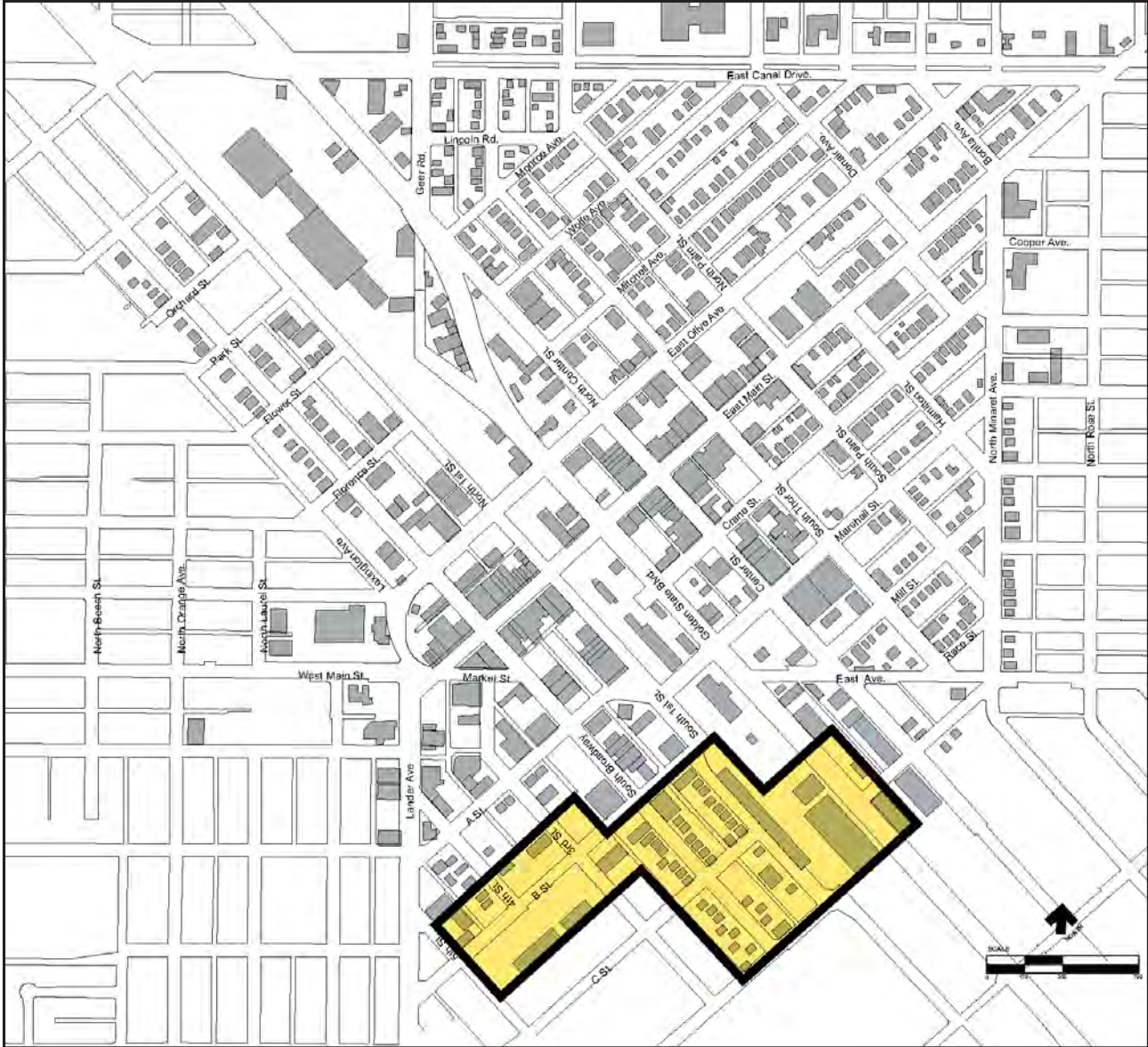
- a The Golden State Blvd. Corridor shall be considered a gateway to the downtown core, as it is the most heavily trafficked north/south arterial.
- b Buildings along this corridor shall respect and complement the existing architectural style.
- c Structures shall be oriented towards Golden State Blvd.
- d Gateway signage and monuments shall be used along this corridor
- e The Blvd. shall be enhanced with landscaping, streetlights, benches, paving, and trash receptacles that are consistent with the existing improvements in the Downtown Core where appropriate.
- f Street tree planting at regular intervals along Golden State Blvd. will strengthen the street edge and frame the space giving the corridor a more attractive appearance.
- g Reuse of existing materials is encouraged where possible and appropriate. When renovating existing structures, materials and forms reminiscent of existing buildings shall be used.
- h Auxiliary structures such as trash and utility enclosures, and storage areas shall be integrated into the overall design of the building and shall not face or open onto the street
- i Loading access facilities for commercial uses along the Blvd., shall not be located at the front of buildings where it is difficult to adequately screen them from view.

- j Service areas shall be screened from view with portions of the buildings, architectural wing walls and/or landscape planting.
- k Loading and delivery area access shall be clearly marked with directional signage.
- l Loading areas shall be designed to accommodate trucks without having to back onto Golden State Blvd.
- m Renovation, remodeling, or reconstruction of the existing commercial structures shall incorporate architectural and or landscape architectural elements into the building design that will make a strong statement of entry into Downtown Turlock (towers, arches, plaza, flags, banners, etc.).

24. Structures Adjacent to the Railroad Corridor

- a Buildings not dependent on the railroad loading access for freight or transportation purposes shall be set back a minimum of 20' from the railroad right-of-way in order to address visual and safety issues.
- b A minimum 5' landscape buffer shall be provided along the property line adjacent to the railroad right-of-way.
- c Trees, shrubs, and groundcover with decorative fencing shall be provided in the landscape buffer.
- d An open fence design (black decorative iron or black chain link fencing) shall be provided along the railroad corridor edge. Where storage areas abut the railroad right-of-way, dense landscaping and or decorative wall treatment shall be provided to adequately screen the area.
- e When walls are used to screen the railroad corridor, breaks shall be provided to allow pedestrian circulation and visual access for safety and security purposes.
- f Building facades fronting on the railroad corridor shall include architectural details, articulation, varied roofline, painted details, or murals to create an attractive appearance from surrounding areas.

3-3 INDUSTRIAL/RESIDENTIAL



INDUSTRIAL/RESIDENTIAL DESIGN GUIDELINES

 District 3 - Industrial/Residential

3 – Industrial/Residential District

The Industrial/Residential area lies in the southwest sector of the downtown. This is a unique opportunity area to capitalize on the industrial character of the existing agricultural related buildings. Many vacant and underutilized sites and buildings currently occupy this district, however re-use of existing buildings, multi-family infill buildings, mixed use buildings, and enhanced streetscapes will help to liven up the area. There is also an opportunity to create a gateway statement to the downtown core by providing gateway signage and improved landscaping along Golden State Blvd. The intent of these District Guidelines is to capitalize on the industrial agrarian building character of this area as an important part of Turlock's history. This area also includes the opportunity for high density residential as a stand alone use or as part of a mixed use development. The guidelines also address this possibility. Any addition, remodeling, relocation or construction requiring a building permit within this district shall adhere to these guidelines as applicable.

Note: whenever the term "industrial" is used, it shall be considered synonymous with "heavy commercial".

The following topics are addressed:

1. Industrial Adjacent to Residential
2. Golden State Blvd. Corridor
3. The Railroad Corridor
4. Industrial Buildings
5. Multi-Family Residential

1. Industrial Structures Adjacent to Residential Areas

In addition to the site planning, design, and architectural guidelines presented in this chapter, the following guidelines are intended to provide additional direction when placing an industrial use adjacent to a residential area.

- a New industrial/commercial uses shall maintain the agrarian architectural forms as necessary (i.e. colored metal siding and roof, wood siding, etc.).
- b New industrial structures shall reflect the architectural character of the area as industrial-agrarian style.
 - c Industrial structures shall be designed to have 360-degree architecture when visible from adjacent properties and residential areas. In other words, all four building elevations shall be architecturally articulated.
 - d Driveways to industrial buildings shall not share the same street as residential driveways whenever possible.
 - e Industrial uses in this area shall be limited to “clean” industry that does not involve handling of hazardous or noxious materials.
 - f Industrial lighting shall be directed so as not leak into residential areas.
 - g Parking lot lighting shall be placed on timers and shall be required to automatically turn off no later than 10:00 pm unless industrial operations continue around the clock.
- h Loading and unloading zones shall be placed away from residential areas and fully screened.
- i Loading and unloading zones shall be designed to allow trucks to quickly load and unload in order to prevent long truck idling times.
- j Views from industrial buildings and employee break areas shall not have access into residential windows and yards whenever possible.
- k Industrial buildings that are multiple stories shall not obstruct residential views.
- l New residential or industrial structure height shall “transition” from the height of adjacent structures to the maximum height of the proposed structure.
- m New residential or industrial buildings shall be no more than one story higher than their neighboring building.
- n Industrial buildings shall be given pedestrian friendly qualities such as awnings, street furnishings, landscaping, recessed entries, and window displays in order to continue to promote the emphasis on the pedestrian friendly environment for Downtown.
- o High quality, innovative and imaginative architecture is encouraged and will enhance compatibility and the transition to residential areas.



LANDSCAPE BUFFERS AND BUILDING ARTICULATION HELP TO EASE THE TRANSITION BETWEEN INDUSTRIAL AND RESIDENTIAL BUILDINGS.

The elements most desired for well-designed industrial buildings are:

- Variation of building forms and planes
- Enhanced building entries
- Screened loading facilities and storage areas
- Landscaping

p Elements that are discouraged are as follows:

- Blank walls
- Unscreened loading facilities
- Structures that are box like and contain no architectural elements

2. Golden State Blvd. Corridor

The Golden State Blvd. Corridor is considered an important gateway into the downtown core and the City in general, as it is the most heavily trafficked north/south arterial. The following guidelines address the importance of this corridor with the intent to ensure a visual character that is both attractive and responsive to Turlock's agrarian roots.

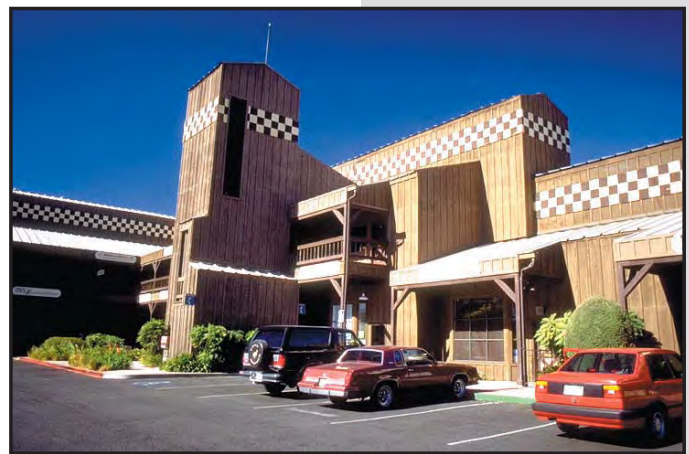
- a Buildings along this segment of the Golden State Blvd. corridor shall respect and complement the existing agrarian/industrial architectural style.
- b Structures shall be oriented towards Golden State Blvd.
- c Gateway signage and monuments shall be used along this corridor.
- d The Blvd. shall be enhanced with landscaping, streetlights, benches, paving, and trash receptacles that are consistent with the existing improvements in the Downtown Core where appropriate.
- e Use historic pole standard with double luminaries along Golden State and historic poles with single luminaries elsewhere.
- f Reuse of existing materials is encouraged where possible and appropriate. When renovating existing structures, materials and forms reminiscent of existing buildings shall be used.
- g Auxiliary structures such as trash and utility enclosures, and storage areas shall be integrated into the overall design of the building and shall not face or open onto the street.



LARGE WINDOW DISPLAYS GIVE THIS BUILDING A PEDESTRIAN ORIENTED FEELING.



INDUSTRIAL/AGRARIAN STYLE BUILDINGS SHALL BE USED ALONG THE GOLDEN STATE BLVD. CORRIDOR.



BUILDING FORM AND MASSING HELP TO MAKE INDUSTRIAL/AGRARIAN BUILDINGS VISUALLY ATTRACTIVE.



BUILDING FACADES FRONTING ON THE RAILROAD CORRIDOR SHALL INCLUDE ARCHITECTURAL DETAILS, ARTICULATION, AND VARIED ROOFLINES.



FENCING THAT COMPLIMENTS THE ARCHITECTURAL STYLE OF ADJACENT BUILDINGS IS ENCOURAGED ALONG THE RAILROAD CORRIDOR.



PUBLIC ART THAT REFLECTS TURLOCK'S HISTORY WILL ENHANCE THE AESTHETIC QUALITY OF THE RAILROAD CORRIDOR.

- h Loading access facilities for industrial uses along the Blvd., shall not be located at the front of buildings where it is difficult to adequately screen them from view.
- i Service areas shall be screened from view with portions of the buildings, architectural wing walls and/or landscape planting.
- j Loading and delivery area access shall be clearly marked with directional signage.
- k Loading areas shall be designed to accommodate trucks without having to back onto Golden State Blvd.
- l Renovation, remodeling, or reconstruction of the existing industrial and commercial structures shall incorporate architectural and or landscape architectural elements into the building design that will make a strong statement of entry into Turlock (towers, arches, plaza, flags, banners, etc.).

3. Structures Adjacent to the Railroad Corridor

- ◆ Buildings not dependent on the railroad loading access for freight or transportation purposes shall be set back a minimum of 20' from the railroad right-of-way in order to address visual and safety issues.
- ◆ A minimum 5' landscape buffer shall be provided along the property line adjacent to the railroad right-of-way.
- ◆ Trees, shrubs, and groundcover with decorative fencing shall be provided in the landscape buffer.
- ◆ An open fence design (black decorative iron or black chain link fencing) shall be provided along the railroad corridor edge where storage areas abut the railroad right-of-way. Dense landscaping and or decorative wall treatment shall be provided to adequately screen the area.
- ◆ When walls are used to screen the railroad corridor, breaks shall be provided to allow pedestrian circulation and visual access for safety and security purposes.
- ◆ Building facades fronting on the railroad corridor shall include architectural details, articulation, varied roofline, painted details, or murals to create an attractive appearance from surrounding areas.

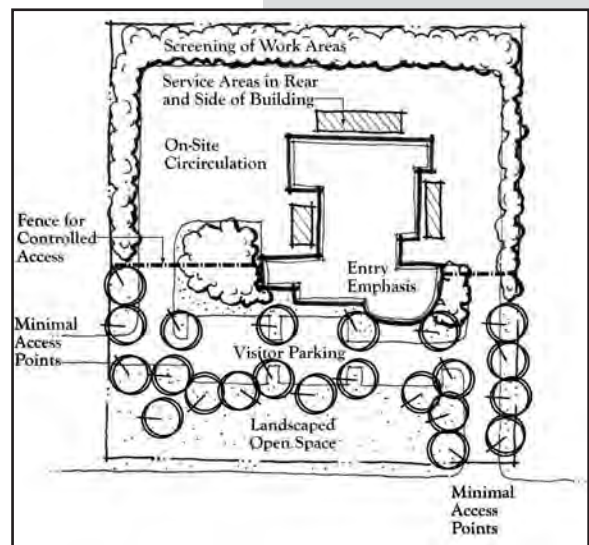
4. Industrial

A. Site Design

- ◆ Quality industrial site design shall include the following attributes:
 - Service areas located at the sides and rear of buildings
 - Controlled site access
 - Convenient access, visitor parking and on-site circulation
 - Screening of outdoor storage, work areas, and equipment
 - Emphasis on the main building entry and landscaping
 - Landscaped open space
- ◆ Each building is encouraged to have its own identity, yet any site circulation shall be integrated with adjacent properties to provide functional and aesthetically designed vehicular and pedestrian circulation.
- ◆ A variety of building and parking setbacks shall be provided to create diversity and avoid long monotonous building facades,
- ◆ Blank walls or loading areas shall not face public streets.
- ◆ Building setbacks shall be provided proportionally to the scale of the structure and in consideration of existing buildings adjacent to it. Larger structures require more setback area for a balance of scale and so as not to impose on neighboring uses.
- ◆ Thoughtful structure placement which creates opportunities for plazas, courts or gardens, is encouraged.
- ◆ Where industrial uses are adjacent to non-industrial uses, appropriate buffering techniques, such as setbacks, screening and landscaping shall be provided to mitigate any negative effects of industrial operations.
- ◆ Recycled content materials such as wood substitutes and recycled concrete and asphalt shall be considered when selecting site materials.
- ◆ Auxiliary structures such as trash enclosures, utility enclosures and storage areas shall be integrated into the overall design of the building.
- ◆ On larger sites, focal points shall be developed to create a definite sense of identification. Plazas, landscape, fountains, artwork, textured pavement, universally accessible



HIGH QUALITY BUILDING DESIGN AND MATERIALS MAKE THIS AN ATTRACTIVE INDUSTRIAL BUILDING.



