



MAYOR
Bert L. Cottle

CITY PLANNER
Tina Crawford

WASILLA PLANNING COMMISSION

Claudia Pinard, Seat A
Debra Barrett, Seat B
Jessica Dean, Seat C
Loren Means, Seat D
Glenda Ledford, Seat E

**CITY OF WASILLA
PLANNING COMMISSION MEETING AGENDA
WASILLA CITY COUNCIL CHAMBERS**

Wasilla City Hall, 290 E. Herning Avenue, Wasilla, AK 99654 / 907-373-9020 phone

REGULAR MEETING

6 P.M.

JUNE 9, 2015

- I. CALL TO ORDER
- II. ROLL CALL
- III. PLEDGE OF ALLEGIANCE
- IV. APPROVAL OF AGENDA
- V. REPORTS
 - A. City Deputy Administrator
 - B. City Public Works Director
 - C. City Attorney
 - D. City Planner
- VI. PUBLIC PARTICIPATION *(three minutes per person, for items not scheduled for public hearing)*
- VII. CONSENT AGENDA
 - A. Minutes of May 26, 2015 special meeting
- VIII. NEW BUSINESS *(five minutes per person)*
 - A. Public Hearing
 - 1. Request: Approval to clear 84% of the vegetation on Lot A7, which is 14% more than the 70% clearing allowed in WMC 16.33.050(A)(2) in order to develop an office/warehouse building.
Applicant: Pat Eder, Architect, Design Company
Owner: Mark Smith, MDS Properties LLC
Total Area: 3.92 acres +/-

Location: 1790 N. Peck St. (SW corner Peck/Wasilla-Fishhook)
Lot A7, Township 17 North, Range 1 West, Sec. 3
Zoning: Rural Residential (RR)
a. City Staff
b. Applicant
c. Private person supporting or opposing the proposal
d. Applicant

2. Request: Variance of 19.5 feet from the required 25-foot front yard setback and a variance of 45 feet from the required 75-foot shoreline setback in order to construct a single-family dwelling.

Applicant: Denali North
Owner: William Starn
Total Area: 0.36 acres +/-
Location: 1245 E. Westpoint Drive
Tract 1, Parcel 3, Township 17 North, Range 1 West, Sec. 11
Zoning: Residential Multifamily (RM)
a. City Staff
b. Applicant
c. Private person supporting or opposing the proposal
d. Applicant

- B. Committee of the Whole
1. COW – Discussion regarding farm animals within the City limits.

IX. UNFINISHED BUSINESS

X. COMMUNICATIONS

- A. Permit Information
B. Enforcement Log
C. Matanuska-Susitna Borough Planning Commission agenda

XI. AUDIENCE COMMENTS (*three minutes per person*)

XII. STAFF COMMENTS

XIII. COMMISSION COMMENTS

XIV. ADJOURNMENT

SPECIAL MEETING

I. CALL TO ORDER

The special meeting of the Wasilla Planning Commission was called to order at 5:00 PM on Tuesday, May 26, 2015, in Council Chambers of City Hall, Wasilla, Alaska by Glenda Ledford, Chair.

II. ROLL CALL

Commissioners present and establishing a quorum were:

- Claudia Pinard, Seat A (via teleconference)
- Debra Barrett, Seat B (arrived at 5:02 PM)
- Loren Means, Seat D
- Glenda Ledford, Seat E

Commissioner absent and excused was:

- Jessica Dean, Seat C

Staff in attendance were:

- Ms. Lyn Carden, Deputy Administrator
- Ms. Tina Crawford, City Planner
- Mr. Bill Klebesadel, Deputy Public Works Director
- Ms. Tahirih Revet, Planning Clerk

III. PLEDGE OF ALLEGIANCE

- A. Commissioner Means led the Pledge of Allegiance.

IV. APPROVAL OF AGENDA

GENERAL CONSENT: The agenda was approved as presented.

V. REPORTS

- A. City Deputy Administrator
No report given.

- B. City Public Works Director
No report given.

- C. City Attorney
No report given.

- D. City Planner
Ms. Crawford reminded the Commission about the joint meeting with the City Council regarding the Downtown Overlay District.

VI. PUBLIC PARTICIPATION *(Three minutes per person for items not on agenda)*

Mr. Garvin Bucaria stated his concerns with the new Iditarod Elementary School Site development.

Mr. Kevin Baker, representative for Gary Lundgren, Global Financial Investment, stated his concerns with the Downtown Overlay District and asked that it be brought back to the Planning Commission for changes.

VII. CONSENT AGENDA

- A. Minutes of April 9, 2015, special meeting
- B. Minutes of April 14, 2015, regular meeting

GENERAL CONSENT: Minutes were approved as presented.

VIII. NEW BUSINESS *(five minutes per person)*

A. Public Hearing

- 1. Item: **Land Clearing Waiver #15-02** (Reso. #15-06)
Request: Approval to clear 100% of the vegetation on Lot B3, which is more than the 70% clearing allowed in WMC 16.33.050(A)(2) in order to create a 17 lot subdivision that will be developed with 16 residential duplex buildings (32 housing units).
Applicant: Richard Button, C.E., S.E., Benteh EEIS, Agent for Knik Tribal Council
Owner: Knik Tribal Council
Total Area: 9.21 acres +/-
Location: Lot B3, Township 17 North, Range 1 West, Section 4; Northeast corner of N. Lucas Road and W. Cache Drive
Zoning: Rural Residential (RR)

a. City Staff

Ms. Crawford provided a summary of the request for the land clearing waiver.

b. Applicant

Mr. Richard Button, C.E., S.E., Benteh EEIS, Agent for Knik Tribal Council, (via teleconference) provided a report on the applicant's development and reason for the request for a land clearing waiver.

Discussion moved to the Commission.

c. Private person supporting or opposing the proposal

Chair Ledford opened the public hearing.

With no one present, Chair Ledford closed the public hearing.

d. Applicant

No further comments by Mr. Button.

MOTION: Commissioner Pinard moved to approve Land Clearing Waiver #15-02 (Reso. #15-06), as presented.

Discussion moved to the Commission.

MOTION: Commissioner Pinard moved to amend the main motion to add a Condition #3 that would read as follows:

Condition 3. Landscaping shown as Phase 3 on sheet L10.1 will be installed as part of Phase 1. Additionally "C" type landscaping will be installed between Lots 4 and 5 and 7 and 8, "A" type landscaping will be installed along the entire length of Lucan Road, "C" type landscaping will be installed along the northern property line of Lot 8, and "E" type landscaping will be extended to the north side of the circle.

VOTE: The motion to amend the main motion, passed unanimously.

VOTE: The motion to approve Land Clearing Waiver #15-02 (Reso. #15-06) as amended, passed unanimously.

2. Item: **Land Clearing Waiver #15-03** (Reso. #15-07)
Request: Approval to clear 85% of the vegetation on Tract A, which is 15% more than the 70% clearing allowed in WMC 16.33.050(A)(2) in order to improve the athletic fields. Note: Approximately 78% of the parcel was previously cleared and the Borough is requesting approval to clear an additional 7% of the remaining vegetation.
Applicant: Robert Bechtold, Project Manager, Matanuska-Susitna Borough Capital Projects Department
Owner: Matanuska-Susitna Borough School District
Total Area: 19.28 acres +/-
Location: 801 N. Wasilla-Fishhook Road – Tract A, Iditarod Elementary Subdivision
(Athletic fields are located between Iditarod Elementary and Wasilla High School. Access to fields is via Wasilla High School main entrance off Bogard Road.)
Zoning: Commercial (C)

a. City Staff

Ms. Crawford provided a summary of the request for the land clearing waiver.

b. Applicant

Mr. Robert Bechtold, provided a report on the applicant's development and reason for the request for a land clearing waiver.

Mr. Chuck Martin, Athletic Director at Wasilla High School, provided a statement in support of the improvements.

Ms. Stephanie Gould, provided handouts and a statement in support of the upgrades to the fields.

Discussion moved to the Commission.

Ms. Denise Gilbert provided a handout and a statement in support of the upgrades to the fields.

c. Private person supporting or opposing the proposal
Chair Ledford opened the public hearing.

Mr. John Carney, Capital projects Coordinator for the MSSD, provided a statement in support of the upgrades to the fields and some of the issues that they think will be addressed after the upgrades are done.

Mr. Garvin Bucarea provided a statement in opposition to the upgrades to the fields due to the removal of the vegetation.

With no other comments, Chair Ledford closed the public hearing.

d. Applicant
No further comments by Mr. Bechtold.

MOTION: Commissioner Pinard moved to approve Land Clearing Waiver #15-03 (Reso. #15-07), as presented.

Discussion moved to the Commission.

MOTION: Commissioner Pinard moved to amend Resolution #15-07 to clarify Condition #2 to state:
2. Retain a 20' wide strip of natural vegetation/trees along within the proposed clearing area located near the southern property line between the eastern edge of the reconstructed Ressler softball field and the property line (approximately 150 feet long).

VOTE: The motion to amend Resolution Serial 15-07 passed with Commissioner Pinard, Barrett, and Chair Ledford in favor and Commissioner Means opposed.

Discussion moved to the Commission.

VOTE: The motion to approve Land Clearing Waiver #15-03 (Reso. #15-07) as amended, passed with Commissioner Barrett, Pinard, and Chair Ledford in favor and Commissioner Means opposed.

[Recessed the special meeting until after the City Council meeting at 7:05 PM]

3. Item: **Land Clearing Waiver #15-04** (Reso. #15-08)
Request: Approval to allow 74% of Tract A3 to remain cleared of vegetation, which is 4% more than the 70% clearing allowed in WMC 16.33.050(A)(2) in order to develop a Panda Express restaurant.

Note: This lot was cleared of 100% of the vegetation by a previous owner.

Applicant: Wende Wilber, AICP, PTP, ECI/Hyer, Inc., Agent for CFT Development/Panda Express Restaurant Group

Owner: Blue Rock Assets LLC

Total Area: 0.58 acres +/-

Location: 1491 E. Parks Highway
Tract A3, Olson 1999 Addition Subdivision

Zoning: Commercial (C)

a. City Staff

Ms. Crawford provided a summary of the request for the land clearing waiver.

b. Applicant

Ms. Wende Wilber, provided a report on the applicant's development and reason for the request for a land clearing waiver.

Discussion moved to the Commission.

c. Private person supporting or opposing the proposal

Chair Ledford opened the public hearing.

With no one present, Chair Ledford closed the public hearing.

d. Applicant

No further comments by Ms. Wilber.

MOTION: Commissioner Means moved to approve Land Clearing Waiver #15-04 (Reso. #15-08), as presented.

Discussion moved to the Commission.

VOTE: The motion to approve Land Clearing Waiver #15-04 (Reso. #15-08), passed unanimously.

X. UNFINISHED BUSINESS

No unfinished business.

XI. COMMUNICATIONS

No statements made regarding the following items.

A. Permit Information

B. Enforcement Log

XII. AUDIENCE COMMENTS (*three minutes per person*)

Mr. Kevin Baker provided an overview of his experience with the Department of Transportation (DOT) in the past. He suggested creating a couplet classification.

XIII. STAFF COMMENTS

No comments.

XIV. COMMISSION COMMENTS

Commissioner Pinard provided further clarification on requiring grass regarding Land Clearing Waiver #15-04.

Commissioner Means stated he agreed with Commissioner Pinard in her comment about the Land Clearing Waiver #15-04.

XV. ADJOURNMENT

The regular meeting adjourned at 11:03 PM.

GLENDAL LEDFORD, Chairman Date

ATTEST:

TAHIRIH REVET, Planning Clerk

Adopted by the Wasilla Planning Commission -, 2015.



I. SUMMARY FACTS:

Applicant: Pat Eder, Architect, Design Company
Land Owner(s): Mark Smith, MDS Properties LLC
Proposal: Approval to clear up to 84% of the vegetation on Lot A7, which is 14% more than the 70% clearing allowed in WMC 16.33.050(A)(2), in order to construct a 9,600 square foot office/retail building.
Location: 1790 N. Peck St. (SW corner Peck/Wasilla-Fishhook)
Lot A7, Township 17 North, Range 1 West, Sec. 3
Parcel size: 3.92 acres±
Zoning District: Rural Residential (RR)
Future Land Use: Mixed Use/Transitional
Surrounding Zoning: North: Rural Residential
South: Rural Residential
East: Outside City Limits
West: Rural Residential

II. STAFF RECOMMENDATION:

Staff recommends denial of this request.

III. SUMMARY OF REQUEST

Pursuant to WMC 16.33.050(A)(2), the Planning Commission may approve clearing vegetation from more than 70 percent of the lot area. The applicant is requesting approval to clear approximately 84% of the vegetation on Lot 4A, which is more than is allowed in WMC 16.33.050(A)(2).

The applicant originally submitted a land use permit (AA #15-27) that met the requirement to retain 30% vegetation on the site. After approval of the permit, the applicant subsequently submitted a revised site plan requesting approval to clear additional vegetation.

Since the original site plan showed sufficient room to preserve 30% of the vegetation, staff does not find any basis for the request and recommends denial of the waiver.