LANDSCAPE BUFFERS AND SCREENED SERVICE AREAS HELP TO MAKE A WELL DESIGNED SITE.



THIS LANDSCAPE BUFFER HELPS TO SCREEN THE PARKING AND LOADING AREAS OF THIS BUILDING.



VARIATION IN WALL PLANES AND ROOF FORMS GIVE THIS BUILDING AN ATTRACTIVE FACADE.



RENOVATION/ RE-USE OF OLD BUILDINGS ARE ENCOURAGED TO INCORPORATE ELEMENTS SUCH AS LANDSCAPING AND WINDOWS.



THE REPETITION OF WINDOW BAYS AND UNIQUE ENTRY FEATURE MAKE THIS AN ATTRACTIVE BUILDING.

changes in pavement levels, and vertical building features may be combined to create focal points and identity.

- ◆ Outdoor spaces shall have clear, recognizable shapes that reflect careful planning and are not simply “left over” areas between structures. Such spaces shall provide pedestrian amenities such as shade, benches, fountains, landscaping, public art, etc.
- ◆ Plazas, employee break/recreational areas, and open spaces shall be designed to be welcoming and shall incorporate shade trees that provide relief from the sun.
- ◆ New buildings /renovations/additions are encouraged to incorporate opportunities for public art.

B. Building Design

- ◆ High quality, innovative and imaginative architecture is encouraged. Developers shall use these guidelines as a tool to design quality structures as opposed to industrial projects. The elements most desired for well-designed industrial buildings are:
 - Variation of building forms and planes
 - Enhanced building entries
 - Screened loading facilities and storage areas
 - Landscaping
- ◆ Elements that are discouraged are as follows:
 - Blank walls
 - Unscreened loading facilities
 - Structures that are box like and contain no architectural elements

C. Mass

Mass is defined as a three-dimensional form such as a cube, box, cylinder, pyramid, and core. The way the forms are sized directly relates to the way building elements are emphasized or de-emphasized. Voids or open spaces in the forms can change their appearance and make the building more interesting and less imposing.

- ◆ Each building shall have a recognizable base, body, roof line, and entry.
- ◆ Materials shall vary between base and body of a building in order to break long wall planes.

- ◆ Surface detailing shall not serve as a substitute for distinctive massing.
- ◆ Massing design may include:
 - Variation in the wall plane (project and recess)
 - Variation in wall height
 - Roofs located at different levels
- ◆ Vary the planes of the exterior walls in depth and/or direction. Wall planes shall not run in one continuous direction horizontally for more than 50 feet without significant offset.
- ◆ Changes in vertical planes break up a boxlike appearance. Vertical elements such as pilasters help create “bays” to give the appearance of several smaller buildings.
- ◆ The height of the buildings shall be varied so that it appears to be divided into distinct massing elements.
- ◆ Berming in conjunction with landscaping can be used at the building edge to reduce structure mass and height along facades.

D. Rhythm

Rhythm describes the relationship of building components, as well as the relationship of individual buildings to one another.

- ◆ Rhythms shall be more complex than simply the repetition of one or more architectural details.
- ◆ Rhythm shall be expressed by changing materials or color.
- ◆ Rhythm shall be expressed by using elements such as columns and pilasters.

E. Building Form

- ◆ Buildings shall be designed with articulation on all sides.
- ◆ Facades with varied front setbacks are strongly encouraged. Wall planes shall not run in one continuous direction for more than 50 feet without significant offset.
- ◆ Murals, trellises, or vines and espaliers shall be placed on large expanses of walls at the rear or sides of the buildings to soften and create interest.



THE HEIGHT OF THIS BUILDING IS VARIED AND APPEARS TO BE DIVIDED INTO DISTINCT MASSING ELEMENTS.



VARIATION IN WALL PLANES HELP TO BREAK UP THE MASS OF THIS BUILDING.



VARIATION OF BUILDING FORMS AND PLANES EMPHASIZE THE ARCHITECTURAL CHARACTER OF THE BUILDING.



LANDSCAPING HELPS TO SOFTEN THE TRANSITION BETWEEN THE PARKING LOT AND BUILDING.



ROOFS THAT ARE WELL ARTICULATED GIVE CHARACTER TO THE BUILDING.



PARAPETS HELP TO GIVE FORM TO THIS BUILDING. IN ADDITION, THE STAIRWELL IS INTEGRATED NICELY AND PROVIDES RELIEF INTO THE BUILDING FACADE.

- ◆ Windows and doors shall be in scale with the building elevation on which they appear. Recessed openings, windows and doors provide depth and shall be used to help break up the apparent mass of a large wall.
- ◆ Entries to industrial structures shall portray a quality office appearance while being architecturally tied into the overall mass and building composition. They shall not appear as an “add-on” or afterthought.
- ◆ Vertical architectural elements such as towers shall be used as focal points.
- ◆ Stairwells shall be designed as an integral part of the building architecture.
- ◆ The staggering of planes along an exterior wall elevation creates pockets of light and shadow, providing relief from monotonous, uninterrupted expanses of wall.
- ◆ Design elements which are undesirable and shall be avoided include:
 - Large blank, non-articulated wall surfaces.
 - Non-articulated building facades.
 - Materials with high maintenance such as stained wood, shingles, or metal siding.
 - Highly reflective surfaces.

F. Roof Forms

- ◆ A roof line at the top of the structure shall not run in a continuous plane for more than 50 feet without offsetting or joggling the roof plane.
- ◆ Any equipment, whether on the roof, side of structure, or ground, shall be screened. The method of screening shall be architecturally compatible with the main buildings on the site in terms of materials, color, shape and size.
- ◆ The roof design shall be considered as a component of the overall architectural design theme.
- ◆ Flat roofs shall be light in color to reduce solar heat gain.

G. Parapets

- ◆ Parapets shall be used when sufficiently detailed to screen roof mounted equipment and provide a contrast to gabled or pitched roofs.
- ◆ Parapets shall have sufficient articulation of detail such as precast treatments, continuous banding or

projecting cornices, lentils, caps, corner details, or variety in pitch (sculpted).

- ◆ Rooftop equipment on flat roofs shall be screened and not visible from ground level. Buildings with flat or low-pitched roofs shall incorporate parapets, pitched facades, or architectural elements designed to screen roof mounted mechanical equipment and to be architecturally compatible with the design of the building facade.
- ◆ Structural stability and the height of a parapet shall be coordinated with the placement of mechanical equipment so that equipment is not in a pedestrian's line of sight from street level.
- ◆ Parapets shall not appear "tacked on" and shall convey a sense of permanence. If the interior side of a parapet is visible from the pedestrian area of the site or adjacent property, it shall receive appropriate detail



WINDOW TYPE, MATERIAL, SHAPE, AND PROPORTION SHALL COMPLEMENT THE ARCHITECTURAL STYLE OF THE BUILDING.

H. Windows

- ◆ Windows and skylights shall be located to maximize daylighting and views.
- ◆ Awnings, landscaping, spectrally-selective glass, and shading devices to reduce solar heat gain shall be used where appropriate.
- ◆ Window type, material, shape, and proportion shall complement the architectural style of the building.



DETAILS SUCH AS CHANGES IN MATERIALS SHALL BE USED TO CREATE SHADOW PATTERNS AND DEPTH ON WALL SURFACES.

I. Entry Features

- ◆ Entry features shall be designed as a significant aspect of the building's overall composition.
- ◆ Entrances shall be easily identifiable and accessible.
- ◆ Elements such as overhangs, enhanced landscaping, vertical architectural features, and special building materials shall be used.

J. Building Materials and Texture

- ◆ Details such as wall surfaces constructed with patterns, changes in materials, building pop-outs, columns, and recessed areas shall be used to create shadow patterns and depth on the wall surfaces.



THE USE OF MATERIALS AND COLORS USED HERE HELPS DEFINE A BASE, BODY AND CAP.



VARIATION IN COLORED BRICKS AND MATERIALS GIVE THIS INDUSTRIAL BUILDING A UNIQUE LOOK.



LIGHT FIXTURES SHALL BE DESIGNED OR SELECTED TO BE ARCHITECTURALLY COMPATIBLE WITH THE MAIN STRUCTURE OR THEME OF THE BUILDING.

- ◆ Materials and building cladding shall be varied to produce different texture, shade and shadow effects.
- ◆ Wall materials that will withstand abuse by vandals or accidental damage from machinery shall be selected.
- ◆ Incorporate non-toxic, recycled-content materials whenever possible.

K. Colors

The following guidelines are intended to promote well-coordinated color palettes that integrate with the other exterior features of a building.

- ◆ Large areas of intense light color shall be avoided. While more subdued colors usually work best for overall building color, bright or accent colors shall be used for trim, windows, doors, and key architectural elements.
- ◆ Compatible colors shall be combined on a single façade to add visual interest and break up plain walls.
- ◆ Flat muted colors shall be used to reduce sun glare on wall planes. Avoid using bright whites.
- ◆ Trim colors shall coordinate with wall colors. Features such as doors, window trim, awnings and wall tiles are appropriate for accent colors.
- ◆ Colors shall coordinate with natural/unpainted materials used on the facades such as rock, pressure treated wood, tile, brick, and stone.

L. Lighting

Effective lighting provides safety and direction for vehicles and pedestrians, visibility and security for businesses, while enhancing architectural building and landscape details. These guidelines apply to private on-site lighting in parking areas and lights associated with the building. Light types could

include pole lights, spotlighting, wall-mounted sconces, parking and landscape lighting.

- ◆ Lighting shall be used to provide illumination for the security and safety of on-site areas such as parking, loading, shipping, receiving, pathways and working areas.
- ◆ All building entrances shall be well lighted.
- ◆ Light fixtures shall be designed or selected to be architecturally compatible with the main structure or theme of the building.
- ◆ The quality of light, level of light as measured in footcandles, and

the type of bulb or source shall be carefully addressed. Lighting levels shall not be so intense as to draw attention to the glow or glare of the building site.

- ◆ Spot lighting or glare from any site lighting shall be shielded from adjacent properties and directed at a specific object or target area.
- ◆ Exposed bulbs shall not be used. Cut-off lighting is preferred.
- ◆ Uplighting of building elements shall use the lowest wattage possible to minimize impacts to the night sky. Light sources for wall washing and tree lighting shall be hidden.
- ◆ Low-voltage lighting conserves energy and shall be used in the landscape whenever possible.
- ◆ The height of a light pole shall be appropriate in scale for the building or complex and the surrounding area.
- ◆ Pedestrian light poles along sidewalks or pathways and parking lot light standards shall be a maximum 10' to 15' high.
- ◆ Landscape lighting can be used to accent walkways and entries and/or seating areas and specimen plants/trees.
- ◆ Walkways/alleys shall be lit to an average 1.5 to 2-foot candle intensity to ensure safe nighttime conditions.
- ◆ Over lighting or light leak into adjacent sites shall be avoided.

M. Signage

Building signage can either enhance the building façade or completely diminish the aesthetic appeal of a building. A sign program shall be submitted with design review application for new buildings. Regulations for sign dimensioning and area limitations are provided in section 9-2-506 of the Turlock Zoning Ordinance. Given this, every building shall be designed with a precise concept for adequate signing. Provisions for sign placement, sign scale in relationship with the building, and the readability of the sign shall be considered in developing the overall signing concept.



THIS MONUMENT SIGN REFLECTS THE INDUSTRIAL CHARACTER THROUGH FORM AND MATERIALS.



LANDSCAPING IMPROVES THE VISUAL QUALITY OF THIS MONUMENT SIGN.

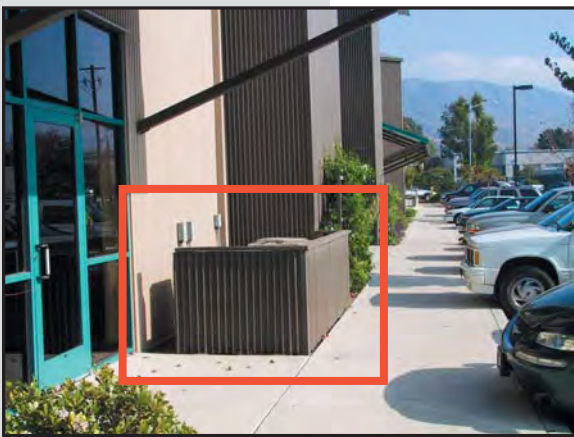


MONUMENT SIGNS THAT INCORPORATE SIMILAR MATERIALS AND COLORS AS THE CORRESPONDING BUILDING ARE ENCOURAGED.

- ◆ Signs shall coordinate with the building design, materials, color, size, and placement.
- ◆ Signs reflecting the type of business through design, shape, or graphic form are encouraged.
- ◆ The method of sign attachment to the building shall be integrated into the overall sign design chosen.
- ◆ Signs shall not cover up windows or important architectural features.
- ◆ Sign variety is encouraged among different users.
- ◆ Flush mounted signs shall be positioned within architectural features, such as the panel above the entry on the transom or flanking doorways.
- ◆ Flush mounted signs shall align with others on the block so as to maintain the existing pattern.
- ◆ Signs shall be externally illuminated or internal illumination shall be limited to letters only.
- ◆ Hanging signs attached to buildings that project perpendicular to the building shall be a minimum of 8' from ground level to the bottom of the sign. Signs that project shall be small and reflect the use of the business by incorporating symbols or logos of the business.
- ◆ A single building with multiple users shall provide a unifying sign theme. Individual wall-mounted signs are appropriate in combination with a monument sign identifying the building and address.
- ◆ The industrial site shall be appropriately signed to give directions to loading and receiving, visitor parking, and other special areas.
- ◆ Lighting of all exterior signs shall be directional to illuminate the sign without producing glare on pedestrians, autos, or adjacent residential units.
- ◆ To conserve energy timers or sensors shall be utilized for illuminated signs.

N. Utility and Mechanical Screening

- ◆ Utility service areas shall be considered in the early building design process to ensure appropriate and complementary placement and design.
- ◆ Exterior storage shall be confined in portions of the site least visible to public view.
- ◆ Transformers shall be located underground where feasible.
- ◆ All utility equipment including, but not limited to, electric and gas meters, electrical panels, cable boxes, and junction boxes shall be located in a utility room within the building or in an architecturally appropriate utility enclosure.
- ◆ Utility lines from the service drop to the site shall be underground.
- ◆ Where screening is required, a combination of elements shall be used including solid masonry walls, berms and landscaping.



THE BOX OUTLINES WHERE MECHANICAL EQUIPMENT HAS BEEN SCREENED USING MATCHING BUILDING MATERIALS.

- ◆ Any outdoor equipment, whether on a roof, side of a structure, or on the ground shall be appropriately screened from view and shall not be placed adjacent to public ways and trails. The method of screening shall be architecturally integrated with the adjacent structure in terms of materials, color, shape and size.
- ◆ Service, utility, and loading areas shall be carefully designed, located, and integrated into the site plan. They shall be located and designed for easy access by service vehicles for convenient access by each tenant and located to minimize circulation conflicts with other site uses. These critical functional elements shall not detract from the public viewshed area or create a nuisance for adjacent property owners.
- ◆ Where walls are used at property frontages, or screen walls are used to conceal storage and equipment areas, they shall be designed to blend with the site's architecture.
- ◆ Gutters and downspouts shall be concealed unless designed as a decorative architectural feature.

O. Trash & Recycling Enclosures

- ◆ The trash and recycle enclosure shall be consistent with the design of the and building architecture. Similar or the same materials shall be used on the enclosure as the buildings. Architecturally designed roof structures shall be used to create a finished looking structure.
- ◆ Every property shall provide a trash enclosure that is capable of handling the refuse/recyclables generated by that site.
- ◆ A pedestrian entrance to the trash enclosure shall be provided so that the large access gates do not have to be opened as often.
- ◆ Recycling bins shall be integrated into the enclosure.
- ◆ Trash enclosures shall be located away from residential uses to minimize nuisance to adjacent properties.
- ◆ Drainage from adjoining roof and pavement shall be diverted around the trash/recycling area.
- ◆ At least half of the trash/recycling area shall be dedicated to recycling containers.

P. Pedestrian Access

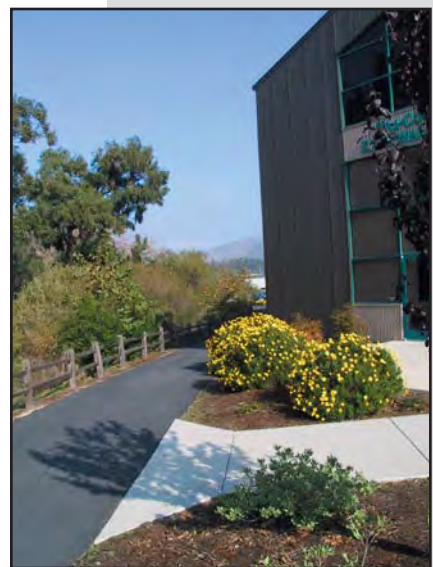
- ◆ Parking areas shall be designed so that cars and pedestrians are separated. The need for pedestrians to cross parking aisles



LOADING AREAS HAVE BEEN SCREENED WITH LANDSCAPING AND AN ATTRACTIVE FENCE.



TRASH ENCLOSURES CAN BE SCREENED IN A VARIETY OF WAYS. THIS ENCLOSURE IS SCREENED WITH A FENCE, WALL, AND LANDSCAPING COMBINATION.



A PATH CONNECTING TWO INDUSTRIAL BUILDINGS ENCOURAGES PEDESTRIAN ACTIVITY.



LOADING FACILITIES LINED WITH A LANDSCAPING BUFFER HELPS TO REDUCE NEGATIVE VISUAL IMPACTS.



VARIED WALL PLANES, COLORS, LANDSCAPED POCKETS, AND PARKWAY GIVE THIS WALL A PLEASING LOOK.



LANDSCAPED ISLANDS SHALL BE USED TO BEAUTIFY PARKING LOTS.

shall be minimized. Landscape island walkways shall be used to connect parking and building entries.

- ◆ Access between transit/bus stops to building entrances shall be clearly defined.
- ◆ The on-site pedestrian circulation system shall be directly connected to off-site public sidewalks.
- ◆ Asphalt sidewalks are not appropriate and shall not be used.

Q. Loading Facilities

- ◆ To alleviate the unsightly appearance of loading facilities for industrial uses, these areas shall not be located at the front of buildings where it is difficult to adequately screen them from view.
- ◆ Service areas shall be screened with portions of the buildings, architectural wing walls and landscape planting.
- ◆ Loading and delivery areas shall be clearly marked with directional signage where multiple access points are provided.
- ◆ Loading areas shall be designed to accommodate trucks without having to back onto or otherwise use the adjoining street.

R. Walls and Fences

- ◆ Walls shall be constructed as low as possible while performing their screening and security functions.
- ◆ An open fence design (black decorative iron or black chain link fencing) shall be provided along the railroad corridor edge. Where storage areas abut the railroad right-of-way, dense landscaping and or decorative wall treatment shall be provided to adequately screen the area.
- ◆ A combination of solid pillars or short solid wall segments and wrought iron grillwork shall be used where security fencing is required.
- ◆ Barbed wire fences are not allowed in this area and shall be replaced with an alternative deterrent.

S. Parking and Circulation

- ◆ On-site circulation shall be designed to provide safe and efficient access for delivery vehicles, visitors, employees, and pedestrians.
- ◆ The parking lot and cars shall not be the dominant visual elements of the site.
- ◆ Vehicles shall not be required to enter the street in order to move from one area to another on the same site.

- ◆ Site plans shall balance the need to provide adequate vehicular access, with the need to eliminate unnecessary driveway entrances and provide access points which are coordinated with other properties.
- ◆ The site area adjacent to the street shall not be dominated with parking. Parking shall be concentrated in areas behind front pad buildings and away from the street when possible.
- ◆ Parking lots on corner sites shall not be placed adjacent to the street edge.
- ◆ Locate structures and on-site circulation systems to minimize pedestrian/ vehicle conflicts where possible.
- ◆ Parking lots shall provide areas for bicycle and motorcycle parking.
- ◆ Adequate areas for maneuvering, stacking, truck staging, loading and emergency vehicle access shall be provided.
- ◆ Parking access points, whether located on front, side, or rear streets, shall be located as far as possible from street intersections so that adequate stacking room is provided.

T. Parking Lot Screening

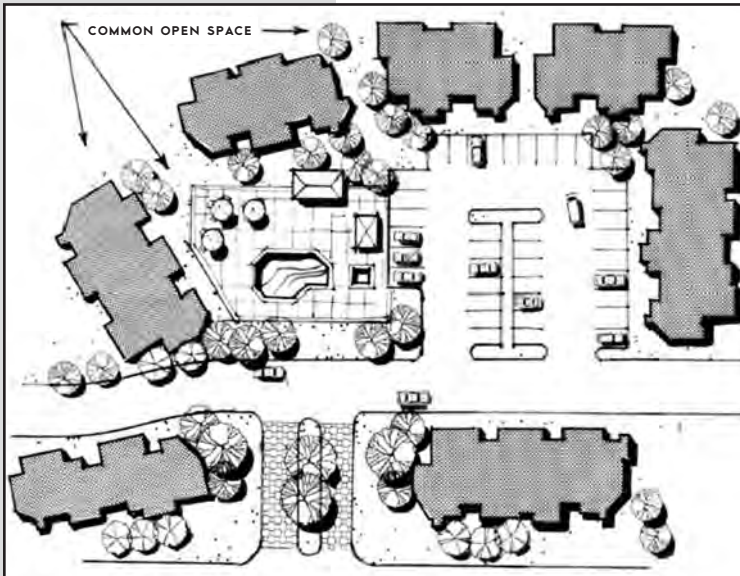
- ◆ Parking lots adjacent to and visible from public streets shall be adequately screened from view through the use of rolling earth berms, low screen walls, changes in elevation, landscaping or combinations thereof, whenever possible.
- ◆ Utilize a 36" high berm, landscaping, or masonry wall to screen any parking at the street periphery. A combination of walls, berms, and landscape material is highly recommended.
- ◆ When walls are used to screen parking, breaks shall be provided to allow pedestrian circulation and visual access for safety and security purposes.
- ◆ Walls shall be finished and designed to complement surrounding buildings.
- ◆ Both sides of all perimeter walls or fences shall be architecturally treated.
- ◆ Landscaping shall be used in combination with such walls whenever possible.
- ◆ Long expanses of fence or wall surfaces shall be offset and architecturally designed to prevent monotony. Landscape pockets shall be provided.



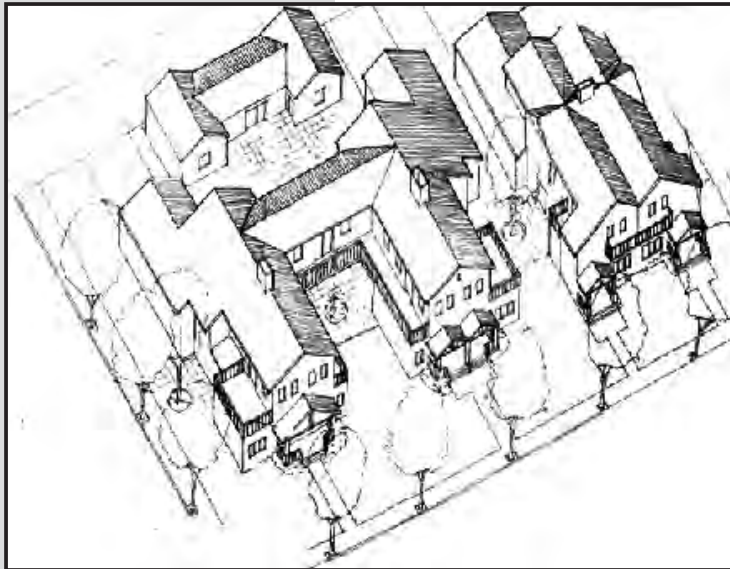
LANDSCAPED BERMS HELP TO SCREEN PARKING AREAS.



LANDSCAPED BERMS HELP TO SCREEN PARKING AREAS.



MULTI-FAMILY STRUCTURES SHALL BE ORIENTED TOWARD THE STREET. CLUSTERED DWELLING UNITS HELP PREVENT "BARRACK-LIKE" OR CONTINUOUS ROWS OF STRUCTURES.



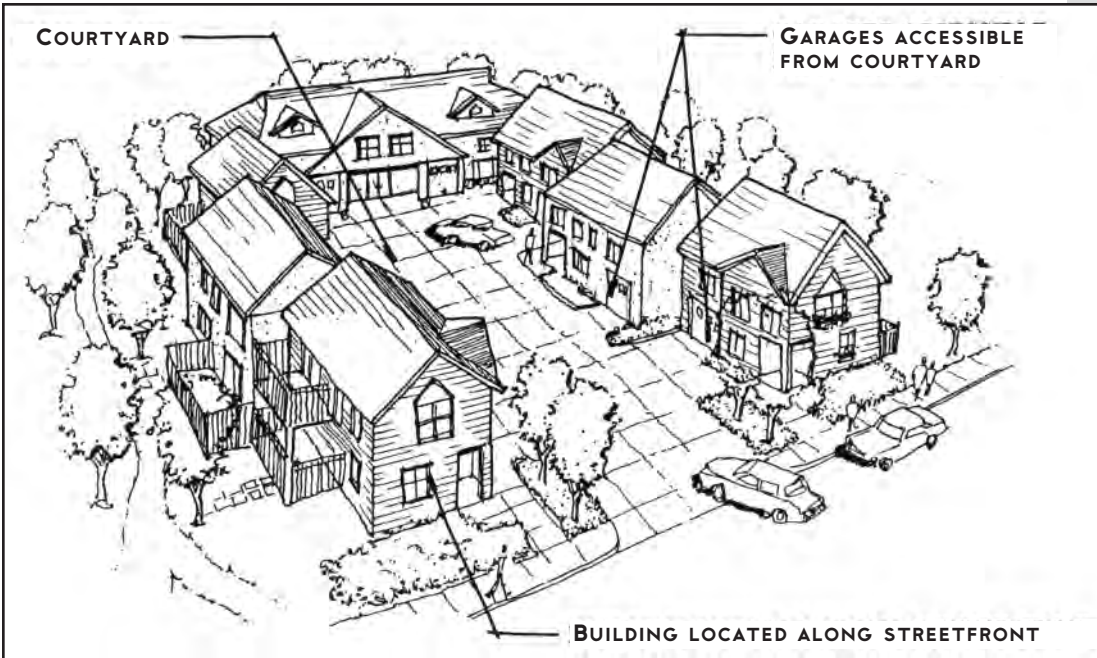
WHERE POSSIBLE, COURTYARDS OR OTHER METHODS TO BREAK UP THE BUILDING MASS SHALL BE UTILIZED. ALSO, A COMBINATION OF ONE AND TWO STORY BUILDINGS ARE ENCOURAGED.

5. Multi-family Residential

These guidelines apply to multi-family residential buildings and sites. Existing single family residences are likely to be a temporary use in this area and are exempt.

A. Site Design

- ◆ The primary focus shall be on constructing a high quality residential environment.
- ◆ Multi-family residential structures shall be architecturally compatible with surrounding structures.
- ◆ Residential buildings shall not be surrounded by high walls, parking lots and have rows of carports/ garages along public streets.
- ◆ Dwellings shall incorporate porches, trellises, landscaping and other features in the front yard to help extend the living area toward the street and help soften the transition between the street and the dwelling.
- ◆ Incompatible uses (industrial, auto repair, etc.) shall be buffered from residential structures. Intensified landscaping, increased setbacks and building orientation shall be utilized as a means of providing adequate separation between such land uses.
- ◆ Pedestrian walkways and alleys shall be provided to connect dwelling units with common open space areas, recreation areas, parking areas, and the street.
- ◆ Whenever possible, new structures shall be clustered. This creates plazas or pedestrian malls and prevents long "barrack-like" or continuous rows of structures.
- ◆ Buildings shall be placed close to, and oriented toward, the street.
- ◆ Natural amenities such as views, mature trees, and similar features unique to the site shall be preserved.
- ◆ Large buildings shall be broken up into groups of structures of various heights.
- ◆ Where possible, courtyards or other methods to break up the building mass shall be utilized.



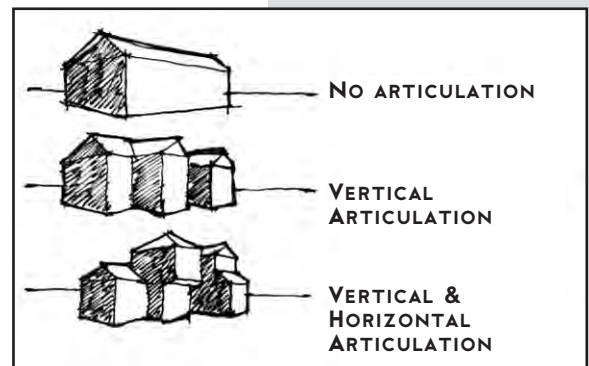
- ◆ Buildings shall be oriented on an east/ west axis to maximize the use of natural daylighting.
- ◆ Recycled content materials such as wood substitutes, recycled concrete, and asphalt shall be considered when selecting materials.

B. Building Design

- ◆ Architectural style shall be compatible with or complement the agrarian architectural forms and the traditional historic Downtown architecture of Turlock.
- ◆ Long, unbroken facades and box-like forms shall be avoided. Elements such as balconies, porches, arcades, dormers, and cross gables shall be used to add visual interest.
- ◆ To the extent possible, each of the units shall be individually recognizable. The following methods could be used to break up building massing:
 - Vary front setbacks within same structure.
 - Stagger and jog unit planes.
 - Vary building orientations to avoid the monotony and long garage door corridors.
- ◆ Balconies, porches and patios within multi-family structures shall be incorporated where appropriate for both practical and aesthetic values.



VARIED BUILDING SETBACKS AND HEIGHTS HELP TO ENHANCE THE ARCHITECTURAL CHARACTER OF A BUILDING.



MASSING ILLUSTRATION

REDUCE BUILDING MASS AT EDGES
 VARIOUS ROOF PITCHES W/GABLES & DORMERS



DELINEATION OF INDIVIDUAL UNITS WITHIN BLDG.
 ENTRY FEATURE



BUILDING MASS CAN BE BROKEN UP WITH VARIOUS ROOF FORMS AND THE ADDITION OF PORCHES.



VERTICAL ELEMENTS SUCH AS TOWERS SHALL BE USED TO ACCENT HORIZONTAL MASSING AND PROVIDE GENERAL INTEREST.

C. Scale

- ◆ Structures with greater height shall include additional setbacks and steps within the massing so as to transition heights from adjacent properties, and to avoid dominating the character of the neighborhood.

D. Mass

Mass is defined as a three-dimensional form such as a cube, box, cylinder, pyramid, and core. The way the forms are sized directly relates to the way building elements are emphasized or de-emphasized. Voids or open spaces in the forms can change their appearance and make the building more interesting and less imposing.

- ◆ Buildings designs shall include a combination of the following techniques:
 - Variation in the wall plane (project and recess)
 - Variation in wall height
 - Roofs located at different levels
- ◆ Each building shall have a recognizable base, body, roof line, and entry.
- ◆ Several smaller compact building footprints rather than one large building shall be used to provide an intimate scale and a more efficient envelope for optimizing daylighting and passive solar heating/cooling functions.
- ◆ Surface detailing shall not serve as a substitute for distinctive massing.
- ◆ Exterior wall planes shall be varied in depth and/or

direction. Wall planes shall not run in one continuous direction for more than 50 feet without a significant offset.

- ◆ The height of the buildings shall be varied so that it appears to be divided into distinct massing elements.
- ◆ The upper stories of new multi-family buildings shall be stepped back to reduce the scale of facades that face the street, courtyards, or open space areas.
- ◆ Long access balconies and corridors shall be avoided.
- ◆ Combinations of one, one and one half, and two story units shall be used to create visual interest and variation in the massing and building height.
- ◆ Vertical elements such as towers shall be used to accent horizontal massing and provide visual interest.
- ◆ Architectural elements that add visual interest, scale and character to the neighborhood such as bays, bay windows, recessed or projecting balconies, porches, etc. shall be incorporated.
- ◆ Architectural articulation such as awnings, moldings, pilasters, etc. shall be integrated into the design where appropriate.