IV. APPLICABLE PROVISIONS:

WMC 16.33.050, Land Clearing Restrictions:

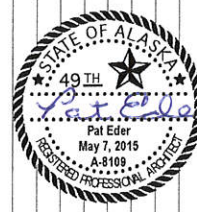
- A. No lot with an area equal to or greater than seven thousand two hundred (7,200) square feet may be cleared of native vegetation, except as permitted in this subsection.**
- 2. After the issuance of a permit for a use of a lot under this title, up to seventy (70) percent of the lot area may be cleared for development, with the clearing of any larger area being subject to prior commission approval.**

V. ISSUES REGARDING CODE

Staff reviewed this request for a waiver to the land clearing standards required in WMC 16.33.050(A)(2). Since, this section of the Code does not list specific criteria for the Planning Commission to consider, staff reviewed the request to determine whether it appeared to be consistent with the intent of the landscaping requirements in Title 16.

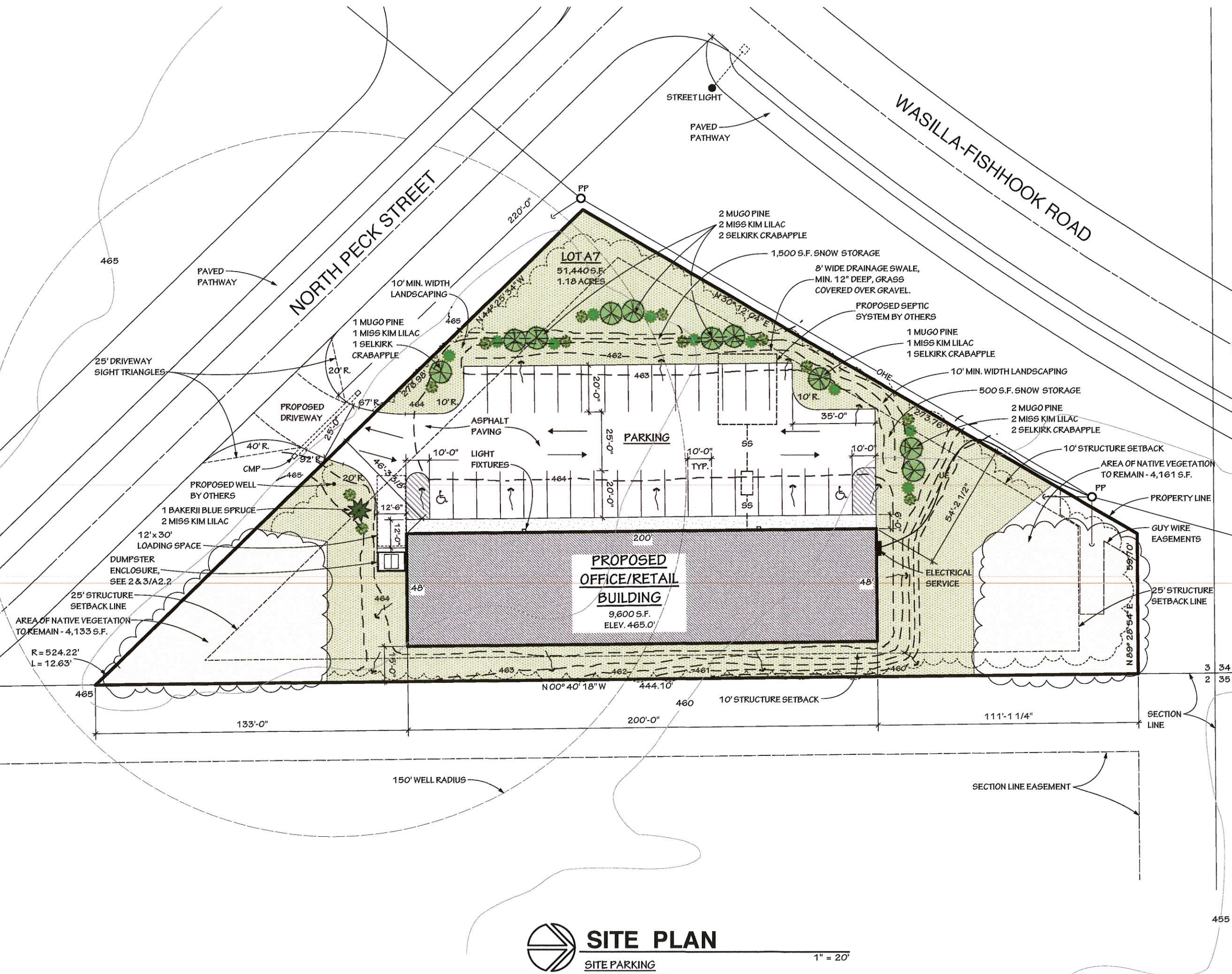
VI. CONCLUSION AND RECOMMENDATION

Based on the landscape plan and supporting information submitted by the applicant, along with the site plan from AA #15-27, staff has determined that the request is not consistent with the intent of the landscaping requirements in Title 16 and recommends that the Planning Commission deny the requested waiver to the land clearing requirements.



SITE LEGEND

- ← TRAFFIC DIRECTION ARROWS
- OHE— OVERHEAD ELECTRIC
- G— NATURAL GAS
- P— UNDERGROUND TELEPHONE
- UE— UNDERGROUND ELECTRIC
- W— WATER
- SS— SANITARY SEWER
- AREA OF GRASSED LAWN
- AREA OF LANDSCAPING w/ PLANT MATERIALS & MULCH.
- AREA OF NATIVE VEGETATION TO REMAIN UNDISTURBED
- |||| 4" WIDE PAINTED STRIPING ON ASPHALT
- CONCRETE WALKS
- ASPHALT PAVING
- DIRECTION OF DRAINAGE ARROWS
- EXISTING GRADE CONTOURS
- - - PROPOSED GRADE CONTOURS
- LIGHT POLE
- PP POWER POLE
- ☁ EXISTING TREE LINE TO REMAIN
- ☁ TREES TO BE REMOVED
- EXISTING BUILDINGS, TREES, AND DRIVEWAYS TO BE REMOVED.
- EASEMENT LINE. AS SHOWN ON THE SITE PLAN, EXCEPT FOR THE GUY EASEMENTS THERE ARE NO UTILITY OR OTHER EASEMENTS ON THE PROPERTY.



SITE PLAN
 1" = 20'
SITE PARKING
 32 PARKING SPACES
 INCLUDING 2 ACCESSIBLE SPACES, 2 VAN ACCESSIBLE

NOTE: FOR 11" x 17" SIZE PLANS, ALL SCALES SHOWN ARE TWICE THE ACTUAL SCALE.

PROJECT TITLE
MDS OFFICE / RETAIL BUILDING
 1790 N. PECK ST.
 WASILLA, ALASKA 99654

THE DESIGN COMPANY
 ARCHITECTURE & PLANNING

Box 520189
 Big Lake, AK 99652
 907 863-6022
 fax 892-7977
 design@mtaonline.net

DRAWN BY
 JPE

DATE
 MAY 7, 2015

REVISED

SHEET TITLE
 SITE PLAN

SHEET
A2.1



PROJECT TITLE
MDS OFFICE / RETAIL BUILDING
1790 N. PECK ST.
WASILLA, ALASKA 99654

THE
DESIGN
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PLANNING

Box 520189
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DRAWN BY
JPE

DATE
APRIL 13, 2015

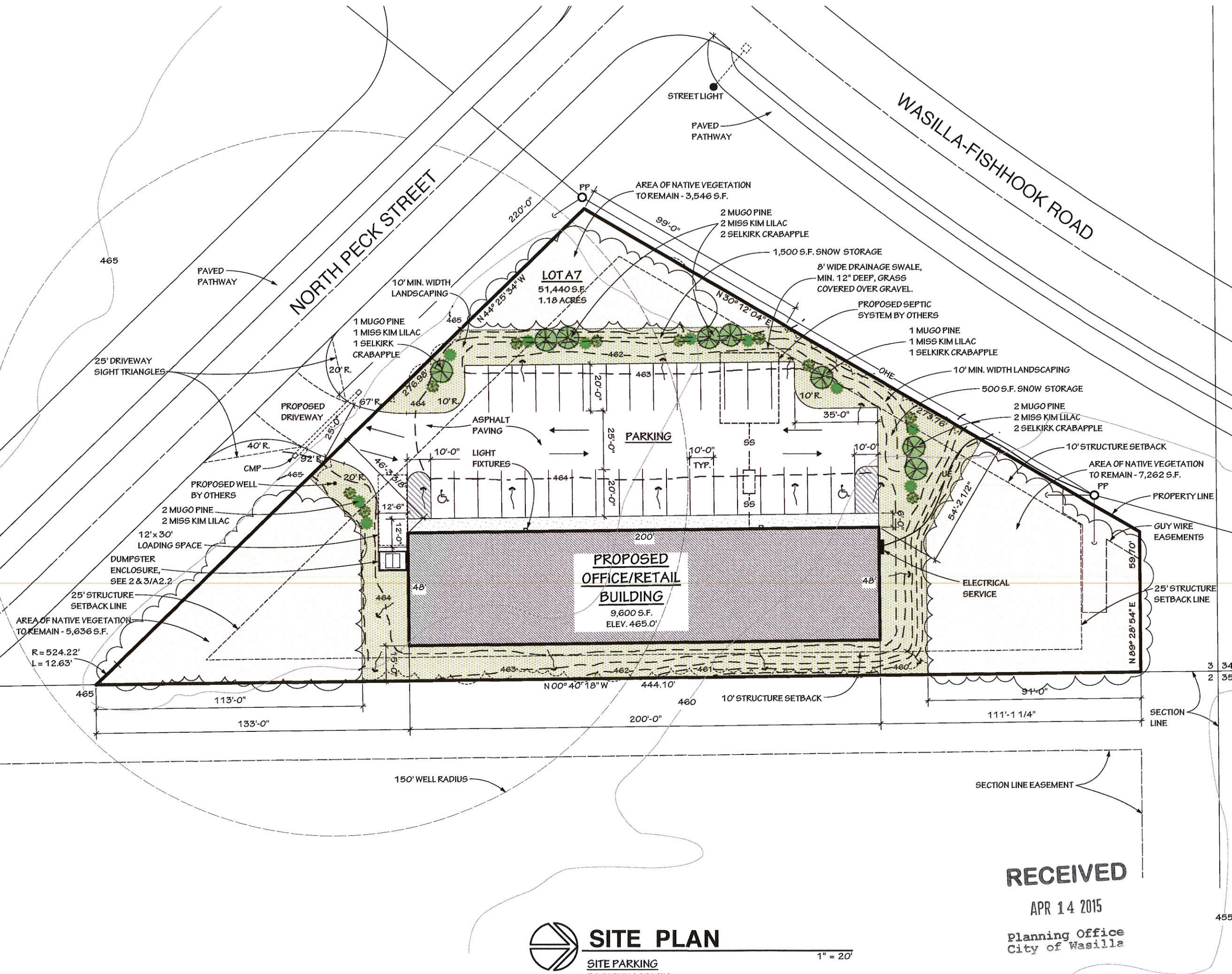
REVISED

SHEET TITLE
SITE PLAN

SHEET
A2.1

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SITE PLAN
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 10 of 80

RECEIVED
 APR 14 2015
 Planning Office
 City of Wasilla

NOTE: FOR 11" x 17" SIZE PLANS, ALL SCALES SHOWN ARE TWICE THE ACTUAL SCALE.



CITY OF WASILLA PLANNING OFFICE
 290 E. HERNING AVE.
 WASILLA, AK 99654-7091
 PHONE: (907) 373-9020
 FAX: (907) 373-9021

Date: 5-14-15
 TID # 17N01W03A057
 Case No. A 15 - 4844

USE PERMIT APPLICATION

Type of application (check all that apply) <input type="checkbox"/> Single Family Dwelling (SFD) <input type="checkbox"/> Garage/Shed <input type="checkbox"/> Addition to SFD <input type="checkbox"/> Accessory Use <input checked="" type="checkbox"/> Commercial under 10,000 sq. ft. <input type="checkbox"/> Other (please specify) _____	Property Owner: Mark Smith MDS Properties LLC
Project Name and Description <u>9,600</u> sq. ft. <u>MDS Offices/Retail Building</u> Construction of new, single story, wood frame offices and retail building with required parking and landscaping.	Applicant Name: Pat Eder, Architect Design Company
Subdivision Name: That Portion of Lot A7, Section 3 lying northeasterly of N. Peck St. and easterly of N. Wasilla Fishhook Road, T17N,R1W, S.M.	Mailing Address: <u>P.O. Box 520189</u> <u>Big Lake, AK 99652</u>
Street Address of project: <u>1790 N. Peck Street</u>	Phone: <u>907 863-6022</u>
Zoning Designation: <u>Rural Residential</u>	Fax #: <u>907 892-7977</u>
	Email: <u>design@mtaonline.net</u> <u>Mark@MDSak.com</u>

The following items must be shown on the Site Plan:

- All provisions of WMC 16.08.015 Site plan - As-built survey.

Applicant Certification:

I certify that the information contained in this application is true and correct to the best of my knowledge, and that I understand that any false statements made by me on this application, may be subject to revocation or denial of the Land Use Permit. I further certify that I am the property owner or that I have been designated by the property owner to act on their behalf. I understand that the City of Wasilla will not be held liable for any improvements made to this property if an appeal is filed or if other types of permits for this property are required by another agency. I further understand that no activity may be made to this property until a Land Use Permit is valid.

Signature of Applicant: Pat Eder **Date:** May 7, 2015

Signature of Owner: _____ **Date:** _____
 (If different then Applicant)

* All activity regulated or permitted under this title must comply with applicable borough, state & federal laws & regulations. (WMC 16.04.030)

Attach a written narrative addressing the following Criteria –

16.16.050

A. An administrative approval, use permit, elevated administrative approval, elevated use permit or conditional use may be granted if the following general approval criteria and any applicable specific approval criteria of Section 16.16.060 are complied with. The burden of proof is on the applicant to show that the proposed use meets these criteria and applicable specific criteria for approval. An approval shall include a written finding that the proposed use can occur consistent with the comprehensive plan, harmoniously with other activities allowed in the district and will not disrupt the character of the neighborhood. Such findings and conditions of approval shall be in writing and become part of the record and the case file.

1. Neighbors. Due deference has been given to the neighborhood plan or comments and recommendations from a neighborhood with an approved neighborhood plan.

2. Plans. The proposal is substantially consistent with the city comprehensive plan and other city adopted plans.

3. Special Uses. The proposal is substantially consistent with the specific approval criteria of Section 16.16.060.

4. Reviewing Parties. Due deference has been given to the comments and recommendations of reviewing parties.

5. Neighborhoods. Due deference has been given to the neighborhood plan or comments and recommendations from a neighborhood with an approved neighborhood plan.

6. Fire Safety and Emergency Access. The proposal shall not pose a fire danger as determined by the State Fire Marshal or the fire chief of the district in which the proposed use is located. Adequate access for emergency and police vehicles must be provided.

7. Traffic. The proposed use shall not overload the street system with traffic or result in unsafe streets or dangers to pedestrians.

8. Dimensional Standards. The dimensional requirements of Section 16.24.010 are met.

9. Parking. The parking, loading areas and snow storage sites for the proposal shall be adequate, safe and properly designed. The developer may be required to install acceptable lighting at pedestrian or vehicular access points.

10. Utilities. The proposed use shall be adequately served by water, sewer, electricity, on-site water or sewer systems and other utilities.

11. Drainage. The proposed use shall provide for the control of runoff during and after construction. All roads and parking areas shall be designed to alleviate runoff into public streets, adjoining lots and protect rivers, lakes and streams from pollution. Uses may be required to provide for the conservation of natural features such as drainage basins, watersheds, and land stability.

12. Large Developments. Residential development of more than four units or nonresidential development of more than ten thousand (10,000) square feet gross floor area may be required to provide a site plan showing measures to be taken for the preservation of open space, sensitive areas and other natural features; provision of common signage; provision for landscaping and provisions for safe and effective circulation of vehicles, pedestrians and bicycles. Nonresidential large developments must be located with frontage on one of the following classes of streets: interstate, minor arterial, major collector or commercial.

13. Peak Use. The proposed use shall not result in significantly different peak use characteristics than surrounding uses or other uses allowed in the district.

14. Off-Site Impacts. The proposal shall not significantly impact surrounding properties with excessive noise, fumes or odors, glare, smoke, light, vibration, dust, litter, or interference in any radio or television receivers off the premises, or cause significant line voltage fluctuation off the premises. Radio transmitters and any electronic communications equipment regulated by the Federal

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<p>Communications Commission is specifically excluded from regulation by this section. Welding, operation of electrical appliances or power tools, or similar activities that cause off-site impacts as described above are specifically regulated by this subsection. Buffering may be required to ameliorate impacts between residential and nonresidential uses. The owner of the property upon which the buffer is constructed is responsible for the maintenance of the buffer in a condition that will meet the intent of this criteria.</p>
<p>15. Landscaping. The proposed use shall be designed in a manner that minimizes the removal of trees and vegetative cover, and shall conform to the standards in this title concerning the provision and maintenance of landscaping, and any landscaping plan that is required for the proposed use under this title. The approval authority also may condition approval on the provision of the following:</p> <ol style="list-style-type: none"> a. A fenced storage area for common use, adequate to store boats, trailers, snowmobiles, recreational vehicles and similar items. b. Adequately sized, located and screened trash receptacles and areas.
<p>16. Walkways, Sidewalks and Bike Paths. Pedestrian walkways or bicycle paths may be required where necessary to provide reasonable circulation or access to schools, playgrounds, shopping areas, transportation or other community facilities. Improvements must be constructed to standards adopted by the engineer.</p>
<p>17. Water, Sewage and Drainage Systems. If a proposed use is within five hundred (500) feet of an existing, adequate public water system, the developer may be required to construct a distribution system and the connection to the public system. A developer may be required to increase the size of existing public water, sewer or drainage lines or to install a distribution system within the development. The commission may require any or all parts of such installation to be oversized. The developer must submit to the engineer an acceptable plan that shows that if within ten (10) years an increase in capacity will be required to serve other areas, how these needs will be met by oversized facilities. When installation of oversized facilities is required, the developer shall install such facilities at their own expense. The developer shall be reimbursed the amount determined by the engineer to be the difference in cost between the installed cost of the oversized utility lines and the installed cost of the utility lines adequate to serve both the development concerned and all other land to be served by the lines which is owned or under the control of the developer, provided the developer may not be required to install facilities unless funds for such oversizing have been appropriated for the purpose by the city and there is a sufficient unencumbered balance in the balance in the appropriation. No reimbursement may be made unless the developer has entered into such agreement with the city, including conveyances of personal property including lines, lift stations and valves and conveyances of land or rights in land, as the city determines may be necessary to ensure complete control by the city of its sewer, drainage and water lines when they are extended to serve the property of the developer. Notwithstanding the requirement that the developer construct improvements to existing systems, the commission may elect to accomplish the design or construction, or both, of improvements to be made to existing public systems. In such a case, the commission may require advance payment to the city of the estimated cost of work to be accomplished by the city. The developer shall reimburse the city for all expenses of such design or construction not paid in advance. A public system is adequate if, in the judgment of the engineer, it is feasible for the developer to make improvements to the public system which will provide the increased capacity necessary to serve the existing users and the new development at the same level as is being provided to the existing users. Prior to approval of a use for which a community water system is required, the developer must submit evidence showing that there is available a satisfactory source of water. A source of water is satisfactory only if it can be shown that the proposed source will produce water sufficient in quality and quantity to supply the development. The water system and the connection between such distribution systems and the</p>

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<p>source must be sized and constructed to meet fire flow and hydrant requirements for fire protection and that the developer has obtained or can obtain a water appropriation permit or certificate for the water from the state. The system must be built to city specifications available from the engineer.</p>
<p>18. Historic Resources. The proposed use shall not adversely impact any historic resource prior to the assessment of that resource by the city.</p>
<p>19. Appearance. The proposed use may be required to blend in with the general neighborhood appearance and architecture. Building spacing, setbacks, lot coverage, and height must be designed to provide adequate provisions for natural light and air.</p>
<p>20. Open Space and Facilities. The applicant may be required to dedicate land for open space drainage, utilities, access, parks or playgrounds. Any dedication required by the city must be based on a written finding that the area is necessary for public use or safety and the dedication is in compliance with adopted municipal plans and policy. The city finding shall conclude that a direct connection exists between the development and the need for the provision of the dedication. No land may be accepted by the city unless:</p> <ul style="list-style-type: none"> a. The location, shape, size and character of the area is suitable for the planned use; b. The uses authorized for an area are appropriate to the scale and character of the uses considering its size, density, expected population, topography, and the number and type of dwellings and uses to be conducted; c. The area must be suitably improved for its intended use, but common open space containing natural features worthy of preservation may be left unimproved; d. If the final development plan provides for buildings, landscaping or other improvements in the dedicated area, the developer must provide a bond or other adequate assurance that such improvements will be completed. The city shall release the bond or other assurance when the buildings, structures or improvements have been completed according to the development plan; e. All land must be conveyed under one of the following options: <ul style="list-style-type: none"> i. It may be conveyed to an agency that will agree to maintain in perpetuity the area and any buildings, structures, or improvements which have been placed on it. ii. When no maintenance of the area is required, it may be conveyed to all new owners in undivided joint ownership. iii. When the land is not dedicated to a public agency and maintenance of the common space is required, an association for maintenance of the area must be established. Covenants establishing the association must be approved as to form by the city attorney, and by the commission as to whether the covenants provide for maintenance of the area in a manner which assures its continuing use for its intended purpose. iv. Conveyance of an area must be consistent with AS 34.07 the Horizontal Property Regime Act.
<p>21. Winter Hassles. The proposed use shall not significantly increase the impact on the surrounding area from glaciation or drifting snow. (Ord. 06-47(AM) § 4, 2006; prior code § 16.43.508)</p>

*All activity regulated or permitted under this title must comply with applicable borough, state & federal laws & regulations (WMC 16.04.030)

*** All activity regulated or permitted under this title must comply with applicable borough, state & federal laws & regulations. (WMC 16.04.030)**

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MDS Offices and Retail

1790 N. Peck Street, Wasilla, AK 99654

May 7, 2015

16.16.050 General Approval Criteria.

1. **Neighbors.** This project will continue the existing rural residential zoned development pattern in the neighborhood. The only adjacent residential use in the area is to the north outside of the city limits. Other single and multi-family development is located to the south and west. Commercial and industrial businesses are located along Wasilla-Fishhook Road to the south and west including a church, the city shop, and a retail center.

2. **Plans.** The city's current land use map shows the area zoned rural residential. The current Comprehensive Plan's future land use map shows the area to be mixed use/ transitional. This project is consistent with current and future land use plans.

3. **Special Uses.** The proposed project occupancy includes none of the special uses listed under 16.16.060.



Existing property looking to the northeast from the intersection of Peck Street and Wasilla-Fishhook Road.

4. **Reviewing Parties.** The plans for this project will be submitted to the Central Mat-Su Fire Department for plan review, to the City of Wasilla for land use review for planning administrative approval, and DEC for approval of on-site water and waste water systems.
5. **Neighborhoods.** There is no current neighborhood plan. See criteria No. 1 **Neighbors** above.
6. **Fire Safety and Emergency Access.** This project will be reviewed and approved by the Central Mat-Su Fire Department before construction for emergency access requirements. All parts of the proposed building are within 150 feet of fire equipment access points as required by the International Fire Code.
7. **Traffic.** The traffic volume for this development will be less than 40 vehicles during the peak hour per Table B using the Medical Office Building factor. This factor is a mid-range for this development since there will be a mix of office and retail areas. The 40 vehicle trips per peak hour is well below the 100 trip threshold requiring a traffic analysis and will not overload the existing adjacent collector and arterial street system.
8. **Dimensional Standards.** Front and rear yard setbacks are twenty-five feet and side yard setbacks are ten feet or no setback. Commercial uses in the rural residential district are limited to 10,000 square feet of gross floor area. Height is limited to thirty-five feet. All dimensional standards and limitations are met as shown on the attached site plan and building elevations.
9. **Parking.** This project requires one parking space per 300 square feet of gross floor area under Commercial Uses per 16.24.040. This project contains 9,600 square feet of retail/office floor space requiring 32 parking spaces. 32 parking spaces are proposed. The 2010 ADA Standards for Accessible Design requires one accessible parking space per twenty-five total parking spaces through the first 100 parking spaces. Two accessible spaces will be provided. For each six or fraction of six accessible spaces at least one van accessible space is required and two will be provided. All parking and driveways will be asphalt paved. The driveways will be a minimum of twenty-five feet wide and the parking spaces will be ten feet wide by twenty feet long. A minimum of two flood lights for the parking area is required. Multiple area lights mounted on the building will be installed to illuminate the parking areas and driveways. Additional building mounted light fixtures will provide additional illumination near the building. All light fixture will be cut-off to prevent glare off the property. Snow storage areas of 2,000 square feet will be provided, exceeding the 800 square feet required. A 12' x 30' loading space is required and provided. The driveway onto Peck Street is lighted by an existing street light at the street intersection.
10. **Utilities.** This property is located more than 500 feet from the nearest existing City of Wasilla public water and sewer systems. On-site water and sewer systems will be engineered, installed, and approved by DEC. Electric, telephone, natural gas, and cable all

have service adjacent to the property and will be connected to the new building.



Southern tip of property looking north along Peck Street.

11. **Drainage.** The site drainage will flow across paved parking to grass lawn drainage swale areas. No drainage is directed toward the public streets.

12. **Large developments.** This development contains 9,600 sq. ft. and is less than the 10,000 sq. ft. threshold for large developments.

13. **Peak Use.** This proposed use is similar to the existing adjacent mixed uses and will not result in significantly different peak use characteristics than currently exist. As shown in criteria No. 7 **Traffic** above, the peak hour trip generation is 40 trips.

14. **Off-Site Impacts.** There will be no off-site impacts caused by this development. All activity except parking will be conducted inside the building. No buffering of adjacent property will be required. Trees will remain along the Wasilla-Fishhook Road and Peck

Street frontages to define, soften, and screen the appearance of the proposed building and off-street parking area.

15. Landscaping. This property has not been cleared and except for a small amount of clearing for an existing powerline is completely covered by native vegetation. The property is bordered by Wasilla-Fishhook Road to the northwest, Peck Street to the southwest, and section line easements to the north and east. The total property area is 51,440 square feet. Access is only allowed from North Peck Street and this will be the front of the property. This project requires a minimum of 5% or 2,572 sq. ft. of landscaped area containing 8 newly planted trees and 16 newly planted shrubs. The new required landscaped areas have been located to define, soften, and/or screen the appearance of the building and off-street parking areas.