E. Roof Forms

- ◆ Roof lines shall be varied in height, and long horizontal roof lines shall be broken up.
- ◆ Roofs covering the entire building such as hips and gables are preferred over mansard roofs, and segmented pitched roofs shall be applied at the building edge.
- ◆ Roof materials and colors shall be consistent with the desired architecture. Light-colored roofs (“cool roofs”) shall be used because they reduce heat gain.
- ◆ Flat roofs shall be light in color to reduce solar heat gain.

F. Windows and Doors

- ◆ Windows shall be located to maximize daylighting and views.
- ◆ South facing windows shall be shaded with an overhang or awnings to reduce summer exposure.
- ◆ Skylights, roof monitors or light wells shall be used to add daylight to upper floors.
- ◆ Window type, material, shape, and proportion shall



THREE ATTACHED UNITS APPEAR TO BE ONE LARGE CUSTOM HOME



WINDOWS SHALL BE ARTICULATED WITH TRIM, SILLS, AND OTHER ELEMENTS THAT COMPLIMENT THE OVERALL ARCHITECTURAL STYLE OF THE BUILDING.



AWNINGS ADD COLOR, FORM, AND RELIEF TO THE BUILDING.



THESE GARAGES ARE ACCESSIBLE BY AN ALLEYWAY AND HAVE BEEN ENHANCED WITH LANDSCAPING.

complement the architectural style of the building entry.

- ◆ The addition of window articulation such as sills, trim, kickers, shutters, or awnings shall be included to improve the building facades.
- ◆ Window glazing shall be used to maximize energy conservation.

G. Awnings

- ◆ Permanent shading devices such as awnings and canopies on south-facing facades shall be incorporated to be aesthetically pleasing, while assisting in cooling the building during the summer months.
- ◆ Awnings shall be used to add color, form, and relief to the building.
- ◆ Awnings shall be incorporated to help to clearly show building entries and better orient pedestrians.
- ◆ Awning maintenance shall be in accordance with the awning manufacturer's care instructions. The life of the awning is generally not expected to exceed eight to ten years. Property owners shall not propose installing awnings unless they are prepared to replace the awnings.
- ◆ Awnings shall be made of cloth (not plastic or vinyl) and shall be high enough so as not to inhibit pedestrians.
- ◆ Awnings shall only be placed on top of doors, windows, and other openings and shall fit the shape of the window.
- ◆ Awnings shall not dominate the facade, but shall be in scale with the rest of the building.
- ◆ Awnings, if lighted, shall be lit with direct, architecturally interesting and appropriate fixtures such as goosenecks.

H. Dwelling Unit Access

- ◆ Access points to units shall be clustered in groups of four or less. Long, monotonous access balconies and corridors that provide access to five or more units shall be avoided.
- ◆ The entrances to individual units shall be visible from nearby parking areas where possible. Building entrances shall be emphasized through the use of lighting, landscaping, and architecture.

I. Exterior Stairs

- ◆ Simple, clean, bold projections of stairways shall be used to complement the architectural massing and form of multi-family structures.
- ◆ Stairways shall be constructed of smooth stucco, plaster, or wood, with accent trim of complementary colors. Thin-looking, open metal, prefabricated stairs are discouraged.

J. Garages and Accessory Structures

- ◆ Garages and parking areas shall be sited with the least amount of visual impact from the street.
- ◆ Detached garages and accessory structures shall be designed as an integral part of the architecture of the building. They shall be similar in materials, color and detail to the principal structures of a building designed with pitched or hip roofs if possible.
- ◆ Garages shall be subordinate to the main living area when viewed from the street. Where possible, the garage shall be recessed behind the dwelling unit, and not located between the main living area and the street.
- ◆ Mechanical equipment shall be screened from view.

K. Materials

- ◆ The selection and placement of building materials shall provide visual interest at the pedestrian level.
- ◆ Heavier materials shall be used to form the building base and as accents on upper stories and walls. Architectural details shall be used to enhance the buildings and adjacent pedestrian spaces by adding color, shadows, and interesting forms.
- ◆ Materials shall occur at a change in plane where they tend to appear substantial and integral to the structure, preferably at an inside corner.
- ◆ Material changes not occurring at a change in plane appear “tacked-on” and shall be avoided.
- ◆ The different parts of a building’s façade shall be articulated by the use of color,



STAIRWELLS SHALL COMPLEMENT THE FORM AND CHARACTER OF THE STRUCTURE.



SIMPLE, CLEAN, BOLD PROJECTIONS OF STAIRWAYS SHALL BE USED TO COMPLEMENT THE ARCHITECTURAL MASSING AND FORM OF MULTI-FAMILY STRUCTURES.



THE USE OF STONE HELPS TO BREAK UP THE VERTICAL MASS OF THE BUILDING.

<p>CHANGE IN PLANE WITH CHANGE IN MATERIAL IS RECOMMENDED</p>	<p>MATERIAL OR COLOR CHANGE AT OUTSIDE CORNER IS NOT RECOMMENDED</p>	<p>CHANGE IN MATERIALS ON SAME PLANE IS NOT RECOMMENDED</p>



COMPLEMENTARY COLORS WERE USED TO DISTINGUISH VARYING WALL PLANES.



VARIATION IN COLOR, PORCH, AND WINDOW TREATMENTS SHALL BE USED IN MULTI-FAMILY 'TRACT' STYLE HOUSING.



MAILBOX ENCLOSURES SHALL COORDINATE WITH THE ARCHITECTURAL STYLE OF THE BUILDING.

arrangement of façade elements, or a change in materials.

- ◆ Blank walls shall be avoided at ground floor levels. Windows, trellises, wall articulations, arcades, changes in materials, or other features shall be utilized.
- ◆ Materials selected for multi-family buildings shall be very durable and require low maintenance.
- ◆ Textured, colors, and materials shall be unifying elements in the buildings.
- ◆ Natural materials such as brick, stone, copper, etc. shall be left in their natural color.
- ◆ Recycled content and non-toxic materials shall be used wherever possible.

L. Colors

The following guidelines are intended to promote well-coordinated color palettes that integrate with the other exterior features of a building.

- ◆ Large areas of intense light color shall be avoided. While more subdued colors usually work best for overall building color, bright or accent colors are typically appropriate for trim, windows, doors, and key architectural elements.
- ◆ Flat muted colors shall be used to reduce sun glare on wall planes. Avoid using bright whites.
- ◆ Door and window trim, awnings, and wall tiles shall be added for color interest and texture to building bases. The color of trim shall be coordinated with the wall colors.
- ◆ Colors shall coordinate with natural/unpainted materials used on the facades such as rock, pressure treated wood, tile, brick, and stone (reused or recycled content when possible).

M. Disabled-Accessible Ramps and Railing

- ◆ Guardrails shall complement the architectural style of the building.
- ◆ Ramps shall be integrated into the site design creating functional or unique spaces.

N. Fire Apparatus

- ◆ The design of new and remodeled structures shall incorporate easy access to fire apparatuses.
- ◆ Access for fire apparatus shall be part of the planning and design process so as not to appear tacked-on.

O. Mailboxes

- ◆ Common box mailbox enclosures shall be designed similar in form, materials, and color to the surrounding buildings.
- ◆ Mailboxes shall be located in alcoves away from the streetscape.

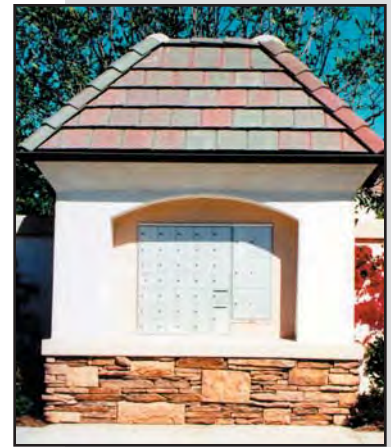
P. Lighting

Effective lighting provides safety and direction for vehicles and pedestrians, while enhancing architectural building and landscape details. These guidelines apply to on-site lighting for private residential buildings in parking areas and lights associated with the building. Light types could include pole lights, spotlighting, wall-mounted sconces, parking and landscape lighting.

- ◆ Light fixtures shall be designed or selected to be architecturally compatible with the main structure or theme of the building.
- ◆ The quality of light, level of light as measured in footcandles, and the type of bulb or source shall be carefully addressed. Lighting levels shall not be so intense as to draw attention to the glow or glare of the building site.
- ◆ Spotlighting or glare from any site lighting shall be shielded from adjacent properties and directed at a specific object or target area.
- ◆ Exposed bulbs shall not be used. Cut-off lighting is preferred.
- ◆ Uplighting of building elements and trees shall use the lowest wattage possible to minimize impacts to the night sky. Light sources for wall washing and tree lighting shall be hidden.
- ◆ Low-voltage lighting conserves energy and shall be used in the landscape whenever possible. Energy efficient lamps and ballasts shall be incorporated.
- ◆ The height of a light pole shall be appropriate in scale for the building or the complex and the surrounding area.
- ◆ Landscape lighting shall be used to accent walkways and entries and/or seating areas and specimen plants/trees.
- ◆ Walkways/alleys shall be lit to an average 1.5 to 2-foot candle intensity to ensure safe nighttime conditions.
- ◆ Recreational amenities and courtyards shall be well lit to enhance the pedestrian experience and create a safe environment.
- ◆ Overlighting or light leak into adjacent sites shall be avoided.

Q. Pedestrian Access

- ◆ Parking areas shall be designed so that cars and



COMMON MAILBOX ENCLOSURES SHALL BE DESIGNED SIMILAR IN FORM, MATERIALS, AND COLOR TO THE SURROUNDING BUILDINGS.



RESIDENTIAL LIGHTING POLES SHALL BE APPROPRIATELY SCALED.



COURTYARDS SHALL BE DESIGNED AS USABLE AREAS FOR ALL RESIDENTS.



OPEN SPACE SHALL FOCUS ON AREAS THAT ARE USABLE TO THE RESIDENTS AND NOT MERELY REMAINDER PARCELS WITH MARGINAL USEABILITY.



LARGE MULTI-FAMILY RESIDENTIAL COMPLEXES SHALL INCLUDE PLAY AREAS FOR CHILDREN.

pedestrians are separated. The need for pedestrians to cross parking aisles shall be minimized. Landscape island walkways shall be used to connect parking and building entries.

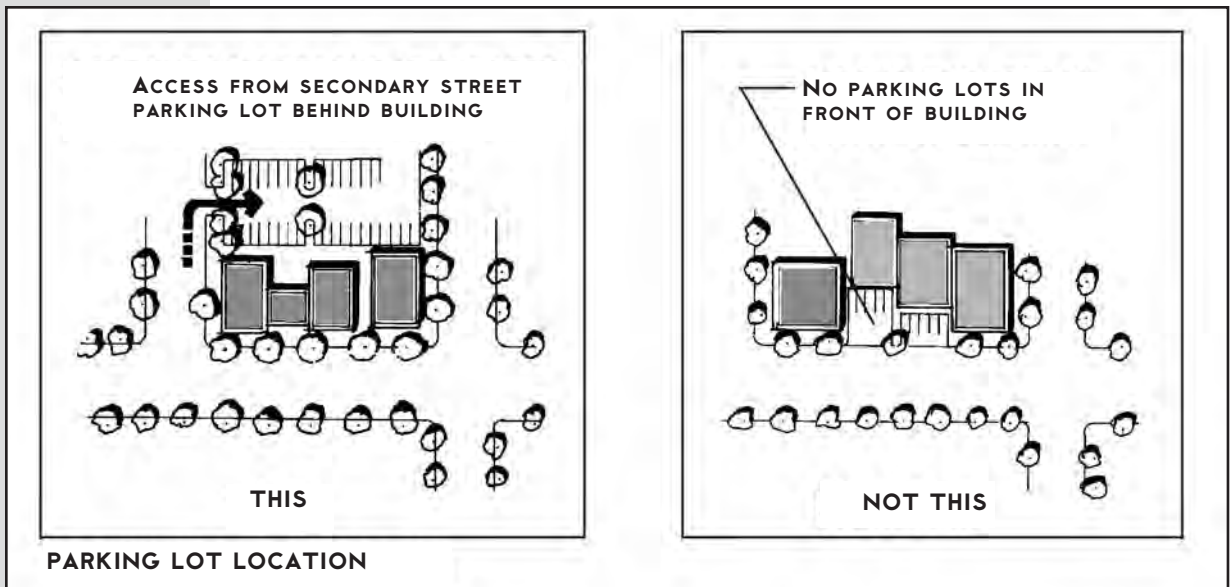
- ◆ Pedestrian linkages to nearby neighborhoods and other commercial buildings shall be provided.
- ◆ Provide easily identifiable pedestrian access from the street/sidewalk to key areas within the site.

R. Open Space

- ◆ Residents of housing projects shall have safe and efficient access to usable open space, whether public or private, for recreation and social activities.
- ◆ The design and orientation of these areas shall take advantage of available sunlight and shall be sheltered from the noise and traffic of adjacent streets or other incompatible uses.
- ◆ Open space shall focus on areas that are usable to the residents and not merely remainder parcels with marginal useability.
- ◆ Infrastructure elements such as storm water retention basins shall be incorporated into the overall open space plan.

S. Vehicular access, circulation, and parking

- ◆ Long rows of garages or parking spaces shall be avoided.
- ◆ Parking areas in multi-family residential buildings shall be visible for the units they serve and located behind the building, where possible.
- ◆ Parking lots shall be landscaped with shade trees.
- ◆ Principal vehicular access shall be through an entry



drive rather than a parking aisle.

- ◆ Parking areas shall be separated from a building with both a raised pedestrian sidewalk (minimum 4') and a landscape strip (minimum 5').
- ◆ Parking areas shall be treated as well defined spaces with landscaping, lighting, building massing, and pedestrian/vehicular circulation areas.
- ◆ Large projects shall break up parking areas into a series of connected smaller parking areas.
- ◆ Site plans shall balance the need to provide adequate vehicular access, with the need to eliminate unnecessary driveway entrances and provide access points which are coordinated with other properties.
- ◆ The site area adjacent to the street shall not be dominated with parking. Parking shall be concentrated in areas behind buildings, at the front of the property, and away from the street when possible.
- ◆ Parking lots on corner sites shall not be placed adjacent to the street edge.
- ◆ Light colored paving shall be incorporated near buildings to reduce the amount of heat radiating onto buildings and people.
- ◆ Locate structures and on-site circulation systems to minimize pedestrian/vehicle conflicts where possible.
- ◆ Parking lots shall provide areas for bicycle and motorcycle parking.



ENTRY DRIVES CAN BE ENHANCED WITH COLORED PAVING TREATMENT.



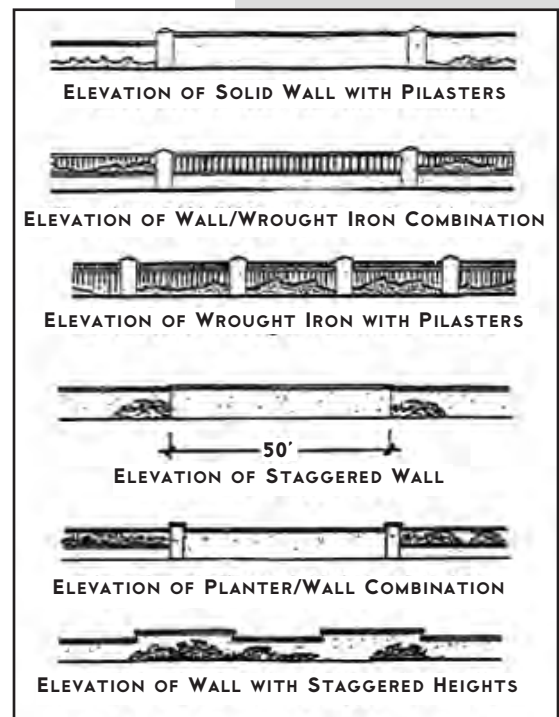
ENTRY DRIVES SHALL BE ENHANCED WITH PERMEABLE PAVING MATERIALS AND LANDSCAPING.

T. Entry Drives

- ◆ The principal vehicular access into a multi-family housing area shall be through an entry drive rather than a parking drive. Colored, textured, and permeable paving treatment at entry drives shall be used.
- ◆ Entry and edge features such as ornamental landscaping, open space areas, natural and water features, architectural monuments and enhanced paving shall all be considered when designing the entry.
- ◆ The number of site access points shall be minimized.

U. Parking Lot Screening

- ◆ Screening at the periphery of all parking lots shall be provided.
- ◆ Long expanses of fence or wall surfaces shall be offset and architecturally designed to prevent monotony.



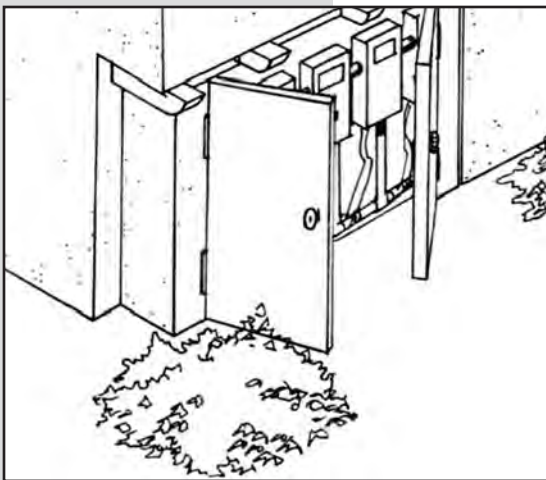
- ◆ Landscape pockets shall be provided.
- ◆ Walls shall be finished and designed to complement surrounding buildings.
- ◆ Both sides of all perimeter walls or fences shall be architecturally treated. Landscaping shall be used in combination with such walls whenever possible.
- ◆ A 36" inch high berm, headlight hedge, or masonry wall shall be used to screen any parking at the street periphery. A combination of walls, berms, and landscape material is highly recommended.
- ◆ Street trees shall be planted at 30' on center along street edge. Canopy trees are preferred.

V. Parking Lot Area Planting

- ◆ Parking lot trees with 30'- 40' canopy potential shall be planted to shade parked cars and create a more attractive environment.
- ◆ Plants with thorns, stickers, or sharp leaves shall be avoided.
- ◆ Parking lots shall include landscaping if:
 - More than five (5) automobile parking spaces exist on a lot or parcel of land
 - There are areas not used for vehicle parking or maneuvering
 - There are areas for the movement of pedestrians to and from vehicles
- ◆ All landscaped areas shall be bordered by a concrete curb a minimum of six (6) inches high adjacent to the parking surface.

W. Utility and Mechanical Equipment

- ◆ Utility service areas shall be considered in the early building design process to ensure appropriate and complementary placement and design.
- ◆ Utility service areas, such as electrical panels, shall be placed within enclosures that are architecturally integrated into the building design.
- ◆ Any outdoor equipment, whether on a roof, side of a structure, or on the ground shall be appropriately screened from view. The method of screening shall be architecturally integrated with the adjacent structure in terms of materials, color, shape and size.
- ◆ Where screen walls are used, they shall be designed to blend with the site's architecture.
- ◆ When transformers are required to be installed adjacent to the street, they shall be placed underground.
- ◆ Satellite dishes shall not be mounted on the roof or visible from the street.



UTILITY SERVICE AREAS, SUCH AS ELECTRICAL PANELS, SHALL BE PLACED WITHIN ENCLOSURES THAT ARE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN.

X. Trash Enclosures

- ◆ Trash enclosures and loading areas provided in the parking areas shall be screened with landscaping and wall materials.
- ◆ Trash enclosures shall be separated from adjacent parking stalls by minimum 3-foot wide planters with low-growing plant materials to ensure that adequate space is available for passengers to access a vehicle in an adjacent parking space.
- ◆ The trash and recycle enclosure shall be consistent with the style of the building architecture. This is best accomplished through the use of the same materials and colors. Architecturally designed roof structures shall be used to create a finished looking structure.
- ◆ Trash and recycle bins shall be conveniently accessible for trash collection and maintenance, and shall not block access drives during loading operations.
- ◆ Every property shall provide a trash enclosure that is capable of handling the refuse generated by that site.
- ◆ A pedestrian entrance to the trash enclosure shall be provided.
- ◆ Recycling bins shall be integrated into the enclosure and be easily accessible.
- ◆ Drainage from adjoining roof and pavement shall be diverted around the trash/recycling area.
- ◆ At least half of the trash/recycling area shall be dedicated to recycling containers.



THE TRASH ENCLOSURE SHALL BE CONSISTENT WITH THE STYLE OF THE BUILDING ARCHITECTURE. THIS IS BEST ACCOMPLISHED THROUGH THE USE OF THE SAME MATERIALS AND COLORS.




TRASH ENCLOSURES SHALL BE INCORPORATED INTO THE OVERALL DESIGN OF THE BUILDING.



A PEDESTRIAN ENTRANCE TO THE TRASH ENCLOSURE SHALL BE PROVIDED SO THAT THE LARGE ACCESS GATES DO NOT HAVE TO BE OPENED AS OFTEN.



OFFICE/RESIDENTIAL DESIGN GUIDELINES

 District 4 - Office/Residential

4. Office/Residential District

The intent of the office/residential district is to preserve the character of the existing residential neighborhoods while providing for the orderly and logical conversion or transition to compatible office uses as the market allows. The office/residential district area shall maintain its character as a traditional residential neighborhood through the preservation of historic residential structures and the establishment of guidelines for new construction remodels and renovation that will ensure a residential scale and character. The pedestrian friendly environment in this area is also a priority. Unifying the streets with street trees and continuous sidewalks will further enhance the pedestrian friendly environment. Streetscape elements consistent with the Downtown Core elements such as; street lights, trash receptacles, and benches placed in appropriate locations will visually unify and tie together this district to the Core.

The following topics are addressed in the guidelines:

1. Conversion of Residences to Office buildings*
2. New residential structures
3. New office structures

The following are guideline topics in this district:

4. Site Design
5. Building Mass and Scale
6. Building Form and Roofline
7. Building Entrances
8. Building Materials and Colors
9. Windows & Doors
10. Screening of Utilitarian Equipment and Trash Enclosures
11. Signage
12. Lighting
13. Outdoor Space
14. Parking and Circulation
15. Disabled-Accessible Ramps and Railing
16. Fire Apparatus
17. Roof Drainage
18. Mailboxes

*It is assumed that office uses will not convert to residential uses.

1. Conversion of Residences to Office buildings

- a Conversion of residential to office buildings shall occur in a contiguous fashion, not “leap frog” over other residences where possible in order to preserve residential neighborhoods.
- b Historic residential structures shall remain intact.
- c Upon conversion, the renovated office use shall improve the overall quality of the structure and site.
- d Spaces in office buildings shall be designed so that they can be leased to more than one tenant.
- e Office outdoor spaces shall be designed to respect the privacy of adjacent residential structures.

2. New Residential Structures

- a New residential structures shall be designed to respect the traditional architectural character and scale of the existing neighborhood.

3. New Office Structures

- a Office structures shall be designed to have 360 degrees (all elevations) of architectural façade treatment.
- b Spaces in office buildings shall be designed so that they can be leased to more than one tenant.
- c Office outdoor spaces shall be designed to respect the privacy of adjacent residential structures.
- d New office buildings shall be designed to respect the architectural character of the existing residential neighborhood.
- e It is not necessary that new office structures be built to look like a home as long as they maintain the traditional architectural character of the existing neighborhood.
- f New office structures shall include a combination of courtyard entrances, porches, parkways, rear parking, seasonal landscaping planters, and architectural embellishments.

4. Site Design

- a Infill or redevelopment projects shall give careful consideration to existing surrounding building and any unique architectural features.
- b Site plans shall balance the need to provide adequate vehicular access, with the need to eliminate unnecessary driveway entrances and provide access points which are coordinated with other properties.
- c The interface between two or more properties shall be designed so that there are no barriers or other elements emphasizing property boundaries.
- d Buildings shall be designed to incorporate existing circulation, natural landscaping, sunlight, and shall not obstruct attractive views such as prominent landmarks, vistas, historical buildings, and the natural environment.



SIGNAGE SHALL BE IN SCALE AND ARCHITECTURALLY COMPATIBLE WITH THE BUILDING.

- e Special attention shall be given to building orientation and articulation on corner lots. Prominent architectural features such as building entries shall be located at and oriented towards the corners and intersections.
- f Buildings are encouraged to have a unique identity but shall integrate design elements from adjacent structures such as height, roof forms, window treatments, and architectural style.
- g Structures shall implement the use of natural daylight and cooling design techniques. The most effective design strategy is a narrow floor plan that provides the opportunity for increased daylight, better views to the exterior and more potential for natural ventilation.
- h Varied front setbacks are encouraged to help create visually interesting streetscapes.
- i Varied side yard setbacks help to create different sized yards and private patio areas. This maximizes the use of land and enhances dwelling privacy.
- j When adjacent to an existing two-story building, new single-story buildings shall have raised foundations (min 2') in order to appear in scale with the adjacent structures.

5. Building Mass and Scale

- a Each building shall have a recognizable base, body, roof line and entry.
- b A variety of front yard setbacks, lot widths and varying one and two story homes will help to create a diversity of architectural massing along the street.
- c Varying materials between base and body of a building can break long wall planes.
- d Massing design may include:
 - o Variation in the wall plane (project and recess)
 - o Variation in wall height
 - o Roof located at different levels
- e Vary the planes of the exterior walls in depth and/or direction.
- f Building scale can be reduced through proper use of window patterns, roof overhangs, siding, awnings, moldings, fixtures, landscaping, and other details.
- g The upper story of a two-story structure shall be stepped back in order to reduce the scale of the facades that face the street.
- h Architectural elements that add visual interest, scale, and character to the neighborhood such as bays, bay windows, recessed or projecting balconies, porches, etc. are encouraged.
- i Architectural treatments such as awnings, moldings, pilasters, etc. are encouraged.



THIS RESIDENTIAL/OFFICE BUILDING'S ENTRANCE IS ARTICULATED WITH A PROJECTING WALL PLANE.



VARIATION IN ROOF AND WALL PLANES HELP BREAK UP THE FRONT FACADE.



BY RAISING THE FOUNDATION, THIS BUILDING APPEARS TO BE IN SCALE WITH LARGER ADJACENT BUILDINGS.



A FRONT PORCH GIVES THIS OFFICE BUILDING A RESIDENTIAL FEELING.



THIS STAIRCASE HELPS TO DEFINE THE ENTRY TO THIS OFFICE BUILDING.



THIS ENTRY FEATURE CLEARLY EMPHASIZES THE ENTRANCE OF THE OFFICE BUILDING.

6. Building Form and Roofline

- a Multi-form roofs, gabled and shed roof combinations are encouraged to create an interesting and varying roof line that will decrease the mass of the building, and add visual articulation.
- b Roof materials and colors are important aspects of the overall building design. They shall be consistent with the desired architecture and complementary to adjacent structures.
- c Roofs covering the entire home such as hips and gables are preferred over mansard roofs and segmented pitched roofs applied at the building edge.
- d Parapets shall have sufficient articulation of detail such as precast treatments, continuous banding or projecting cornices, lentils, caps, corner details, or variety in pitch.

7. Building Entrances

- a The building entryway shall be designed as a significant aspect of the buildings overall composition and shall be easily identifiable and accessible.
- b Recessed or projecting building entry ways shall be included in the design as they help to break up the building's mass and prevent a barrack-like façade.
- c The incorporation of balconies, porches, and patios at the entry help to give the structure a 'neighborhood' type feel. They are also encouraged for both practical and aesthetic value.

8. Building Materials and Colors

- a Where appropriate, "green materials" such as recycled plastic roofing tiles, certified lumber, and no-voc paint shall be used provided that they fit the historic character and style of Downtown Turlock.
- b The selection and placement of building materials shall provide visual interest at the pedestrian level.
- c Different parts of a building's façade shall be articulated by use of color, arrangement of façade elements, changes in materials, or other features.
- d Details such as wall surfaces constructed with patterns, changes in materials, building pop-outs, columns, or recessed areas to create shadow patterns and depth on the wall surfaces shall be used.
- e The darkest colors and materials of the buildings color palette shall be used at the base of the building in order to "ground" the building.
- f Large areas of intense light color shall be avoided. While more subdued colors usually work best for overall building color, bright or accent colors are typically appropriate for trim, windows, doors, and key architectural elements.

- g Flat muted colors shall be used to reduce sun glare on wall planes. Avoid using bright “hospital” whites.
- h Door and window trims, awnings, and wall tiles provide opportunity for color that adds interest and texture to storefronts or building bases. Color of trim shall be coordinated with wall colors.
- i Colors shall coordinate with natural/unpainted materials used on the facades such as river rock, pressure treated wood, tile, brick, and stone.
- j Materials tend to appear substantial and integral when material changes occur at changes in the plane. Material or color changes at the outside corners of the structure gives an impression of thinness and artificiality, which shall be avoided. At a minimum, material shall wrap around the façade 4’.
- k Use of materials that building adjacent buildings and their surroundings is encouraged.

9. Windows & Doors

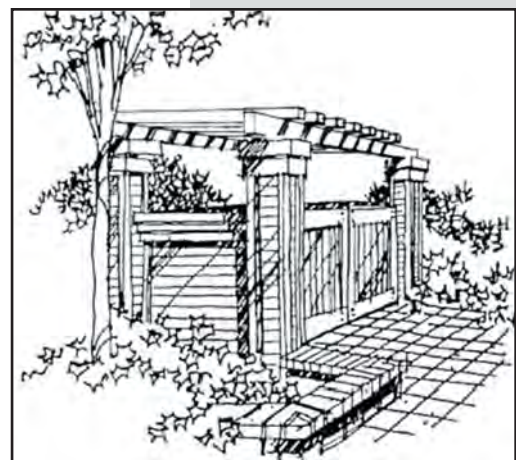
- a Locate windows to maximize daylight and views.
- b Use skylights, roof monitors, or light wells to add daylight to upper floors.
- c At the street level, windows shall have pedestrian scale and detail. The framing provides opportunity for color variation and detail.
- d Windows and doors shall be of the same architectural style.
- e Windows may be combined with wall planters at their base or use a base material that has color and texture such as ceramic tiles, brick, river rock, or raised wood panels.
- f Window type, material, shape, and proportion shall complement the architectural style of the building entry.
- g Windows and doors shall be designed as accent elements with details such as shutters, moldings, and lights.



AT THE STREET LEVEL, WINDOWS SHALL HAVE PEDESTRIAN SCALE AND DETAIL. THIS SHOP IMPROVES THE PEDESRIAN ATMOSPHERE BY INCORPORATING WINDOW DISPLAYS.

10. Screening of Utilitarian Equipment and Trash Enclosures

- a Utility service areas shall be part of the early building design process, rather than as an afterthought at the construction document phase.
- b All utility equipment including, but not limited to, electric and gas meters, electrical panels, cable boxes, and junction boxes shall be located in a utility room/closet within the building.
- c Where screening is required, a combination of elements shall be used including solid masonry walls, berms and landscaping.



A COMBINATION OF ELEMENTS SUCH AS LANDSCAPING AND TRELLIS SHALL BE USED TO SCREEN TRASH ENCLOSURES.



MONUMENT SIGNS THAT USE SIMILAR COLORS AND MATERIALS AS THE MAIN BUILDING, SUCH AS THIS, ARE APPROPRIATE FOR RESIDENTIAL/OFFICE CONVERSIONS.



SIGNS THAT REFLECT THE TYPE OF BUSINESS THROUGH DESIGN AND GRAPHIC FORM AND COMPLEMENT BUILDING ARCHITECTURE SHALL BE USED.



MONUMENT SIGNS THAT REFLECT THE TYPE OF BUSINESS THROUGH GRAPHIC FORM AND COMPLEMENTARY BUILDING MATERIALS IS ENCOURAGED.

- d Any outdoor equipment, whether on a roof, side of a structure, or on the ground shall be appropriately screened from view and shall not be placed adjacent to public ways. The method of screening shall be architecturally integrated with the adjacent structure in terms of materials, color, shape and size.
- e Where feasible, transmission power lines and other mechanical equipment shall be placed underground to maximize safety and minimize visual distraction.
- f New electrical, telephone, cable television, mechanical equipment and other distribution lines shall be placed underground.
- g All new on-site connections and utilities shall be installed underground
- h Trash/Recycling enclosures shall be designed to be consistent with the design of the building architecture. Similar or the same building materials shall be used on the enclosure as the buildings.
- i In addition to incorporating a similar architectural style, landscaping shall be incorporated into the design as an additional screen.
 - j Every non-residential property shall provide a trash enclosure that is capable of handling the refuse generated by that site.