There will be no alternative landscaping features, no shoreline protection areas, and no parkway landscaping involved or required on this project. There are no utility easements located on the property other than two guy wire easements at the north end of the property. Existing powerlines in the road right of way are kept cleared by the utility companies. This property is not adjacent to a residential use and is not required to have any six foot high screening or buffering on any lot line or any 3.5 foot high screening of a parking area. This project has more than nine parking spaces and is required to have perimeter parking landscaping consisting of a planting bed having a minimum width of ten feet. This perimeter parking lot landscaping is indicated on the attached site plan along with the grass seeded snow storage areas. There are less than forty parking spaces and landscaped islands are not required.

Clearing for this project will amount to 84 percent of the property. This project proposes that 16 percent of the site will be covered with native vegetation. Another 38 percent of the property will be covered by grass lawn ground cover and landscaped areas. As noted on the Site Details Sheet, top soil for seeded areas will be a minimum 4" deep after compaction.

All required sight triangles are shown on the site plan and are not obscured by the proposed landscaping. There will be no interference with any public utility, restriction of pedestrian or vehicular traffic, or obscuring of traffic control signs or devices by the proposed landscaping as is shown on the site plan.

The structure on this project is greater than 5,000 sq. ft. in area and a guaranty of required landscaping is to be furnished.

As required, a site plan showing landscaping and site details sheets are attached.

- a. No storage area for common use is required for this project.
- b. An enclosed dumpster is indicated on the attached site plan with details.

16. Walkways, Sidewalks, and Bike Paths. Existing asphalt pathways parallel the adjacent Wasilla-Fishhook Road frontage and on the other side of North Peck Street. Paved parking areas and concrete sidewalks will provide pedestrian circulation within the site.

17. Water, Sewage and Drainage Systems. This property is located more than 500 feet from the nearest existing City of Wasilla public water and sewer systems. On-site water and

sewer systems will be engineered, installed, and approved by DEC. There is no existing storm drainage system along Wasilla-Fishhook Road or North Peck Street.

18. **Historic Resources.** There are no historic resources on this property.

19. **Appearance.** The area is rural residential and the appearance and architecture of the neighborhood is not of one style or period. This project proposes a contemporary building design with a roof covering over the sidewalk and and rain gutters to collect the roof drainage. The building spacing, setbacks, lot coverage, and height meets both the City of Wasilla Land Development Code and the International Building Code for adequate natural light and air.

20. **Open Space and Facilities.** This is a private commercial development of small size. No public dedication for open space and facilities is anticipated.

21. **Winter Impacts.** The prevailing wind comes from the northeast. There will be minor snow drifting on the west and south sides of the proposed building. This anticipated snow drifting will stay on private property. This project will not cause any increase in the impact on the surrounding area from glaciation or drifting.



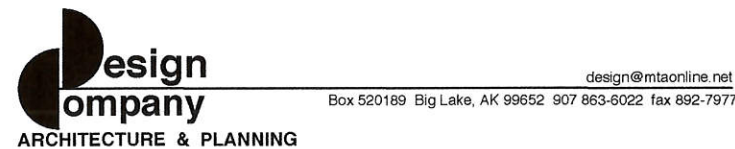
Pat Eder, Architect A-8109
Design Company
May 7, 2015

MDS OFFICE / RETAIL BUILDING

1790 N. PECK STREET
WASILLA, ALASKA 99654

LOT A007, SECTION 3
T17N, R1W, S.M.

ARCHITECT:



STRUCTURAL ENGINEER:



MECHANICAL & ELECTRICAL:

MDS MECHANICAL, INC.

901 S. HERMON ROAD
WASILLA, AK 99654
907 373-2637
Contractor's License 31885

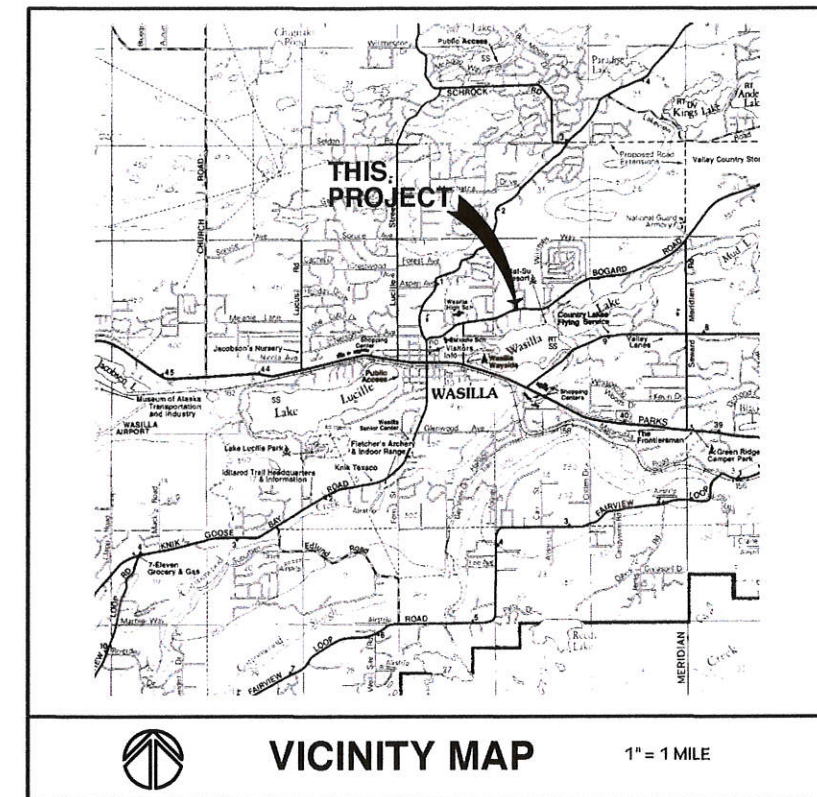
Mark Smith, Mechanical Administrator License 1084, Cell 907 315-5566
Jesse Stone, Electrical Administrator License 1941

CODE ANALYSIS

CODE:	2009 INTERNATIONAL BUILDING CODE w/ STATE OF ALASKA AMENDMENTS	
OCCUPANCY:	M MERCANTILE, B BUSINESS	
CONSTRUCTION TYPE:	VB	
AREA:	ALLOWABLE:	M 9,000 S.F. PER FLOOR + 5,130 S.F. FRONTAGE INCREASE = 14,130 S.F.
	PROPOSED:	M 9,600 S.F. 1ST FLOOR
	ALLOWABLE:	B 9,000 S.F. PER FLOOR + 5,130 S.F. FRONTAGE INCREASE = 14,130 S.F.
	PROPOSED:	B 9,600 S.F. 1ST FLOOR
	TOTAL PROPOSED FLOOR AREA 9,600 S.F. w/ 14,130 S.F. MAX.	
HEIGHT:	ALLOWABLE:	B 40' & TWO STORIES M 40' & ONE STORY
	PROPOSED:	B 20' & ONE STORY M 20' & ONE STORY
EXITING:	100 SF PER OCCUPANT FOR OFFICES. TWO EXITS REQUIRED OVERALL OR FOR ANY OFFICE AREA IN EXCESS OF 5,000 S.F. MULTIPLE EXITS PROVIDED.	
	30 SF PER OCCUPANT FOR MERCANTILE. TWO EXITS REQUIRED OVERALL OR FOR ANY MERCANTILE AREA IN EXCESS OF 1,500 S.F. MULTIPLE EXITS PROVIDED.	
LOCATION ON PROPERTY:	10' OR GREATER TO PROPERTY LINES OR CENTERLINES OF ADJACENT PUBLIC RIGHT-OF-WAYS ON ALL SIDES. NO EXTERIOR WALL OR OPENING PROTECTION REQUIRED. EAST SIDE LESS THAN 20'. 25% OF WALL AREA ALLOWED FOR UNPROTECTED OPENINGS. NO OPENINGS PROPOSED.	
INCIDENTAL USE AREAS:	NO EQUIPMENT OVER 400,000 BTUH INPUT RATING. NO SEPARATION REQUIRED.	
VENTILATION:	REQUIRED NATURAL VENTILATION OF 4% OF FLOOR AREA PROVIDED BY OPERABLE DOORS & WINDOWS OR MECH. VENTILATION SYSTEM PER IMC. EXHAUST FAN FOR EACH BATHROOM.	
FIRE SPRINKLER SYSTEM:	FIRE SPRINKLER SYSTEM NOT REQUIRED.	
FIRE ALARM SYSTEM:	FIRE ALARM SYSTEM NOT REQUIRED.	

ZONING ANALYSIS

CODE:	CITY OF WASILLA LAND USE REGULATIONS	
DISTRICT:	RR, RURAL RESIDENTIAL	
USE:	RETAIL, OFFICE	
DENSITY:	NO RESTRICTIONS	
SETBACKS:	REQUIRED	PROPOSED
	FRONT: 25'	46'
	SIDE: 10'	111' & 133'
	REAR: 25'	15'
BUILDING HEIGHT:	35' OR AS APPROVED BY THE PLANNING COMMISSION. 20' PROPOSED	
LOT AREA:	51,440 S.F., 1.18 ACRES	
PARKING:	REQUIRED:	1 PARKING SPACE FOR EVERY 300 S.F. OF COMMERCIAL GFA. TOTAL BUILDING AREA 9,600 + 300 = 32 PARKING SPACES. 32 TOTAL PARKING SPACES REQUIRED. 1 - 12' x 30' LOADING SPACE REQUIRED.
ADA REQUIRED:	ONE ACCESSIBLE PARKING SPACE PER EACH 25 TOTAL SPACES. 32 TOTAL SPACES = 2 ACCESSIBLE PARKING SPACE REQUIRED. WITH AT LEAST ONE VAN ACCESSIBLE SPACE REQUIRED.	
PROPOSED:	32 TOTAL SPACES w/ 2 VAN ACCESSIBLE SPACES, 1 LOADING SPACE.	



INDEX OF DRAWINGS

SHEET A1.1	TITLE SHEET, VICINITY MAP
SHEET A2.1	SITE PLAN
SHEET A2.2	SITE DETAILS
SHEET A2.3	SITE SPECIFICATIONS
SHEET A3.1	FLOOR PLAN
SHEET A4.1	ELEVATIONS

AMERICANS WITH DISABILITIES ACT

PARKING:	ONE ACCESSIBLE PARKING SPACE PER EVERY 25 SPACES WITH AT LEAST ONE VAN ACCESSIBLE SPACE
ACCESSIBLE ROUTE:	AT LEAST ONE ACCESSIBLE ROUTE FROM PARKING TO BUILDING ENTRANCE.
ACCESSIBLE EXITS:	ALL REQUIRED EXITS TO BE ACCESSIBLE.
ACCESSIBLE FACILITIES:	ACCESSIBLE RESTROOM FACILITIES.

NOTE: FOR 11" x 17" SIZE PLANS, ALL SCALES SHOWN ARE TWICE THE ACTUAL SCALE.



PROJECT TITLE
MDS OFFICE / RETAIL BUILDING
1790 N. PECK ST.
WASILLA, ALASKA 99654

THE
DESIGN COMPANY
ARCHITECTURE & PLANNING
Box 520189
Big Lake, AK 99652
907 863-6022
fax 892-7977
design@mtaonline.net

DRAWN BY
JPE
DATE
MAY 7, 2015
REVISED

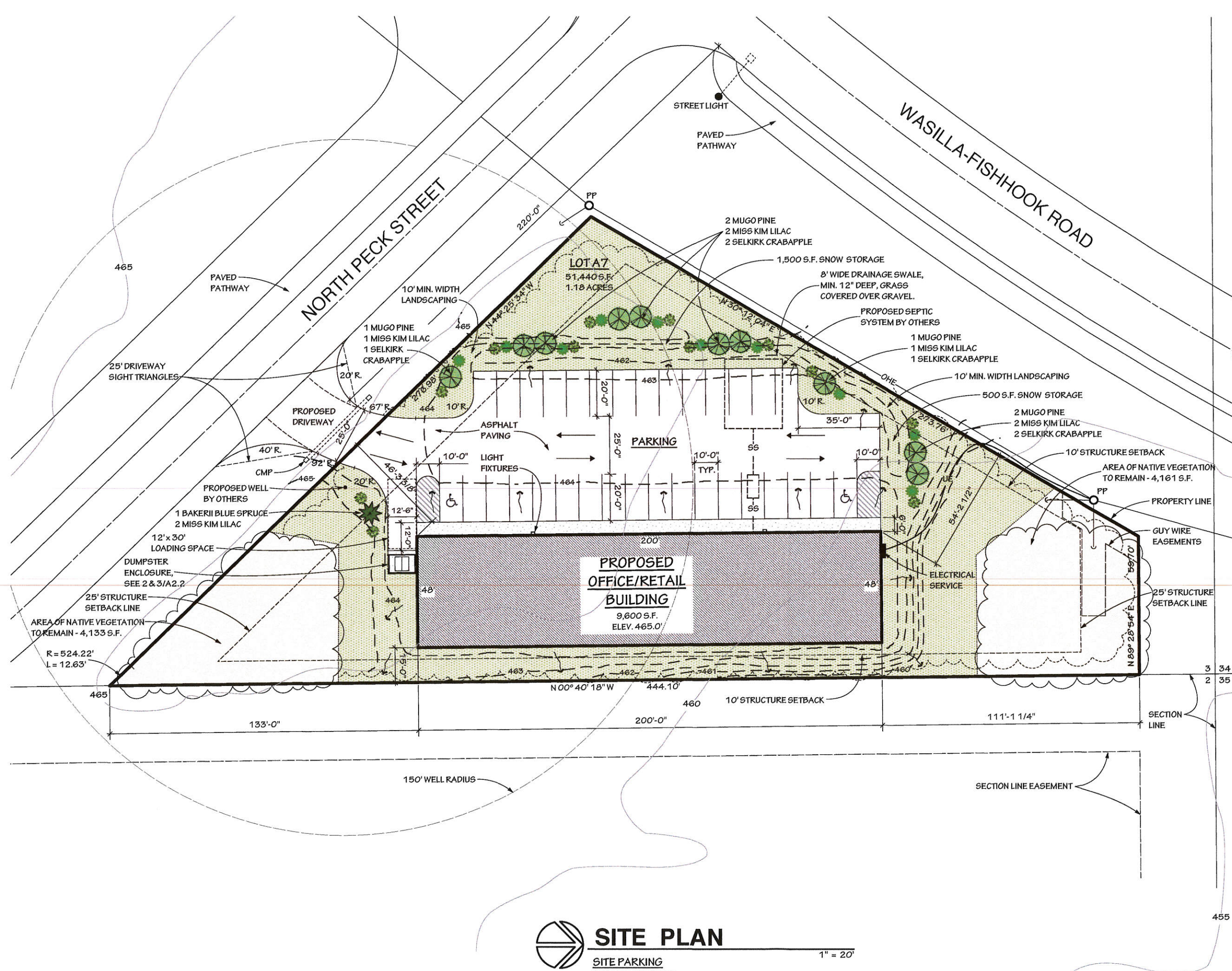
SHEET TITLE
TITLE SHEET
VICINITY MAP

SHEET
A1.1



SITE LEGEND

- ← TRAFFIC DIRECTION ARROWS
- OHE— OVERHEAD ELECTRIC
- G— NATURAL GAS
- P— UNDERGROUND TELEPHONE
- UE— UNDERGROUND ELECTRIC
- W— WATER
- SS— SANITARY SEWER
- AREA OF GRASSED LAWN
- AREA OF LANDSCAPING w/ PLANT MATERIALS & MULCH.
- AREA OF NATIVE VEGETATION TO REMAIN UNDISTURBED
- 4" WIDE PAINTED STRIPING ON ASPHALT
- CONCRETE WALKS
- ASPHALT PAVING
- DIRECTION OF DRAINAGE ARROWS
- EXISTING GRADE CONTOURS
- PROPOSED GRADE CONTOURS
- LIGHT POLE
- POWER POLE
- EXISTING TREE LINE TO REMAIN
- TREES TO BE REMOVED
- EXISTING BUILDINGS, TREES, AND DRIVEWAYS TO BE REMOVED.
- EASEMENT LINE. AS SHOWN ON THE SITE PLAN, EXCEPT FOR THE GUY EASEMENTS THERE ARE NO UTILITY OR OTHER EASEMENTS ON THE PROPERTY.



SITE PLAN
 1" = 20'
SITE PARKING
 32 PARKING SPACES
 INCLUDING 2 ACCESSIBLE SPACES, 2 VAN ACCESSIBLE
 22 of 80

NOTE: FOR 11" x 17" SIZE PLANS, ALL SCALES SHOWN ARE TWICE THE ACTUAL SCALE.

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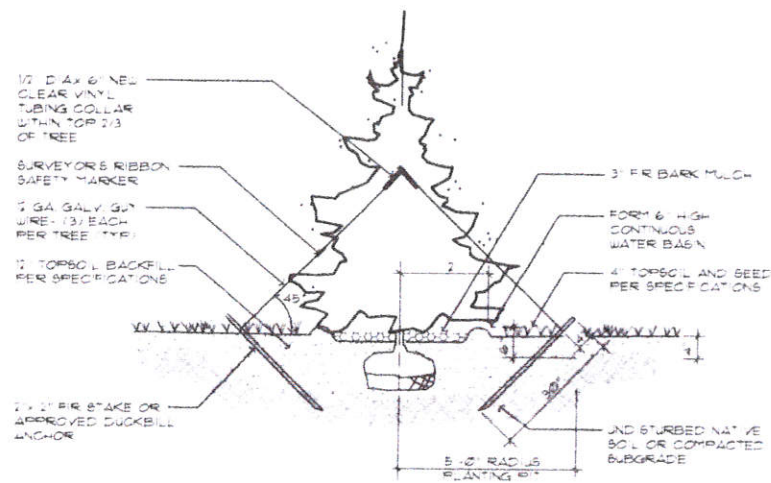
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 JPE

DATE
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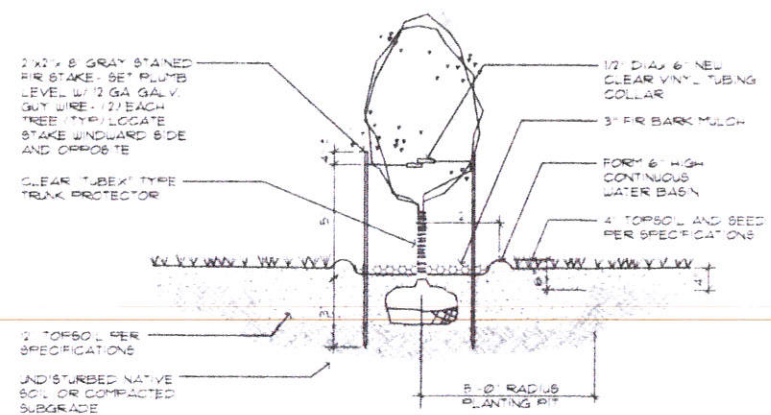
REVISED

SHEET TITLE
 SITE PLAN

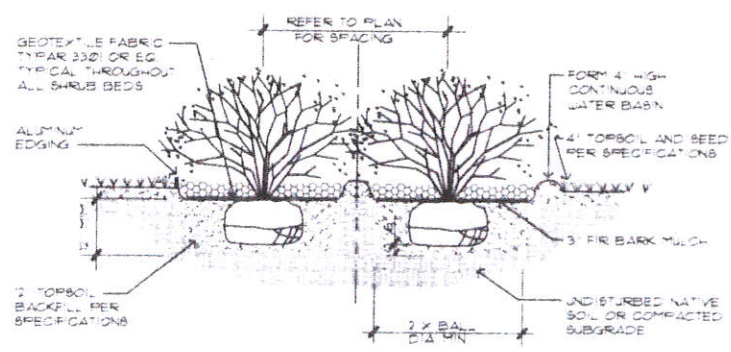
SHEET
A2.1



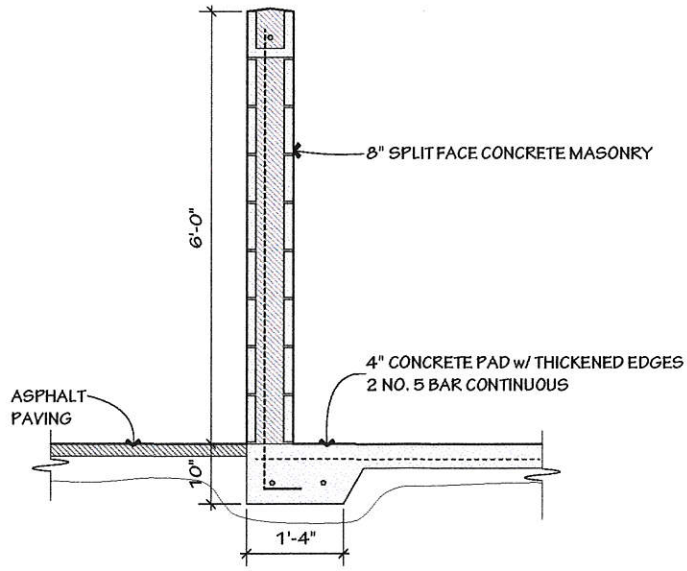
CONIFEROUS TREE PLANTING



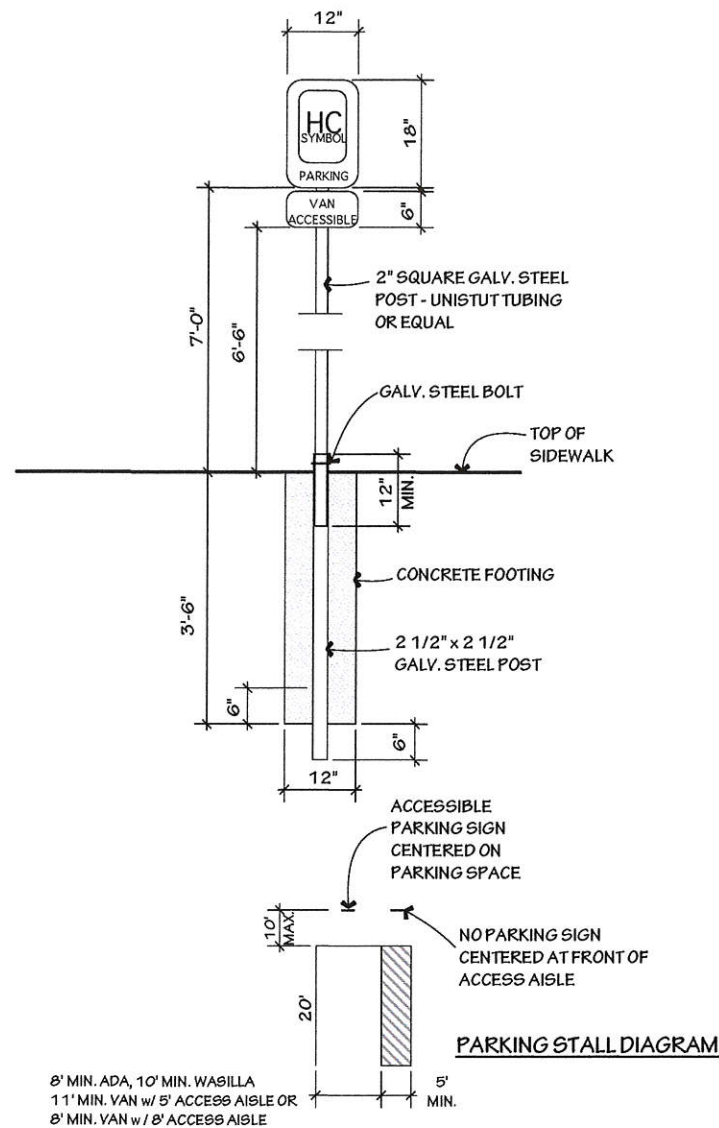
DECIDUOUS TREE PLANTING



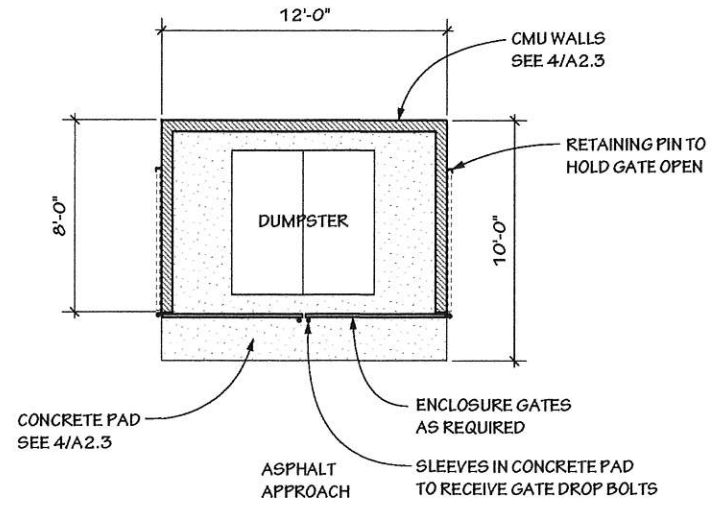
SHRUB PLANTING



3 DUMPSTER ENCLOSURE SECTION
3/4" = 1'-0"



1 ACCESSIBLE SIGN DETAIL
NOTE: POST INSTALLATION USED ONLY WHEN NOT PRACTICAL TO MOUNT SIGN ON BUILDING.
3/4" = 1'-0"



2 DUMPSTER ENCLOSURE
1/4" = 1'-0"

NOTE: FOR 11" x 17" SIZE PLANS, ALL SCALES SHOWN ARE TWICE THE ACTUAL SCALE.