11. Signage

Signs play an important role in the success of any business by providing identification and necessary advertising. When signs are integrated into the building design, they provide a personal quality that contributes to the ambiance of the Downtown and streetscape, especially unique signs. Conversely, signs may intrude upon pleasant surroundings when they are applied as an afterthought. Signage is particularly important in this district of office, commercial and residential uses. These guidelines are intended to balance the legitimate advertising needs of businesses with the need to prevent visual clutter and protect the traditional residential character of the district.

- a The sign regulations and guidelines are stated in section 9-2-500ART. of the City’s Zoning Ordinance and shall be adhered to at all times.
- b Signs shall coordinate with the building design, materials, color, size, and placement.
- c Signs reflecting the type of business through design, shape, or graphic form shall be used.
- d The method of sign attachment to the building shall be integrated into the overall sign design chosen.
- e Signs shall not cover up windows or important architectural features.
- f Sign variety is encouraged among different users.

- g Flush mounted signs shall be positioned within architectural features, such as the window/panel above the storefront or flanking the doorways.
- h Flush mounted signs shall align with others in the “center” so as to maintain the existing pattern.
- i Signs shall be externally illuminated or internal illumination shall be limited to letters only.
- j Hanging signs attached to buildings that project perpendicular to the building shall be a minimum of 8’ from ground level to the bottom of the sign. Signs that project shall be small and reflect the use of the business by incorporating symbols or logos of the business.
- k Lighting of all exterior signs shall be directional to illuminate the sign without producing glare on pedestrians, autos, or into adjacent residential units.

12. Lighting

Effective lighting provides safety and direction for vehicles and pedestrians, visibility and security for businesses, while enhancing architectural building and landscape details. These guidelines apply to on-site lighting for private structures in parking areas and lights associated with the building.

- a Lighting types shall include pole lights, spotlighting, wall-mounted sconces, parking and landscape lighting.
- b Light fixtures shall be designed or selected to be architecturally compatible with the main structure or theme of the building.
- c The quality of light, level of light as measured in footcandles, and the type of bulb or source shall be carefully addressed. Lighting levels shall not be so intense as to draw attention to the glow or glare of the site.
- d Exposed bulbs shall not be used. Cut-off lighting is preferred.
- e Uplighting of building elements and trees shall use the lowest wattage possible to minimize impacts to the night sky. Additionally, light sources for wall washing and tree lighting shall be hidden.
- f Landscape lighting shall be used to accent walkways and entries and/or seating areas and specimen plants/trees.
- g In order to conserve energy, timers and sensors shall be incorporated to avoid unnecessary lighting.

13. Outdoor Spaces

- a Outdoor spaces shall be recognized as “outdoor rooms” on the site.
- b Outdoor spaces shall have clear, recognizable shapes that reflect careful planning and are not “left over” areas between structures.
- c Outdoor spaces shall provide pedestrian amenities such as benches, shade, fountains, public art, etc.
- d Outdoor spaces shall take into consideration local climatic characteristics such as sunshine, cold, shade, and heat that radiates from the ground.



MONUMENT SIGN MATERIALS SHALL BE CONSISTENT WITH IT'S CORRESPONDING BUILDING .



THE ADDITION OF BENCHES AND TABLES MAKE OUTDOOR SPACES MORE USABLE.

14. Parking and Circulation

These guidelines are intended to ensure that parking lot designs are attractive and functional, while at the same time meet parking regulations.

- a Site plans shall balance the need to provide adequate vehicular access, with the need to eliminate unnecessary driveway entrances and provide reciprocal access points which are coordinated with other properties.
- b The site area adjacent to the street shall not be dominated with parking. Parking shall be concentrated in areas behind buildings and away from the street when possible access via alleyways is encouraged.
- c Parking access points, whether located on front, side, or rear streets, shall be located as far as possible from street intersections so that adequate stacking room is provided.
- d Parking lots on corner sites shall not be placed adjacent to the street edge.
- e Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts where possible.
- f Screening at the periphery of all parking lots shall be provided.
- g A 36" to high berm, headlight hedge, or masonry wall shall be provided to screen any parking at the street periphery or adjacent residence. A combination of walls, berms, and landscape material is highly recommended.
- h When walls are used to screen parking, breaks shall be provided to allow pedestrian circulation, and the walls shall be low enough for safety and security purposes.
- i Walls shall be finished and designed to complement building surrounding structures.



PARKING LOTS SHALL BE LOCATED AT THE REAR OF THE BUILDING OR IN PARKING "COURTS".

15. Disabled-Accessible Ramps and Railing

- a Guardrails shall building the architectural style of the building.
- b Ramps shall be integrated into the site design creating functional or unique spaces.

16. Fire Apparatus

- a Consideration shall be given to the design of new and remodeled structures to incorporate easy access to fire apparatuses which shall be installed per the City and County Requirements.
- b Access for fire apparatus shall be part of the planning process so as not to disrupt the visual integrity of a structure.

17. Roof Drainage

- a Roof drainage shall be carried in gutters and down spouts into on-site dry-wells. All gutters and downspouts shall be designed to complement the architecture of the building.

18. Mailboxes

- a Common box mailbox enclosure shall be designed similar in form, materials, and color to the surrounding buildings.
- b Mailboxes shall be located in alcoves away from the streetscape.

19. Streetscapes

- a Lighting fixture style shall be consistent with the style currently used in the Downtown Core.
- b Lighting fixtures in this district shall be no taller than ten feet (10').
- c Lighting fixture shall have only one luminaire instead of two in order to distinguish the Office/Residential district from the Downtown Core.
- d Minimum five foot (5') concrete sidewalks shall be used in this district with parkway strips separating sidewalks from the street.
- e Street furnishings (benches, bike racks, trash cans, and planting containers) shall remain consistent with the existing furnishings in the Downtown Core.
- f Tree species and grates shall remain consistent with those used in the Downtown Core.
- g Street trees shall be planted where needed at 30' o.c. in parkway strips or in tree wells with grates if necessary.
- h A minimum five foot (5') parkway strip shall be installed with the development of new buildings if it is consistent with the existing environment.
- i Street signs shall be consistent with those used in the Downtown Core



STREET SIGNS SHALL BE CONSISTENT WITH THOSE USED IN THE DOWNTOWN CORE.

PART 4 - IMPLEMENTATION

The following section outlines a series of recommended steps to be taken in conjunction with, or following approval of, this Downtown Zoning Regulations and Design Guidelines document. Each of these implementation measures are intended to reinforce what the Downtown Regulation District Zoning and Design Guidelines set out to accomplish. Each of the implementation measures are listed by the Overlay District to which they apply.

District 1 Downtown Core

- Amend the City Zoning Ordinance, Section 9-3-302. Use Classifications Matrix allowing residential dwellings with a Conditional Use Permit (CUP) approval in the CC Zone. Add item 2-(a) under Additional Use Regulations. Item 2-(a) to read: “Multi-Family Residential is allowed in the CC Zone only when permitted by overlay regulations and shall be subject to the Overlay District regulations.”

District 1-A Downtown Core Transition

- Complete a Zone change and General Plan Amendment from Low-Density Residential to Public/Semi-Public at the North Minaret/East Main intersection. This is the only Low-Density Residential within this district.

District 2 Transitional Commercial

- Amend the Medium-Density (MD) Residential property in the westernmost area of District 2 to Community Commercial (CC).

District 3 Industrial/Residential District

- Complete General Plan amendment and Zone change in land use designation from Industrial (I) to High-Density Residential (RH) along the north side of B Street, north to the district boundary.
- Amend the General Plan and Zoning for the block along South Broadway currently designated Heavy Commercial (CH), High-Density Residential (RH) and Commercial (CC) to High-Density Residential (RH).
- Adopt the following policy for this District Overlay Zone:
Residential uses within the Industrial/Residential District Overlay Zone will only be permitted when the Base Zone and General Plan are amended to Residential High-Density. Conversion of land will only be permitted when property is contiguous to other High-Density Residential property within the District. By this policy, it is the intent of the City to encourage the provision of High-Density Residential for the purpose of meeting City-wide affordable housing demands.

District 4 Residential/Office Overlay District

- Rezone the property on the north side of East Olive from Denair Avenue to North Center Street and extending up to Wolf Avenue from Community Commercial (CC) to Commercial Office (CO).
- In addition, adopt the following policy:
Community Commercial (CC) designated property north and east of the Downtown Core and Golden State Boulevard shall be limited to properties contiguous to the Downtown Core.

City Standards

- The City Municipal Services Department shall establish a streetscape prototype with specific models, colors and style of street lighting and street furniture as an adopted City standard. This streetscape prototype shall complement as described in the Design Guidelines, the streetscape and signage utilized within the Downtown Core.
- Signal light standards shall be replaced over time with a consistent historic style at designated gateway intersection locations. As an interim measure to enhance the aesthetic character of these intersections, the existing light standards can be painted to match the green color of the historic lighting within the Downtown Core.
- The City shall consider adoption of an outdoor dining/sidewalk café ordinance for the Downtown Core and perhaps application throughout the City. The basic requirements for outdoor dining and sidewalk cafes are outlined in the Design Guidelines Section of this document.

Appendix A
Turlock Beautification
Master Plan
Chapter V - Gateway Zones

Chapter 9-4 OVERLAY DISTRICT REGULATIONS

Sections:

Article 1. Downtown Overlay Regulations

- [9-4-101](#) Downtown overlay regulations and purpose.
- [9-4-102](#) Downtown Core.
- [9-4-103](#) Downtown Core Transition.
- [9-4-104](#) Transitional Commercial.
- [9-4-105](#) Industrial Residential.
- [9-4-106](#) Office Residential.

Article 2. Emergency Shelter Regulations

- [9-4-201](#) Purpose.
- [9-4-202](#) Emergency shelter permit required.
- [9-4-203](#) District cap on number of beds that may be permitted.
- [9-4-204](#) Nondiscretionary emergency shelter permit application: review and approval.
- [9-4-205](#) Conditions.
- [9-4-206](#) Application processing fee.
- [9-4-207](#) Suspension or revocation of emergency shelter permit.
- [9-4-208](#) Appeal.

Article 1. Downtown Overlay Regulations

9-4-101 Downtown overlay regulations and purpose.

Downtown Overlay District Regulations apply specifically to the downtown area as defined in the Turlock Downtown Design Guidelines and Zoning Regulations document. These regulations in some cases modify the base district regulations for the purposes set forth herein. However, these regulations are not all inclusive and therefore must be used in concert with the balance of the City of Turlock zoning regulations. Wherever there is a conflict or contradiction in the overlay district and base district regulations, the overlay district regulations set forth herein shall apply.

In addition to the purposes listed in TMC [9-1-103](#), and elsewhere in each of the base district regulations, the purpose of the Downtown Overlay Regulations are to:

- (a) Maintain and further enhance a prominent pedestrian oriented environment throughout all the regulation districts of the Downtown;
- (b) Promote and encourage economic investment in the Downtown area;
- (c) Protect and preserve the City's historic architectural character of the Downtown Core and immediately surrounding areas;
- (d) Acknowledge the distinct opportunities that exist in the Downtown; and
- (e) Ensure the economic vitality of the Downtown as the "heart" of Turlock for years to come.

(Ord. 1154-CS, Amended, 08/25/11; Ord. 1021-CS, Add, 03/11/2004)

9-4-102 Downtown Core.

The Downtown Core is the historic focal point of Downtown Turlock. It's a place where shopping, dining, and entertainment is encouraged and is an area where buildings shall be high density in order to achieve an urban appearance. Buildings shall range from two (2) to four (4) stories in height in order to encourage a mix of commercial, office, and residential uses. The design and look of the Core communicates the historic character of the City through the use of architecture and streetscape design. The following is intended to preserve and enhance the historic character of the Downtown Core and the quality of public realm (streetscape, public parking, plazas, etc.) improvements. This overlay district accomplishes this through specific use requirements and development standards:

(a) Specific purposes.

- (1) To ensure the current and future success of the Downtown Core by preserving and enhancing its unique historic character and to encourage future development and land uses that are compatible with the overall character of the Downtown Core;
- (2) Protect and enhance the pedestrian environment and accessibility in and around the Downtown Core area;
- (3) Promote re-use and renovation of historic buildings in Downtown while promoting new investment and construction;
- (4) Encourage mixed-use development in the Downtown Core supporting residences and offices on the upper floors;
- (5) Encourage ground floor retail and restaurants.

(b) Use classifications Downtown Core district (DC). All new or expanded uses of a site or structure, involving an expansion of floor area of one thousand (1,000) square feet or twenty-five (25%) percent of the existing building floor area, whichever is less, or the conversion of an existing residential structure to a nonresidential use, are subject to Design Review in accordance with Article 10 of Chapter [9-5 TMC](#), Design Review. Design review shall take place concurrently with the processing of any other required permit. Compliance with the adopted design guidelines of the City of Turlock is mandatory for all commercial developments subject to design review.

Alterations or modifications to a developed site or the exterior of an existing structure are subject to review in accordance with Article 3 of Chapter [9-5 TMC](#), Minor Administrative and Minor Discretionary Permits. The review is to ensure compliance with the established policies, standards, and guidelines adopted by the Turlock City Council.

Any change in use or business within an existing structure which does not require an approved conditional use permit shall obtain a zoning certificate in accordance with Article 2 of Chapter [9-5 TMC](#), Zoning Certificates and Home Occupation Permits. The zoning certificate shall be obtained prior to the issuance of a building permit or prior to commencement of a use where no building permit is required.

Uses not contained in the following sections may be permitted subject to a conditional use permit, in accordance with Article 6 of Chapter [9-5 TMC](#), Conditional Use Permits and Variances. Such conditional

uses must be of a similar nature and intensity as other uses in the district as determined by the Community Development Services Director or designee.

(c) Permitted uses.

(1) **Ground level.** Antique shops, art galleries, artist studios is accessory to art galleries, business and professional offices, cultural institutions, financial services, government offices, personal services, printing and publishing, religious assembly, restaurants (including outdoor dining), retail sales, retail bakeries, and other similar uses as determined by the Community Development Services Director or designee.

(2) **Second floor and above.** Residential units, business and professional offices, clubs and lodges, cultural institutions, government offices, photography studios, artists' studios, medical and dental clinics, hotels and motels, research and development services, personal services, and other similar uses as determined by the Community Development Services Director or designee.


(d) Conditionally permitted uses.

(1) **Ground level.** Bars, dance hall/night clubs, live entertainment, fortune telling, and other similar uses as determined by the Community Development Services Director, or designee.

(2) **Second floor and above.** Day care centers, trade schools, dance schools, all those uses conditionally permitted at ground level, and other similar uses as determined by the Community Development Services Director, or designee.

(e) Prohibited uses. Automotive sales, service, repair or washing, restaurants (drive through), industry (limited or general), emergency shelters, utilities (major and minor), ambulance services, convenience gas mart, outdoor storage, funeral and interment services, rental storage facilities, travel trailer or mobile home parks, salvage and wrecking operations, warehousing, and other similar uses as determined by the Community Development Services Director or designee.

(f) Development standards.