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SHEET TITLE
SITE DETAILS



SHEET
A2.2

PLANT MATERIALS LIST




DECIDUOUS SHRUBS

			SIZE AT PLANTING
	0 ABBOTTWOOD POTENTILLA	POTENTILLA FRUITICOSA	24" HIGH
	0 HENRY HUDSON ROSE	ROSA RUGOSA 'HENRY HUDSON'	24" HIGH
	0 RUGOSA ROSE	ROSA RUGOSA 'TERESA BUGNET'	24" HIGH
	0 RED LEAF ROSE	ROSA RUBIFOLIA	24" HIGH
	0 COMMON LILAC	SYRINGA VULGARIS	36" HIGH
	0 CANADIAN LILAC	SYRINGA PRESTONIAE	36" HIGH
	12 MISS KIM LILAC	SYRINGA PATULA 'MISS KIM'	24" HIGH
	0 DWARF KOREAN LILAC	SYRINGA MEYERI	24" HIGH
	0 SIBERIAN PEA SHRUB	CARAGANA ARBORESCENS	24" HIGH
	0 PEKING COTONEASTER	COTONEASTER ACUTIFOLIA	24" HIGH
	0 RED TWIGGED DOGWOOD	CORNUS STOLONIFERA	24" HIGH
	0 VARIEGATED DOGWOOD	CORNUS STOLONIFERA	24" HIGH
	0 GOLDFLAME SPIREA	SPIREA BUMALDA	24" HIGH


EVERGREEN SHRUBS

	10 MUGO PINE	PINUS MUGO	24" HIGH
	0 DWARF MUGO PINE	PINUS MUGO PUMILIO	24" HIGH
	0 BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS	24" SPREAD
	22 SHRUBS TOTAL		

DECIDUOUS TREES

			SIZE AT PLANTING
	0 WHITE PAPER BIRCH	BETULA Papyrifera	EXISTING MATURE TREES
	0 WEEPING BIRCH	BETULA PENDULA GRACILIS	8' HIGH 1" CALIPER
	0 CANADA RED CHERRY	PRUNUS VIRGINIANA 'SHUBERT'	8' HIGH 1" CALIPER
	0 SHOWY MOUNTAIN ASH	SORBUS DECORA	8' HIGH 1" CALIPER
	0 AMUR CHOKECHERRY	PRUNUS MAACKII	8' HIGH 1" CALIPER
	5 DOLGO CRABAPPLE	MALUS DOLGO	8' HIGH 1" CALIPER
	5 SELKIRK CRABAPPLE	MALUS SELKIRK	8' HIGH 1" CALIPER
	0 SIBERIAN LARCH	LATRIX SIBERICA	8' HIGH 1" CALIPER

EVERGREEN TREES

	0 COLORADO BLUE SPRUCE	PICEA PUNGENS GLAUCA	8' HIGH 3' SPREAD
	0 WHITE SPRUCE	PICEA GLAUCA	EXISTING MATURE TREES
	1 BAKERII BLUE SPRUCE	PICEA PUNGENS GLAUCA BAKERI	8' HIGH 3' SPREAD

11 NEW TREES TOTAL

LAWNS

ALASKA HARDY LAWN SEED MIX (OR APPROVED SIMILAR MIX)
 24.76% NUGGET KENTUCKY BLUEGRASS
 19.68% BOREAL RED FESCUE
 19.37% ARCTARED FESCUE
 10.80% MERION KENTUCKY BLUEGRASS
 1.53% INERT MATTER

MINIMUM 4" DEPTH OF COMPACTED TOPSOIL.
 4 LBS. GRASS SEED PER 1,000 S.F.

SITE NOTES

- TOTAL PROPERTY AREA. 51,440 S.F. x 5% = 2,572 S.F. OF REQUIRED LANDSCAPING AREA
 6 TREES & 12 SHRUBS REQUIRED PER ACRE OF AREA, 51,440 S.F. + 43,560 S.F. = 1.18 ACRES
 8 NEW TREES AND 16 NEW SHRUBS REQUIRED TO BE PLANTED.
- AREA OF UNDISTURBED NATIVE VEGETATION: 51,440 S.F. = 100% OF TOTAL LOT AREA.
- AREA TO BE CLEARED, FILLED, AND REGRADED PLUS AREAS PREVIOUSLY CLEARED:
 34,996 S.F. = 84% OF TOTAL LOT AREA.
- AREA TO REMAIN UNDISTURBED: 8,294 S.F. = 16% OF TOTAL LOT AREA.
- LANDSCAPED AREAS TO BE COVERED WITH NATIVE VEGETATION, GRASS LAWN, TREES, AND SHRUBS.
 27,640 S.F. = 54% OF TOTAL LOT AREA. (INCLUDES 8,924 S.F. OF NATIVE VEGETATION)
- AREA OF NEW ASPHALT PAVING, BUILDINGS, AND CONCRETE WALKS AND PADS: 23,800 S.F.
- PROPOSED PLANT MATERIALS - 11 NEW TREES AND 22 NEW SHRUBS.
- PARKING. REQUIRED 1 SPACE PER 300 S.F. OF FLOOR AREA. 9,600 S.F. + 300 = 32 SPACES
- SNOW STORAGE. REQUIRED: 32 PARKING SPACES x 25 S.F. = 800 S.F.
 PROPOSED AREA OF SNOW STORAGE. 2,000 S.F.
- PARKING LIGHTING. REQUIRED: 1 FLOOD LIGHT PER 25 PARKING SPACES 32 + 25 = 2 LIGHT
 PROPOSED LIGHTING IS 2 AREA LIGHTS ON BUILDING.



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THE
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DRAWN BY
 JPE

DATE
 MAY 7, 2015

REVISED

SHEET TITLE
 SITE SPECIFICATIONS

SHEET

A2.3

SECTION 02900 - LANDSCAPING

A. Provide trees, shrubs, plants and grasses of quantity, size genus, species and variety shown and schedules on drawings for landscape work and complying with recommendations and requirements of ANSI Z60-1 "American Standard for Nursery Stock." Provide healthy, vigorous stock, grown in recognized nursery in accordance with good horticultural practice and free of disease, insects, eggs, larvae, and defects such as knots, sun-scald, injuries, abrasions, or dieback.

B. Label at least one tree and one shrub of each variety with a securely attached waterproof tag bearing legible designation of botanical and common name.

C. Shrubs and trees are to be planted and maintained per details on the plans, Sheet A2.2.

D. Lawns are to be established and maintained as follows:

1. Perform seeding operations between May 15, and August 15.

2. Application rates of fertilizer and limestone per 1,000 square feet shall be determined by a soil analysis tests. The total natural and applied chemical constituents per 1,000 square feet shall be as follows:

Nitrogen 1.0 lb. min., 1.5 lb. max.
 Phosphoric Acid 1.0 lb. min., 2.0 lb. max.
 Potassium 1.0 lb. min., 2.0 lb. max.
 Limestone As require to provide a soil pH of from
 6 to 7 in the upper 4"

3. Apply fertilizer and limestone with suitable mechanical spreading equipment and incorporate in soil to a minimum depth of two inches. Compact and rake as required. Operate compacting equipment at right angles to slope.

4. After applying fertilizer, limestone and preparing seeding surface, lightly, scarify ground by raking immediately before seed is applied. Apply seed with hand operated broadcaster or with any suitable approved sowing equipment. Obtain uniform distribution. Make two equal application in directions at right angles to each other to obtain total application rate specified. After seeding, roll lightly.

5. Protect seeded areas against traffic with signs and barricades. Water as required for proper germination and growth. Do not allow watering to wash seed or to erode the surface. Repair bare or damaged areas by reworking and/or adding topsoil, grading, rolling, seeding, etc., as necessary.

6. Mow lawns as soon as grass is from 2" to 3" high. Do not mow lawns when grass is lower than 2" high. Do not delay mowing until grass blades bend over and become matted. Do not mow lawns when grass is wet. Remove grass clippings.

E. Landscaping is to be maintained by the owner for the life of the site plan approval by the Municipality of Anchorage.

1. All dead or damaged planting materials shall be replaced in-kind in a timely manner.

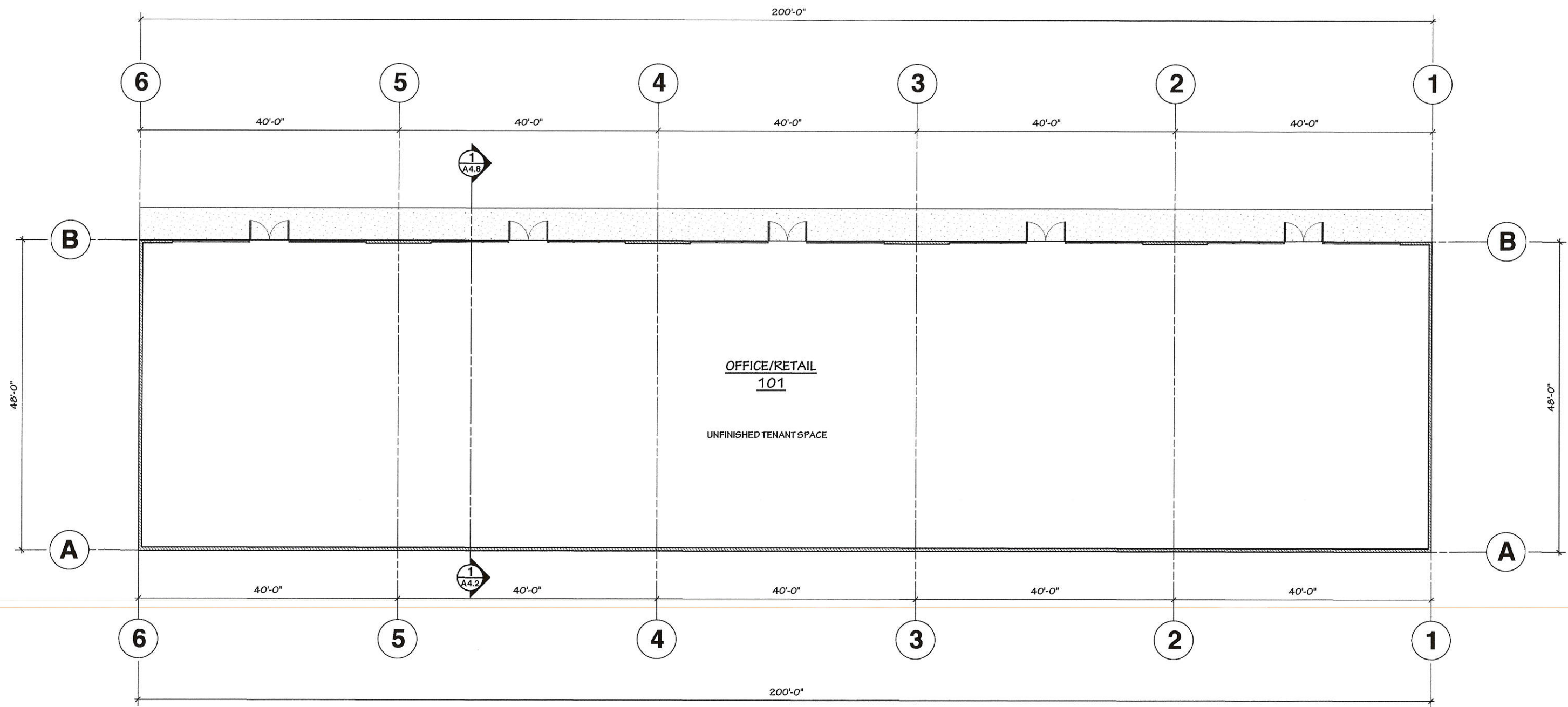
2. All landscaping will be routinely maintained on a weekly basis during the growing season.

3. Irrigation of all landscaping will be provided as required to maintain healthy lawns and plant materials.

4. Lawns will be mown when they reach 3" to 6" high. Grass to be mulched back into lawns.

5. All landscaping shall be fertilized at the beginning of and during the growing season with applicable fertilizer for each plant material type.

6. All trees, shrubs, and flowers will be pruned, trimmed, and sprayed to promote healthy growth, free of disease and infestations.



FLOOR PLAN
9,600 S.F.

1/8" = 1'-0"

WALL LEGEND

- 3 5/8" METAL STUD WALLS OR 2 x 4 FRAME WALLS
- 2 x 6 FRAME WALLS
- 2 x 8 FRAME WALL
- CMU WALLS
- BEAMS & HEADERS
- CONCRETE SLABS & FOOTINGS
- ITEMS ABOVE OR HIDDEN BELOW AND REQUIRED CLEARANCE AREAS
- FIRE EXTINGUISHER, 2A-10BC, 5 LBS. CAPACITY CABINET

PROJECT TITLE
MDS OFFICE / RETAIL BUILDING
1790 N. PECK ST.
WASILLA, ALASKA 99654

THE DESIGN COMPANY
ARCHITECTURE & PLANNING

Box 520189
Big Lake, AK 99652
907 863-6022
fax 892-7977
design@mtaonline.net

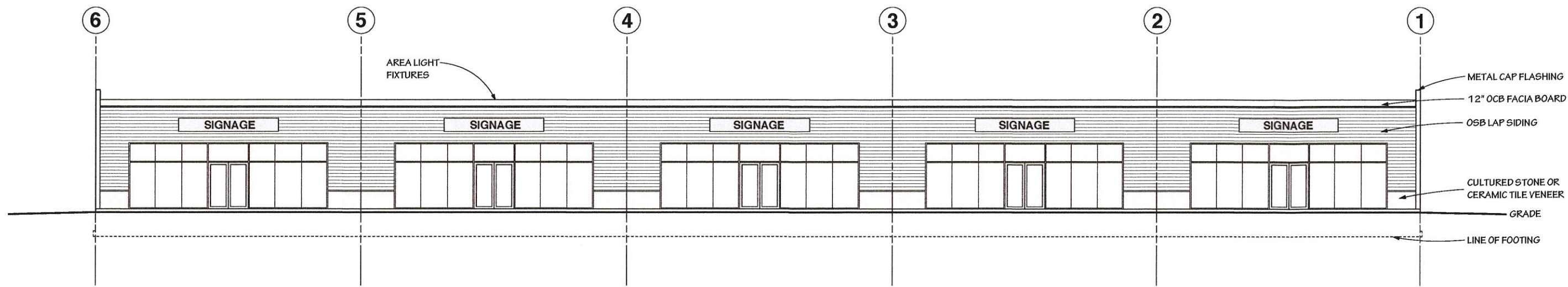
DRAWN BY
JPE

DATE
MAY 7, 2015

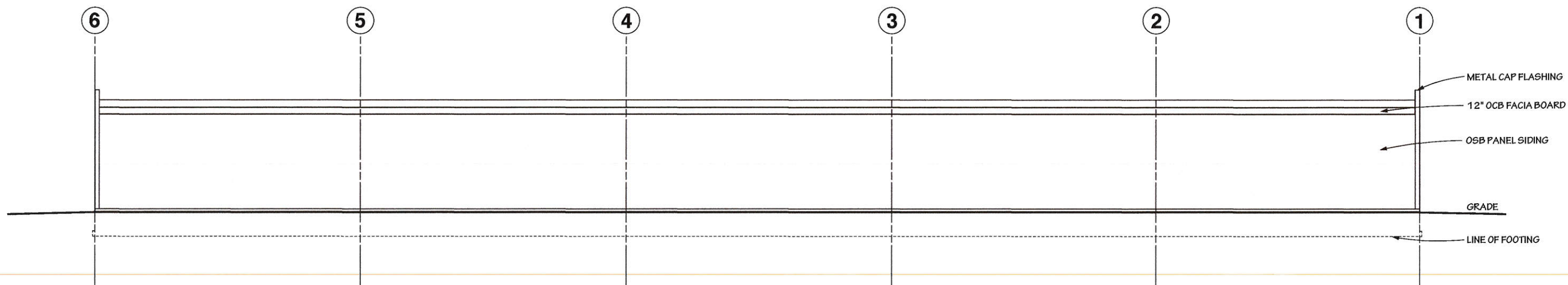
REVISED

SHEET TITLE
FLOOR PLAN

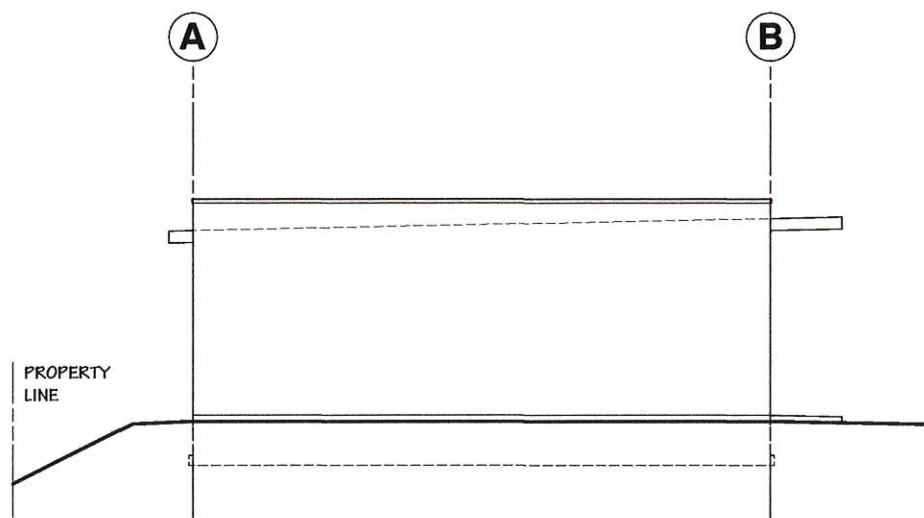
SHEET
A3.1



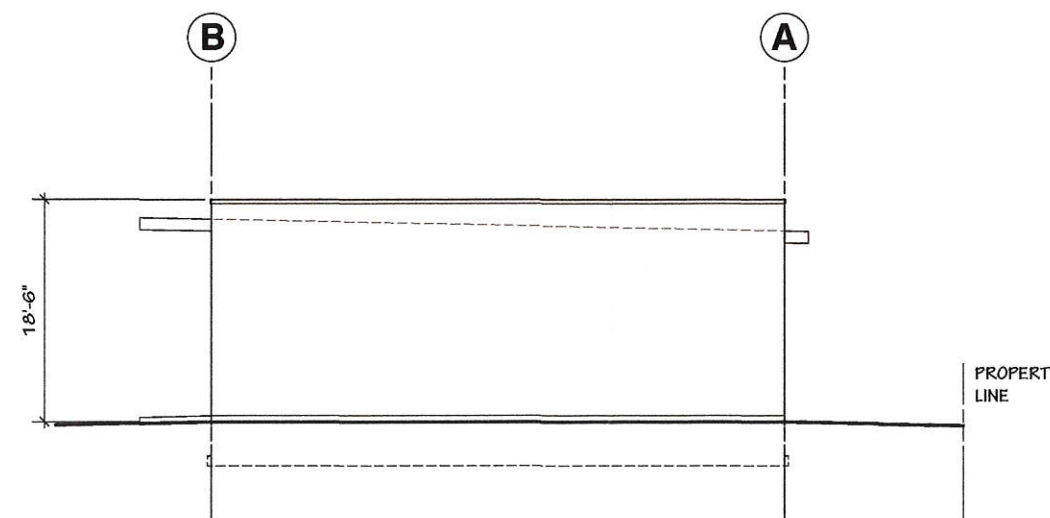
1 WEST ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"

PROJECT TITLE
MDS OFFICE / RETAIL BUILDING
1790 N. PECK ST.
WASILLA, ALASKA 99654

THE
DESIGN
COMPANY
ARCHITECTURE &
PLANNING
Box 520189
Big Lake, AK 99652
907 863-6022
fax 892-7977
design@mtaonline.net

DRAWN BY
JPE
DATE
MAY 7, 2015
REVISED

SHEET TITLE
ELEVATIONS

SHEET
A4.1

By: Planning
Public Hearing: 06/09/15
Adopted:

**WASILLA PLANNING COMMISSION
RESOLUTION SERIAL NO. 15-09**

A RESOLUTION OF THE WASILLA PLANNING COMMISSION APPROVING 84 PERCENT OF LOT A7, TOWNSHIP 17 NORTH, RANGE 1 WEST, SECTION 3, TO REMAIN CLEARED OF VEGETATION, PER WMC 16.33.050(A)(2).

WHEREAS, Pat Eder, Architect, Design Company, Agent for Mark Smith, MDS Properties LLC, submitted a request for a waiver/modification on May 14, 2015, along with a site plan showing the vegetated areas of the parcel (existing and proposed); and

WHEREAS, a notice of the Planning Commission public hearing was published in the Frontiersman on June 2, 2015; and

WHEREAS, the Wasilla Planning Commission conducted a public hearing taking into account the information submitted by the applicant, the information contained in the staff report, written and verbal testimony, the applicable provisions of the Wasilla Municipal Code and Comprehensive Plan, and other pertinent information brought before them; and

NOW THEREFORE BE IT RESOLVED, that the Wasilla Planning Commission, after due consideration of the information submitted by the applicant, the information contained in the staff report, written and verbal testimony, the applicable provisions of the Wasilla Municipal Code and Comprehensive Plan, and other pertinent information brought before them, grants a waiver.

ADOPTED by the Wasilla Planning Commission on -, 2015.

APPROVED:

Glenda Ledford, Chairman

ATTEST:

Tina Crawford, AICP, City Planner




SITE PLAN
 1" = 20'

SITE PARKING
 INCLUDING ACCESSIBLE SPACES, 2 VAN ACCESSIBLE

NOTE: FOR 11' x 17'-SIZE PLANS, ALL SCALES SHOWN ARE TWICE THE ACTUAL SCALE

SITE LEGEND

- ▲— TRAFFIC DIRECTION ARROWS
- OH— OVERHEAD ELECTRIC
- O— NATURAL GAS
- P— UNDERGROUND TELEPHONE
- JE— UNDERGROUND ELECTRIC
- W— WATER
- SS— SANITARY SEWER
- A— AREA OF GRADED LAND
- L— AREA OF LANDSCAPING w/ PLANT MATERIALS MATCH
- A— AREA OF NATIVE VEGETATION w/ 10' MIN. BUFFER STRIPS
- S— SWAMPY SOILS
- P— PROPOSED GRADE CONTOURS
- D— DIRECTION OF GRAVAGE
- C— CONCRETE WALKS
- A— ASPHALT PAVING
- L— LIGHT POLE
- P— POWER POLE
- T— TREES TO BE REMOVED
- X— EXISTING BUILDINGS, TREES, AND STRUCTURES TO BE DEMOLISHED
- E— EASEMENT LINE
- P— PERMITS TO BE OBTAINED
- S— SETBACK LINE
- T— TOWER
- L— LOT LINE
- P— PROPERTY LINE
- A— AREA OF NATIVE VEGETATION w/ 10' MIN. BUFFER STRIPS
- S— SWAMPY SOILS
- P— PROPOSED GRADE CONTOURS
- D— DIRECTION OF GRAVAGE
- C— CONCRETE WALKS
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- S— SETBACK LINE
- T— TOWER
- L— LOT LINE
- P— PROPERTY LINE

THE DESIGN COMPANY
 ARCHITECTURE & LANDSCAPE ARCHITECTURE
 1750 N. PECK ST., SUITE 100
 WASILLA, ALASKA 99654
 (907) 938-2977
 design@thedesigndesign.com

PROJECT TITLE
MDS OFFICE / RETAIL BUILDING
 1750 N. PECK ST.
 WASILLA, ALASKA 99654

SHEET TITLE
A2.1

DRAWN BY: JTE
 DATE: MAY 7, 2015
 REVISED:

SHEET NO. 1
 TOTAL SHEETS 2



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STAFF REPORT
Prepared by:
For the meeting of:

Case # V15-01
Planning Staff
June 9, 2015

I. SUMMARY FACTS:

Applicant: Denali North

Land Owner(s): William Starn

Proposal: Variance of 19.5 feet from the required 25-foot front yard setback and a variance of 45 feet from the required 75-foot shoreline setback in order to construct a single-family dwelling.

Location: 1245 E. Westpoint Drive
Tract 1, Parcel 3, Township 17 North, Range 1 West, Sec. 11

Parcel size: 0.36 acres ±

Zoning District: Residential Multifamily (RM)

Comprehensive Plan: Mixed Use/Transitional

Surrounding Zoning: North: Residential Multifamily
South: Residential Multifamily
East: Residential Multifamily
West: Residential Multifamily

II. STAFF RECOMMENDATION:

Staff recommends approval of this request with conditions.

III. SUMMARY OF REQUEST

WMC 16.28.110 provides for variances to density, setback, or height standards of this chapter.

The applicant applied for a variance of 19.5 feet from the required 25-foot front yard setback and a variance of 45 feet from the required 75-foot shoreline setback in order to construct a single-family dwelling.

WMC 16.24.030(A)(1) requires:

A. Setbacks are measured from the outermost portion of the building to the nearest lot line or building as appropriate. Temporary buildings may be permitted within the side or rear yard area as administrative approval by the city planner. Where other setback standards are applicable, the most restrictive setback standards apply. The following are the building setback and height standards:

1. Front and rear yard setbacks are twenty-five (25) feet from the lot line. In the commercial district, the city planner may modify the front and rear setbacks by averaging the existing building line and applying this average setback to the building.

WMC 16.24.030(C)(3) requires:

C. Exceptions for setback requirements are as follows:

3. No building or footing may be located closer than seventy-five (75) feet from the high-water mark of a water course or body of water; provided, docks, piers, marinas and boathouses may be located closer than seventy-five (75) feet if they are located primarily over water, not used for habitation, and do not contain sanitary facilities...

IV. ISSUES REGARDING CODE

Wasilla Municipal Code sets forth the requirements for variance approvals in §16.28.110. The procedural requirements and variance standards are identified below with appropriate staff findings for each:

§16.28.110(A) Application.

An application for a variance must be submitted to the planner. The application must be accompanied by a site plan of the relevant part of the parcel or lot. The planner may require that the site plan be produced by a registered professional engineer or land surveyor. The site plan shall depict all information relevant to the variance request.

Staff Finding: A complete application was submitted to the Planning Department on May 12, 2015.

§16.28.110(B) Variance requests must be heard by the commission. Notice, comment period and hearing procedures follow the format outlined in WMC16.16.040.

Staff Finding: The public hearing was scheduled in a timely manner for the next available Planning Commission meeting and the hearing format is consistent with the requirements in WMC 16.16.040(E). Public notice was mailed May 22, 2015 to all properties within a 1,200' radius, allowing for the proper number of days in which to comment in accordance with 16.16.040. Hearing procedure shall follow the criteria outlined in 16.16.040(A).

§16.28.110(C) Variance Standards

A variance may be granted only if:

1. The conditions upon which the variance application is based do not apply generally to properties in the district or vicinity other than the property for which the variance is sought;

Staff Finding: The small, triangular shape does not apply generally to properties in the district or vicinity.

2. Such conditions arise out of natural features inherent in the property such as shape or topographical conditions of the property or because of unusual physical surroundings or such conditions arise out of surrounding development or conditions;

Staff Finding: The parcel is in the original platted configuration from 1963.

3. Because of such conditions the strict application to the property of the requirements of this chapter will result in an undue, substantial hardship to the owner of the property such that no reasonable use of the property could be made;

Staff Finding: Without approval of a variance, the parcel would be basically unbuildable since the Land Development Code requires a 25' front yard setback and a 75' shoreline setback.

4. The special conditions that require the variance are not caused by the person seeking the variance, a predecessor in interest, or the agent of either; and

Staff Finding: The applicant did not cause the conditions that require a variance.

5. The variance is not sought solely to relieve pecuniary hardship or inconvenience.

Staff Finding: The variance is not sought to relieve a pecuniary (financial) hardship or inconvenience. Without any variance, no structure may be built on the lot.

§16.28.110(D) If a property qualified for a variance under this section, the variance granted must meet the following conditions:

1. The deviation from the requirement of this title that is permitted by variance may be no more than is necessary to permit a reasonable use of the lot;

Staff Finding: The variance request appears to be the minimum necessary to permit reasonable use of the parcel. The applicant is proposing a single-family dwelling.