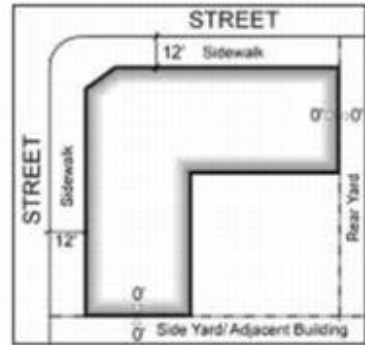
Category	Regulation	Interpretation
Land Use		
Applicable Base Zone	CC	
Maximum Lot Coverage	100% *Intensity of the allowable building coverage of the lot area. See design guidelines for how to handle frontage treatments	
Floor Area Ratio	3.0 for Mixed Use 1.0 for Retail Commercial *Floor Area Ratio (FAR) is the ratio of building area to parcel area	

Permitted Uses	Refer to subsection (c) of this section
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Conditionally Permitted Uses	Refer to subsection (d) of this section
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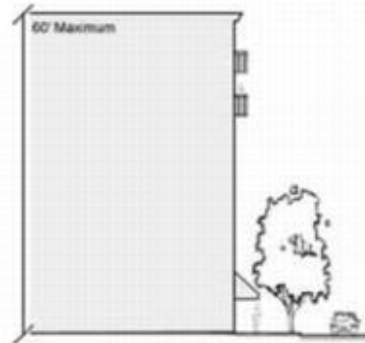
Setbacks

Front Yard	Zero (0') feet maximum *except for plazas, courtyards, entries or outdoor dining
Side Yard	Zero (0') feet maximum
Rear Yard	Zero (0') feet maximum
Corner Side Yard	Zero (0') feet maximum



Building Massing

Building Height	Sixty (60') feet maximum
Landscaping	Zero (0%) percent of lot area *may include hardscape, plazas, courtyards, and planters



Parking




Parking Requirements	Off-street parking not required in the Downtown Core
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Signage

Signage in accordance with Article 5 of Chapter 9.2, TMC (Signs) except:

Freestanding Signs	No freestanding signs are permitted, except for tenant directory signs which may be placed within a courtyard, plaza, or entry. Any freestanding signs shall be single sided, shall be limited to six (6') feet in overall height, shall not exceed three (3') feet in width, shall be placed within a landscaped bed, and shall be made from the same materials as other signs on the site.
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<p>Restaurant Menu Signs</p>	<p>Restaurant menu signs shall be permitted and shall be located in a permanently mounted display box on the surface of the building adjacent to the entry. Taping a menu to a box is not an appropriate menu sign. The allowable area for restaurant menu signs shall be a maximum of six (6) square feet. For special circumstances in which restaurants occupy a considerable amount of window space, menus are to be decoratively displayed in the window adjacent to the entry. Such signs will not be included in the sign area calculation for the business.</p>	
<p>Wall Signs</p>	<p>Wall signs shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting material is preferred over internal illumination. Cabinet signs are prohibited.</p>	
<p>Projecting Signs</p>	<p>Projecting signs shall not exceed two (2') feet by two (2') feet in size and shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting material is preferred over internal illumination. Cabinet signs are prohibited. Projecting signs shall not be included in the sign area calculation for the building.</p>	

<p>A-Frame Signs</p>	<p>A-Frame signs shall be permitted, provided the sign complies with the following size and design requirements:</p> <ul style="list-style-type: none"> • No A-Frame sign shall have more than two (2) sides • The overall size of the sign, including frame, shall not exceed two (2') feet in width and four (4') feet in height • The sign shall be constructed of materials similar to those found on the building and/or the wall signs • The sign shall not be placed on the public sidewalk in such a manner as to obstruct public access, including ADA accessibility requirements <p>A-Frame signs shall not be included in the sign area calculation for the building</p>	
<p>Other</p>		
<p>Design</p>	<p>Compliance with the Downtown Design Guidelines and Zoning Regulations is required</p>	

(Ord. 1154-CS, Amended, 08/25/11; Ord. 1021-CS, Add, 03/11/2004)

9-4-103 Downtown Core Transition.

The Downtown Core Transition district is a contrast to the historic urban feel of the Downtown Core with ample setbacks, mature trees lining the streets, and low-intensity residential and office structures. Yet, located along the East Main corridor, this district is an important link and gateway opportunity for the Downtown Core. The Downtown Core Transition district's residential scale is to be preserved while creating a unifying streetscape character that ties this area to the Downtown Core. Consideration of gateway features and strengthened pedestrian orientation are priorities for this district. All new uses, construction, reconstruction, and remodels shall be subject to these regulations.

(a) Specific purposes.

- (1) Preserve the lower intensity residential scale character of this transition area while maintaining the importance of this link to the Downtown Core.
- (2) Encourage mixed use development and land uses that are appropriate for the existing structures and character of this district.

(3) Encourage pedestrian accessibility and orientation.

(b) **Use classifications Downtown Core Transition district (DCT).** All new or expanded uses of a site or structure, involving an expansion of floor area of one thousand (1,000) square feet or twenty-five (25%) percent of the existing building floor area, whichever is less, or the conversion of an existing residential structure to a nonresidential use, area subject to design review in accordance with Article 10 of Chapter [9-5](#) TMC, Design Review. Design review shall take place concurrently with the processing of any other required permit. Compliance with the adopted design guidelines of the City of Turlock is mandatory for all development subject to design review.

Alterations or modifications to a developed site or the exterior of an existing structure are subject to review in accordance with Article 3 of Chapter [9-5](#) TMC, Minor Administrative and Minor Discretionary Permits. Any change in use or business within an existing structure which does not require an approval conditional use permit shall obtain a zoning certificate in accordance with Article 2 of Chapter [9-5](#) TMC, Zoning Certificates and Home Occupation Permits. The zoning certificate shall be obtained prior to the issuance of a building permit or prior to commencement of a use where no building permit is required.

Uses not contained in the following sections may be permitted subject to a conditional use permit, in accordance with Article 6 of Chapter [9-5](#) TMC, Conditional Use Permits and Variances. Such conditional uses must be of a similar nature and intensity as other uses in the district as determined by the Community Development Services Director or designee.

(c) **Permitted uses.** Artists studios, art galleries, business and professional offices, dance schools, day care centers, financial institutions, government offices, medical and dental offices and clinics, personal services, photography studios, private schools, public uses, retail sales, residences (single and multifamily), restaurants, and other similar uses as determined by the Community Development Services Director or designee.

All residential uses shall comply with the standards for the Residential Medium Density (R-M) zoning regulations, unless authorized in accordance with Article 6 of Chapter [9-5](#) TMC, Conditional Use Permits and Variances (See Director's Interpretation 99-02).

(d) **Conditionally permitted uses.** Clubs and lodges, gas stations (including convenience gas marts), mixed use projects, nurseries, religious assembly uses, and other similar uses as determined by the Community Development Services Director or designee.

All residential uses shall comply with the standards for the Residential Medium Density (R-M) zoning regulations, unless authorized in accordance with Article 6 of Chapter [9-5](#) TMC, Conditional Use Permits and Variances (See Director's Interpretation 99-02).

(e) **Prohibited uses.** Auto sales, auto service and repairs, drive through restaurants, equipment sales, service, and/or rentals, emergency shelters, industrial uses, maintenance services, outdoor storage, rental storage facilities, and other similar uses as determined by the Community Development Services Director or designee.

(f) **Development standards.**

Category	Regulation	Interpretation
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Land Use

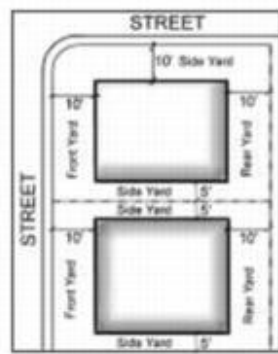
Applicable Base Zone	CO and CC
Maximum Lot Coverage	Sixty (60%) percent *Intensity of the allowable building coverage of the lot area
Floor Area Ratio	1.0 *Floor Area Ratio (FAR) is the ratio of building area to parcel area
Permitted Uses	Refer to subsection (c) of this section
Conditionally Permitted Uses	Refer to subsection (d) of this section



Setbacks

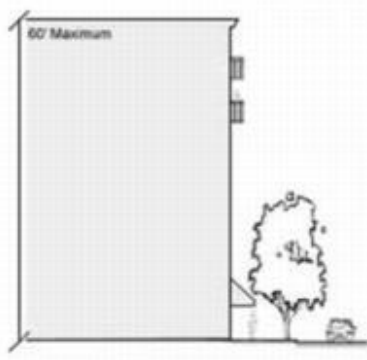
Front Yard	Ten (10') feet minimum
Side Yard	Five (5') feet minimum*
Rear Yard	Ten (10') feet minimum*
Corner Side Yard	Ten (10') feet minimum

*When adjacent to residential zoning districts, a seven (7') foot tall decorative masonry wall is required along the property line



Building Massing

Building Height	Forty-five (45') feet maximum
Landscaping	Twenty-five (25%) percent of the lot area *may include hardscape, plazas, courtyard areas, and planters




Parking


Parking Requirements	Fifty (50%) percent of the parking requirements as set forth in TMC 9-2-209
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	<p>Parking shall be located at rear of lot and access from alley unless the applicant can demonstrate it is infeasible to do so</p>	
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Signage

Signage in accordance with Article 5 of Chapter 9-2 TMC except:

	<p>Freestanding signs shall not exceed six (6') feet in overall height, measured from grade, may be internally illuminated, but external illumination is preferred, installed within a landscaped bed, and constructed of materials designed to complement the primary structure</p>	
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<p>Wall Signs</p>	<p>Wall signs shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting material is preferred over internal illumination. Cabinet signs are prohibited</p>	
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<p>A-Frame Signs</p>	<p>A-Frame signs shall be permitted, provided the sign complies with the following size and design requirements:</p> <ul style="list-style-type: none"> • No A-Frame sign shall have more than two (2) sides • The overall size of the sign, including frame, shall not exceed two (2') feet in width and four (4') feet in height • The sign shall be constructed of materials similar to those found on the building and/or the wall signs • The sign shall not be placed on the public sidewalk in such a manner as to obstruct public access, including ADA accessibility requirements <p>A-Frame signs shall not be included in the sign area calculation for the building</p>	
<p>Other</p>		
<p>Design</p>	<p>Compliance with the Downtown Design Guidelines and Zoning Regulations is required</p>	

(Ord. 1154-CS, Amended, 08/25/11; Ord. 1021-CS, Add, 03/11/2004)

9-4-104 Transitional Commercial.

The Transitional Commercial areas lay north, south, and west of the Downtown Core. These areas contain office and commercial buildings that cater to the auto-oriented consumer. These areas also serve as the main gateways into the Downtown Core and shall be designed to establish a good first impression of the downtown area. This can be accomplished by incorporating gateway signage and landscaping, providing a unified streetscape design, regulating signage, and screening parking. The following regulations are set forth to encourage a community character that will support the charm and character of the Downtown Core.

(a) Specific purposes.

- (1) Allow for a variety of commercial uses and an architectural character consistent with a predominantly automobile oriented commercial district with appropriately scaled architecture;
- (2) Enhance aesthetics through improved landscaping and architectural forms;
- (3) Create a pedestrian friendly and accessible commercial district environment.

(b) **Use classifications Transitional Commercial (TC).** All new or expanded uses of a site or structure, involving an expansion of floor area of one thousand (1,000) square feet or twenty-five (25%) percent of the existing building floor area, whichever is less, or the conversion of an existing residential structure to a nonresidential use, area subject to design review in accordance with Article 10 of Chapter [9-5 TMC](#), Design Review. Design review shall take place concurrently with the processing of any other required permit. Compliance with the adopted design guidelines of the City of Turlock is mandatory for all development subject to design review.

Alterations or modifications to a developed site or the exterior of an existing structure area subject to review in accordance with Article 3 of Chapter [9-5 TMC](#), Minor Administrative and Minor Discretionary Permits. Any change in use or business within an existing structure which does not require an approved conditional use permit shall obtain a zoning certificate in accordance with Article 2 of Chapter [9-5 TMC](#), Zoning Certificates and Home Occupation Permits. The zoning certificate shall be obtained prior to the issuance of a building permit or prior to commencement of a use where no building permit is required.

Uses not contained in the following sections may be permitted subject to a conditional use permit, in accordance with Article 6 of Chapter [9-5 TMC](#), Conditional Use Permits and Variances. Such conditional uses must be of a similar nature and intensity as other uses in the district as determined by the Community Development Services Director or designee.

(c) **Permitted uses.** Animal boarding, grooming, and hospitals, automobile sales, service, and repair (minor), building materials and services, business and professional offices, convenience gas marts, cultural institutions, day care centers, financial institutions, food and beverage sales (less than ten thousand (10,000) square feet), funeral and interment services, government offices, hardware stores, health and recreation services, hotels and motels, laundries (limited or self-serve), medical and dental offices and clinics, nurseries, personal services, recycling facilities (small), residential uses (single and multifamily), retail sales, restaurants (including drive through), and other similar uses as determined by the Community Development Services Director or designee.

(d) **Conditionally permitted uses.** Automobile repair (major), bars, commercial recreation and entertainment, convalescent hospitals (including nursing homes and assisted living facilities), dance halls, equipment sales, service, and rental, food and beverage sales (greater than ten thousand (10,000) square feet), emergency shelters, hospitals, nightclubs, outdoor storage, pawn shops, religious assembly uses, and other similar uses as determined by the Community Development Services Director or designee.

(e) **Prohibited uses.** Industrial uses, maintenance services, rental storage facilities.

(f) **Development standards.**

Category	Regulation	Interpretation
Land Use		
Applicable Base Zone	CC	
Maximum Lot Coverage	Forty-five (45%) percent *Intensity of the allowable building coverage of the lot area	

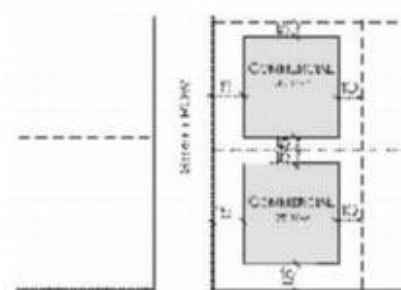
Floor Area Ratio	.6 *Floor Area Ratio (FAR) is the ratio of building area to parcel area
Permitted Uses	Refer to subsection (c) of this section
Conditionally Permitted Uses	Refer to subsection (d) of this section



Setbacks

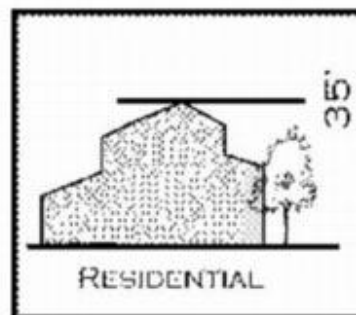
Front Yard	Fifteen (15') feet minimum*
Side Yard	Five (5') feet minimum*
Rear Yard	Ten (10') feet minimum*
Corner Side Yard	Fifteen (15') feet minimum

*When adjacent to residential zoning districts, a seven (7') foot tall decorative masonry wall is required along the property line



Building Massing

Building Height	Thirty-five (35') feet maximum
Landscaping	Twenty-five (25%) percent of the lot area *may include hardscape, plazas, courtyard areas, and planters



Parking

Parking Requirements	Refer to the parking requirements as set forth in TMC 9-2-209
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Signage

Signage in accordance with Article 5 of Chapter [9-2](#) TMC except:
 Sites that support an auto-serving use, such as automobile fueling/convenience gas mart, auto sales, auto repair, and the like may incorporate freestanding monument signs within the required landscaping. Such signs shall not exceed six (6') feet in overall height, measured from grade, and may be internally illuminated. All materials for the sign shall be complementary to the primary structure. Otherwise, all signs within this district shall be permanently affixed to the wall of the primary structure. All wall or projecting signs shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting material is preferred over internal illumination. Cabinet signs are prohibited. No portable A-Frame style signs shall be permitted.



Other

Design	Compliance with the Downtown Design Guidelines and Zoning Regulations is required
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(Ord. 1154-CS, Amended, 08/25/11; Ord. 1021-CS, Add, 03/11/2004)

9-4-105 Industrial Residential.

The Industrial/Residential areas lie in the southwest section of the downtown. This is a unique opportunity area to capitalize on the industrial character of the existing agriculturally related buildings. Many vacant and underutilized sites currently occupy this district, however, multifamily infill buildings, mixed use building, and enhanced streetscapes will help to liven up the area. There is also an opportunity to create an industrial gateway to the Downtown Core by providing gateway signage and improved landscaping along South Golden State Boulevard. The following district regulations address the unique land use opportunities in this area by providing for market forces to work while addressing inherent land use conflicts.

(a) Specific purposes.

- (1) Encourage economically viable re-use of existing agricultural/industrial buildings;
- (2) Create opportunities for the market to determine appropriate land uses while preventing inherent land use conflicts.

(b) Use classifications Industrial/Residential (IR). All new or expanded uses of a site or structure, involving an expansion of floor area of one thousand (1,000) square feet or twenty-five (25%) percent of

the existing building floor area, whichever is less, or the conversion of an existing residential structure to a nonresidential use, area subject to design review in accordance with Article 10 of Chapter 9-5 TMC, Design Review. Design review shall take place concurrently with the processing of any other required permit. Compliance with the adopted design guidelines of the City of Turlock is mandatory for all development subject to design review.

Alterations or modifications to a developed site or the exterior of an existing structure area subject to review in accordance with Article 3 of Chapter 9-5 TMC, Minor Administrative and Minor Discretionary Permits. Any change in use or business within an existing structure which does not require an approved conditional use permit shall obtain a zoning certificate in accordance with Article 2 of Chapter 9-5 TMC, Zoning Certificates and Home Occupation Permits. The zoning certificate shall be obtained prior to the issuance of a building permit or prior to commencement of a use where no building permit is required.


Uses not contained in the following sections may be permitted subject to a conditional use permit, in accordance with Article 6 of Chapter 9-5 TMC, Conditional Use Permits and Variances. Such conditional uses must be of a similar nature and intensity as other uses in the district as determined by the Community Development Services Director or designee.

(c) **Permitted uses.** Ambulance services, animal hospitals, automobile repair (minor and major), automobile storage (see TMC 9-2-112), bakeries (wholesale), building materials and services, day care centers, government offices, industry (limited), outdoor storage, parking lots, printing (limited and unlimited), residential uses (single and multifamily), trade schools, vehicle washing, warehousing, and other similar uses as determined by the Community Development Services Director or designee.

(d) **Conditionally permitted uses.** Commercial recreation and entertainment, convenience gas mart, emergency shelters, mixed use projects, nightclubs and dance halls, private schools, religious assembly uses, restaurants, emergency shelters, and other similar uses as determined by the Community Development Services Director or designee.

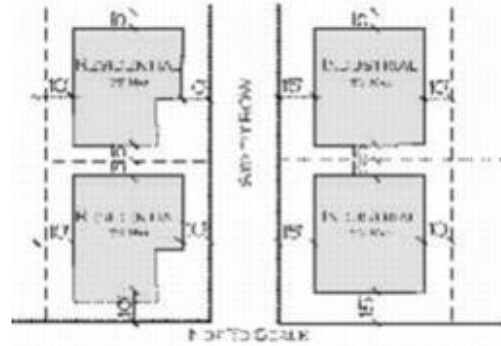
(e) **Prohibited uses.** Financial services, business and professional offices (unless accessory to a permitted use), medical and dental offices and clinics, and retail sales (unless accessory to a permitted use).

(f) **Development standards.**

Category	Regulation		Interpretation
	Industrial	Residential	
Land Use			
Applicable Base Zone	I	I	
Maximum Lot Coverage	35%	50%	
Floor Area Ratio	0.40	0.75	
Permitted Uses	Refer to subsection (c) of this section		

Conditionally Permitted Uses	Refer to subsection (d) of this section
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Setbacks	Industrial	Residential
Front Yard	Fifteen (15') feet minimum	Ten (10') feet minimum**
Side Yard	Five (5') feet minimum*	Five (5') feet minimum*
Rear Yard	Ten (10') feet minimum*	Ten (10') feet minimum*
Corner Side Yard	Fifteen (15') feet minimum	Ten (10') feet minimum

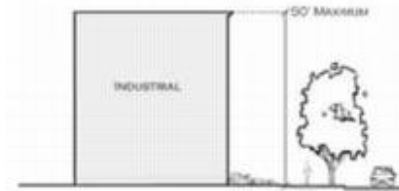


*When adjacent to residential, a seven (7') foot decorative masonry wall is required along the property boundary

**Twenty (20') feet to garage for single-family residential

Building Height	Fifty (50') feet	Thirty-five (35') feet
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Landscaping	Twenty-five (25%) percent
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Parking


Parking Requirements	Refer to Article 2 of Chapter 9-2 TMC
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Signage

Signage in accordance with Article 5 of Chapter [9-2 TMC](#), Signs, except:

Freestanding signs	Freestanding signs shall not exceed six (6') feet in overall height, measured from grade, may be internally illuminated, but external illumination is preferred, installed within a landscaped bed, and constructed of materials designed to complement the primary structure
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Wall Signs	Wall signs shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting material is preferred over internal illumination. Cabinet signs are prohibited	
A-Frame Signs	Not permitted	
Other		
Design	Compliance with the Downtown Design Guidelines for the Industrial Residential District is required	

(Ord. 1154-CS, Amended, 08/25/11; Ord. 1021-CS, Add, 03/11/2004)

9-4-106 Office Residential.

The intent of the office/residential district is to preserve the character of the traditional residential neighborhoods while providing for the orderly and logical conversion or transition to compatible office uses as the market allows. The office/residential district area shall maintain its character as a traditional residential neighborhood through the preservation of historic residential structures and the establishment of guidelines for new construction, remodels and renovation that will ensure a residential scale and character. The pedestrian friendly environment in this area is also a priority. Unifying the streets with street trees and continuous sidewalks will further enhance the pedestrian friendly environment. Streetscape elements consistent with the Downtown Core elements such as street lights, trash receptacles, and benches placed in appropriate locations will visually unify and tie together this district to the Core.

(a) Specific purposes.

- (1) Preserve historic character of buildings and residential character of the District.
- (2) Promote residential scale design for new office development.
- (3) Maintain and enhance a pedestrian friendly environment.

(b) Use classifications office/residential (OR). All new or expanded uses of a site or structure, involving an expansion of floor area of one thousand (1,000) square feet or twenty-five (25%) percent of the existing building floor area, whichever is less, or the conversion of an existing residential structure to a nonresidential use, are subject to design review in accordance with Article 10 of Chapter [9-5 TMC](#). Design review shall take place concurrently with the processing of any other required permit. Compliance

with the adopted design guidelines of the City of Turlock is mandatory for all commercial developments subject to design review.

Alterations or modifications to a developed site or the exterior of an existing structure are subject to review in accordance with Article 3 of Chapter 9-5 TMC, Minor Administrative and Minor Discretionary Permits. The review is to ensure compliance with the established policies, standards and guidelines adopted by the Turlock City Council. Any change in use or business within an existing structure which does not require an approved CUP shall obtain a zoning certificate in accordance with Article 1 of Chapter 9-5 TMC, Zoning Certificates and Home Occupation Permits. The zoning certificate shall be obtained prior to the issuance of a building permit or prior to commencement of a use where no building permit is required.


Uses not contained in subsections (c), (d) and (e) of this section may be permitted subjected to a conditional use permit. Such conditional uses must be of a similar nature and intensity as other uses in the district as determined by the Community Development Director or designee.

(c) **Permitted uses.** Business and professional offices, cultural institutions, day care centers, medical and dental clinics, personal services, residential (single and multifamily) and other similar uses as determined by the Community Development Director or designee.

(d) **Conditionally permitted uses.** Convalescent hospitals (including nursing homes and assisted living facilities), financial institutions, emergency shelters, hospitals, mixed use projects, neighborhood stores, religious assembly uses, restaurants (including delicatessens), and other similar uses as determined by the Community Development Director or designee.

(e) **Prohibited uses.** Auto sales, service, and repairs, drive through restaurants, drive through personal services, industrial uses, outdoor storage, rental storage facilities, retail sales, and other similar uses.

(f) **Development standards.**

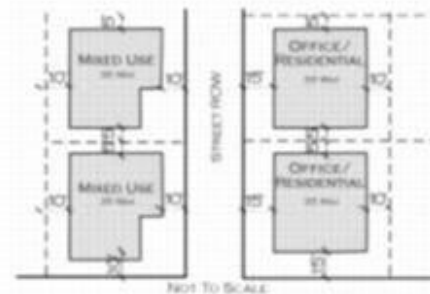
Category	Regulation		Interpretation
Land Use	Office or Residential	Mixed Use	
Applicable Base Zone	Office or Residential		
Maximum Building Lot Coverage	Forty (40%) percent	Sixty (60%) percent	
Floor Area Ratio	.6	.8	
Permitted Uses	Refer to subsection (c) of this section		
	*Intensity of the allowable building coverage of the lot area		
	*Floor Area Ratio (FAR) is the ratio of building area to parcel area		

Conditionally Permitted Uses	Refer to subsection (d) of this section
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Setbacks

Front Yard	Fifteen (15') feet minimum	Ten (10') feet minimum
Side Yard	Five (5') feet minimum*	
Rear Yard	Ten (10') feet minimum*	
Corner Side Yard	Ten (10') feet minimum	

*When adjacent to residential zoning districts, a seven (7') foot tall decorative masonry wall is required along the property line



Building Massing

Building Height	Thirty-five (35') feet maximum
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Landscaping	Thirty (30%) percent of the lot area
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Parking


Parking Requirements	Office: Fifty (50%) percent of the required parking spaces. On-street parking directly abutting property may be applied to meet office parking requirements. All other uses as set forth in TMC 9-2-209 Residential: As set forth in TMC 9-2-209
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Signage

Signage in accordance with Article 5 of Chapter [9-2](#) TMC except:

Freestanding Signs	Freestanding signs shall not exceed four (4') feet in overall height, measured from grade, may be externally illuminated, installed within a landscaped bed, and constructed of materials designed to complement the primary structure
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Wall Signs	Wall signs shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting material is preferred over internal illumination. Cabinet signs are prohibited	
No portable A-Frame signs shall be permitted		
Other		
Design	Compliance with the Downtown Design Guidelines and Zoning Regulations is required	

(Ord. 1154-CS, Amended, 08/25/11; Ord. 1021-CS, Add, 03/11/2004)

Article 2. Emergency Shelter Regulations

9-4-201 Purpose.

The purpose of this article is to establish a nondiscretionary process for emergency shelters that will be permitted within a zoning overlay district to meet the requirements of Senate Bill 2 enacted on October 13, 2007.

(Ord. 1154-CS, Added, 08/25/11)

9-4-202 Emergency shelter permit required.

Prior to operating an emergency shelter, a nondiscretionary permit shall be obtained and all other applicable local, State and federal laws, regulations and codes shall be met. The approval shall be specific to a location and shall not be transferable to any other location. The application shall be on a form prescribed for that purpose, and shall include the written consent of the owner of the property on which the shelter is to be located. The permit shall be recorded on the property and shall run with the land.

(Ord. 1154-CS, Added, 08/25/11)

9-4-203 District cap on number of beds that may be permitted.

The Turlock City Council shall establish the cap on the number of beds that may be permitted under this nondiscretionary permit process. The cap shall be reviewed annually by the Turlock City Council at a formal public hearing.

(Ord. 1154-CS, Added, 08/25/11)

9-4-204 Nondiscretionary emergency shelter permit application: review and approval.

- (a) Once an application has been accepted as complete, the Community Development Director or designee shall take action within thirty (30) days.
- (b) Once an application has been accepted as complete, the Community Development Director or designee shall refer the permit application to City departments and any other agencies deemed appropriate by the Community Development Director.
- (c) In considering an application for a permit pursuant to this section, the application shall meet all of the following standards:
- (1) The application shall be for an emergency shelter as defined in the California Health and Safety Code.
 - (2) The property must be located within the emergency shelter zoning overlay district adopted by the Turlock City Council and located within a Heavy Commercial (CH), Community Commercial (CC), Industrial (I), Downtown Industrial Residential (IR), or Downtown Transitional Commercial (TC) zoning district. In no case shall an emergency shelter permit be issued for a property located in a residential district as defined in Articles 1 and 2 of Chapter [9-3](#) TMC or the Downtown core overlay district defined in TMC [9-4-102](#).
 - (3) Approving the application shall not result in the number of beds within the overlay zoning district exceeding the district cap or the property-specific cap established by the Turlock City Council established pursuant to TMC [9-4-203](#) or TMC [9-4-205\(a\)](#), respectively.
- (d) The permit shall be not be deemed to be a discretionary act within the meaning of the California Environmental Quality Act (Division 13 (commencing with Section 21000) of the Public Resources Code).

(Ord. 1154-CS, Added, 08/25/11)

9-4-205 Conditions.

In authorizing an application for a nondiscretionary emergency shelter permit, the Community Development Director shall include as conditions of approval, the following minimum provisions:

- (a) The maximum number of beds on a property shall not exceed the following levels:
- (1) Forty (40) beds in the Community Commercial (CC) and Downtown Transitional Commercial (TC) districts;
 - (2) Seventy-five (75) beds in the Heavy Commercial (CH) zoning district; and
 - (3) One hundred (100) beds in the Industrial (I) and Downtown Industrial Residential (IR) zoning districts.
 - (4) The number of beds shall not exceed the district cap established in TMC [9-4-203](#).
- (b) The development of the property shall be consistent with the General Plan; the Turlock Municipal Code including, but not limited to, this title; the Turlock Standard Specifications and Drawings; the City of Turlock Design Guidelines; and all other State and federal codes, laws and regulations. Design review required pursuant to Article 10 of Chapter [9-5](#) TMC shall apply and shall be performed in conjunction with review of this permit.

(c) If located within one hundred fifty (150') feet of a residential zoning district, outdoor activity and intake areas shall be screened from public view and from the view of adjacent properties.

(d) Adequate lighting shall be provided in all parking, pedestrian paths, and entry areas. Lights shall be shielded and reflected away from adjacent uses.

(e) Off-street parking shall be provided at a rate of one (1) vehicle parking space per employee (by shift) plus one (1) vehicle parking space for every ten (10) beds. Bicycle parking shall be provided at a rate of one (1) space for every three (3) beds and shall meet the California Building Code requirements. Off-street parking within five hundred (500') feet devoted to the shelter during its operating hours by formal contractual agreement between the shelter operator and the property owner may be approved by Planning Division as satisfying the off-street parking requirement. Parking available on-street along the street frontage of the property on which the shelter is located may also be counted toward satisfying the off-street parking requirement.

(f) Adequate management, support staff and security must be present during the hours of operation of the facility. A minimum of one (1) supervisory level staff member must be present on the site during hours of operation. Operator(s) must ensure that loitering does not occur on the property during off-hours and must ensure that clients are not loitering, littering, or otherwise creating a nuisance to the neighborhood. A security plan shall be submitted to the Turlock Police Department for approval and must be approved before the facility begins operation and annually thereafter. If a client is socially disruptive or is responsible for creating any type of nuisance to neighborhood or facility, the operator must discharge the client and notify the Turlock Police Department.

(g) The security plan prepared under subsection (f) of this section must include the hours of operation and intake period and must provide at least one (1) employee or volunteer of the same sex as clients. Alcohol, weapons and illegal substances shall not be allowed on the site at any time. The operator must comply with all laws and shall notify the Police Department of all crimes in accordance with the security plan.

(h) If twenty-six (26) or more beds are included in the permit, a security guard or security officer must be provided during the intake period. If fifty-one (51) or more beds, a second security guard or security officer must be provided during the intake period. Security guards must be licensed through the State of California Department of Consumer Affairs Bureau of Security and Investigative Services.

(i) The maximum length of stay shall be no longer than that established by the California Health and Safety Code for emergency shelters.

(j) The shelter shall have set hours of operation and the hours shall be posted in a publicly visible and accessible location on a sign that is no larger than one (1) square foot.

(k) Outdoor activity shall be allowed only during the hours of 8:00 a.m. to 10:00 p.m. The shelter shall comply with Article 3 of Chapter [9-2](#) TMC at all times.

(l) All pets must be kept within an enclosed crate that shall be maintained and cleaned by the operator of the emergency shelter. All pets shall be housed within the emergency shelter and shall be leashed at all times when not housed in the crate. No limit shall be placed on the number of pets that can be maintained. All dogs shall be properly licensed and vaccinated for parvo, distemper, bordetella and any other applicable diseases. No unaltered pets or puppies/ kittens under the age of four (4) months shall be

permitted. No sick or aggressive animals shall be permitted. Pet owners and emergency shelter operators are required to dispose of animal feces as outlined in TMC [6-1-116](#). Each pet owner shall provide the shelter operator with the name of an emergency contact person to house the pet in the event that the owner is unable to care for the pet. All animal storage facilities will be properly cleaned daily. The shelter shall be subject to obtaining an initial permit that shall be inspected and renewed annually. A fee shall be set by City Council resolution for the initial permit and annual compliance inspections, and may be amended from time to time.

(Ord. 1154-CS, Added, 08/25/11)

9-4-206 Application processing fee.

A fee shall be paid by the applicant to cover the costs of processing and administering the nondiscretionary emergency shelter permit application. Such fee shall be set by City Council resolution, and may be amended from time to time.

(Ord. 1154-CS, Added, 08/25/11)

9-4-207 Suspension or revocation of emergency shelter permit.

An emergency shelter permit may be suspended or revoked in accordance with the procedures and standards of Article 11 of Chapter [9-5](#) TMC.

(Ord. 1154-CS, Added, 08/25/11)

9-4-208 Appeal.

The decision of the Community Development Director may be appealed as provided by Chapter [1-4](#) TMC.

(Ord. 1154-CS, Added, 08/25/11)

The Turlock Municipal Code is current through Ordinance 1206-CS, passed February 24, 2015.

Disclaimer: The City Clerk's Office has the official version of the Turlock Municipal Code. Users should contact the City Clerk's Office for ordinances passed subsequent to the ordinance cited above.