2. The variance will not permit a land use that is prohibited by this title;

Staff Finding: The proposed residential use is not prohibited as a residential use is permitted in a Residential Multifamily (RM) zoning district.

3. The variance is in keeping with the spirit and intent of this chapter and the requirements from which relief is sought;

Staff Finding: The variance is in keeping with the spirit and intent of the chapter.

4. The variance will not be detrimental to the public health, safety or welfare; and

Staff Finding: The variance will not be detrimental to public health or welfare.

5. The variance will not significantly adversely affect other property.

Staff Finding: The requested variance should not significantly adversely affect other properties in the area.

§16.16.040(A)(6) Decision.

The commission shall decide to deny, approve or approve with conditions the proposal or appeal. The burden of proof shall be on the applicant. The commission's decision may be made immediately following the public hearing portion of the commission meeting. The decision of the commission shall set forth the facts it finds relevant to its decision and the reasons for its decision. The effective date of the decision is the date the findings and the reasons are set out in writing and signed by the commission chairperson or the chairperson's designee.

VI. CONCLUSION AND RECOMMENDED CONDITIONS

Based on the above, staff recommends that the Planning Commission approve the requested variance with the following conditions:

1. Prepare a landscape plan to the City Planner for review and approval that re-vegetates the area between the structure and the high-water mark of Wasilla Lake in accordance with the *Property Owner's Guide to Shoreline Landscaping in the Matanuska-Susitna Borough* and any other requirements necessary to ensure adequate protection of the lake and shoreline.
2. Design the site appropriately to prevent direct runoff from the lots into the lake.
3. Obtain all necessary permits and approvals for the installation of any necessary water/sewer infrastructure.
4. Provide adequate shoreline vegetation or other stabilization methods at the water's edge to prevent additional erosion.
5. Obtain all necessary approvals prior to working on the water's edge.

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Tahirih Revet

From: Michelle Olsen <Michelle.Olsen@matsugov.us>
Sent: Tuesday, June 02, 2015 7:14 AM
To: Planning
Subject: William Starn Comments
Attachments: William Starn Comments.pdf

Please see attached comments.

Regards,

Michelle Olsen, CFM
Permit Technician
Matanuska-Susitna Borough
350 E Dahlia Ave
Palmer, AK 99645
(907) 861-7871

**NOTIFICATION OF PUBLIC HEARING
-VARIANCE REQUEST-**

DATE: 05-22-15

CASE #: V15-01

The City of Wasilla Planning Commission will consider the following:

PETITIONER (S): William Starn

REQUEST: A variance of 19.5 feet from the required 25-foot front yard setback and a variance of 45 feet from the required 75-foot shoreline setback in order to construct a single-family dwelling on Tract 1, Parcel, Lakeshore Subdivision (1245 E. Westpoint Drive). Wasilla Municipal Code Section 16.24.030 requires front yard setbacks of 25' from the lot line and a 75-foot setback for all buildings and/or footings from the high-water mark of a water course or body of water. The parcel is approximately 0.36 acres and is zoned Residential Multifamily (RM).

You are being notified of this action as you are a property owner within 1,200' of the subject property, (WMC 16.16.040). A Planning Commission public hearing on this request is scheduled for **June 9, 2015 at 6:00 PM** in the City Council Chambers. Comments may be submitted in writing by filling in the spaces provided below and mailing to: City of Wasilla, Planning Office, 290 E. Herning Ave, Wasilla, AK 99654.

If there is not enough room below please attach a separate piece of paper. You may also fax comments to (907) 373-9021 or email them to: planning@ci.wasilla.ak.us. Your written comments on this request must reach the Planning Office on or before June 1, 2015 in order to be included in the packet. Comments received after that date will be available at the public hearing.

Anyone wishing to review the application for this case is encouraged to contact the Planning Office at (907) 373-9020 for additional information.

Name _____

Address _____

Lot _____ Block _____ Subdivision _____

Comments: This property lies within the FEMA designated Special Flood Hazard Area. A permit for development within the floodplain must be obtained prior to any development, digging, drilling, excavating or placement of equipment or materials *WRS 6/11/15*



**CITY OF WASILLA
PLANNING OFFICE
290 E HERNING AVE
WASILLA, AK 99654
PHONE 373-9020 FAX 373-9021**

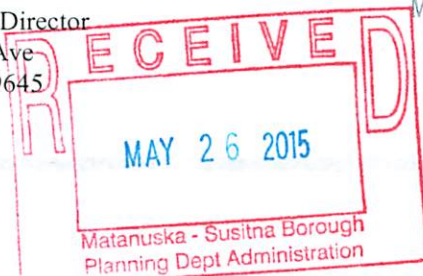
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ZIP 99654
041L11222587

Matanuska-Susitna Borough

MSB Planning Director
350 E. Dahlia Ave
Palmer, AK 99645



MAY 26 2015

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PUBLIC NOTICE



V #15-01
MSB Map #WA 11
T17N, R01W, Sec. 11

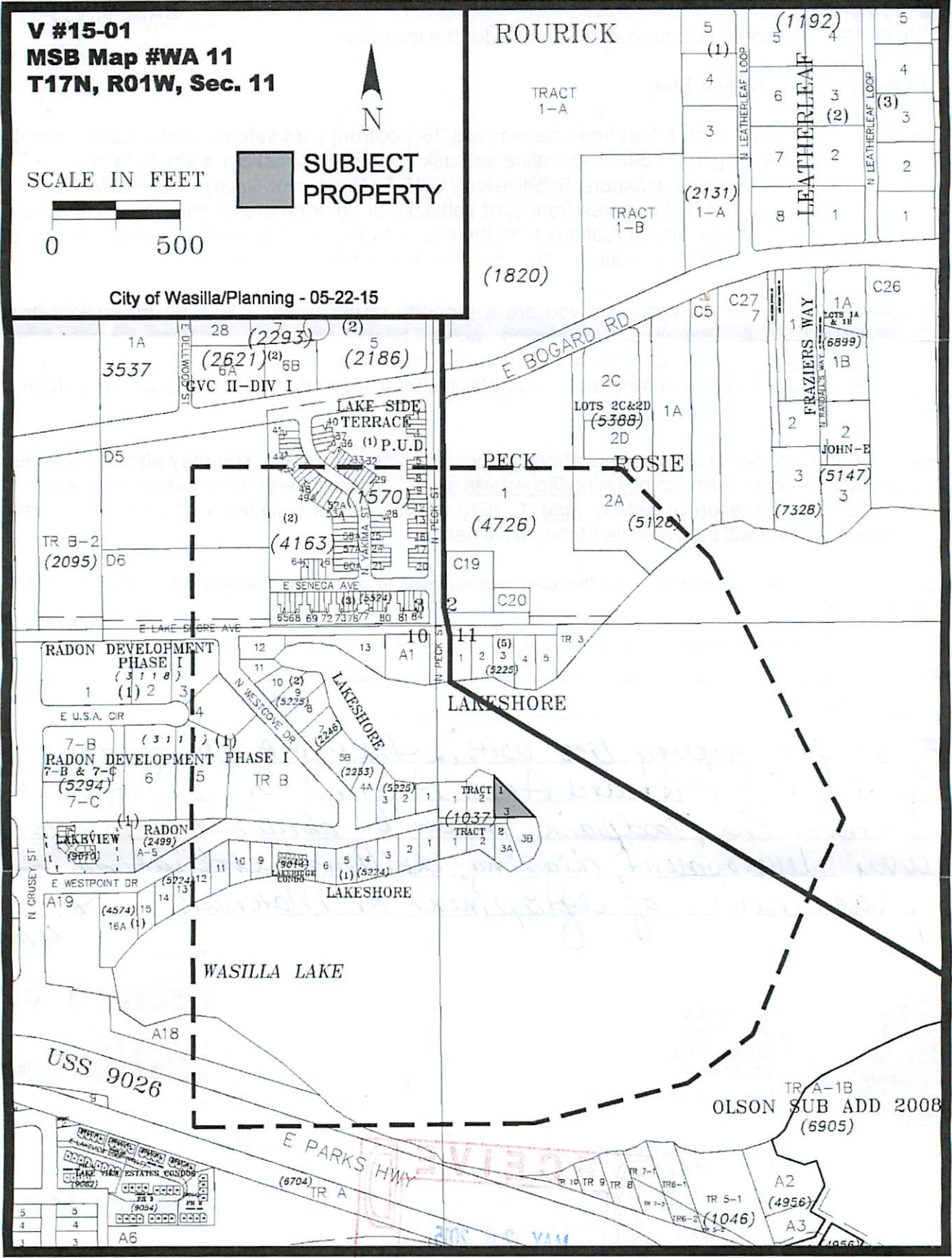


SCALE IN FEET



SUBJECT PROPERTY

City of Wasilla/Planning - 05-22-15





Matanuska-Susitna Borough



0.0 0 0.02 0.0 Miles
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 © Matanuska-Susitna Borough
 Reported on 06/01/2015 12:04 PM

This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 907-745-4801.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



Legend

- Public Facilities
- Administrative
- Animal Control
- City Hall or Courthouse
- Community Center
- Landfill or Transfer Station
- Library
- Medical
- Post Office
- Public Safety Fire and/or EMS
- Public Safety Law Enforcement
- School
- Alaska Railroad
- Streets**
- Highway
- Major Street
- Medium Street
- Minor Street
- Primitive Road
- Private Road
- Mat-Su Borough Boundary
- Incorporated Cities
- Parcels
- Flood Zone

1 : 1,181



Notes

This map was automatically generated using Geocortex Essentials.

NOTIFICATION OF PUBLIC HEARING
-VARIANCE REQUEST-

DATE: 05-22-15

CASE #: V15-01

The City of Wasilla Planning Commission will consider the following:

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You are being notified of this action as you are a property owner within 1,200' of the subject property, (WMC 16.16.040) - A Planning Commission public hearing on this request is scheduled for June 9, 2015 at 6:00 P.M. in the City Council Chambers. Comments may be submitted in writing by filling in the spaces provided below and mailing to: City of Wasilla, Planning Office, 290 E. Herning Ave, Wasilla, AK 99654.

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Anyone wishing to review the application for this case is encouraged to contact the Planning Office at (907) 373-9020 for additional information.

Name Jean Brown
Address 1210 LAKE SHORE
Lot 1 Block 5 Subdivision LAKE SHORE

Comments:

I feel 30' ft setback is not appropriate for a 75' normal required setback for new construction. There is already an existing home that could be expanded if the lots are replatted into one



CITY OF WASILLA
PLANNING OFFICE
290 E HERNING AVE
WASILLA, AK 99654
PHONE 373-9020 FAX 373-9021

neopost

05/22/2015

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\$00.48⁰⁰



ZIP 99654
041L11222587

Jean Brown
PO Box 874213
Wasilla, AK
99687

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JUN 01 2015

Planning Office
City of Wasilla

PUBLIC NOTICE

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NOTIFICATION OF PUBLIC HEARING
-VARIANCE REQUEST-

DATE: 05-22-15

CASE #: V15-01

The City of Wasilla Planning Commission will consider the following:

PETITIONER (S): William Starn

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You are being notified of this action as you are a property owner within 1,200' of the subject property, (WMC 16.16.040). A Planning Commission public hearing on this request is scheduled for June 9, 2015 at 6:00 p.m. in the City Council Chambers. Comments may be submitted in writing by filling in the spaces provided below and mailing to: City of Wasilla, Planning Office, 290 E. Herning Ave, Wasilla, AK 99654.

If there is not enough room below please attach a separate piece of paper. You may also fax comments to (907) 373-9021 or email them to: planning@ci.wasilla.ak.us. Your written comments on this request must reach the Planning Office on or before June 1, 2015 in order to be included in the packet. Comments received after that date will be available at the public hearing.


Anyone wishing to review the application for this case is encouraged to contact the Planning Office at (907) 373-9020 for additional information.

Name Noel Kopperud

Address P.O. Box 4470 Palmer, AK 99645

parcel 2 Lot 2 Block 1 Subdivision Lakeshore

Comments: Opposed to variance request. Please see attached.


 CITY OF WASILLA
 PLANNING OFFICE
 290 E HERNING AVE
 WASILLA, AK 99654
 PHONE 373-9020 FAX 373-9021

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 ZIP 99654
 041L11222587

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KOPPERUD CLAIRE EST (Noel Kopperud)
PO BOX 4470
PALMER, AK 99645

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JUN 01 2015

Planning Office
City of Wasilla

PUBLIC NOTICE

99645#4470 B049

June 1, 2015

City Planner and Planning Commission
City of Wasilla
Planning Office
290 E. Herning Ave.
Wasilla, AK 99654

RE: Opposition to Starn Application for Variance on Parcel 3 (Tract 1) Lakeshore
Subdivision, City File 15-01

Dear City Planner and Planning Commission:

My name is Noel Kopperud and I own Parcel No. 2 (Tract No. 1) immediately adjacent to Parcel No. 3 (Tract No. 1) for which Mr. Starn is seeking the variance referenced above. Our family has owned our land since 1960. We have lived there for several generations and we are opposed to the request for abandonment of the city's lakeside setback restrictions that are designed to protect Wasilla Lake as a whole. Based on these problems, I request that that Commission deny the variance.

Executive Summary of Opposition

Mr. Starn also owns the upland parcel (Lot 3B) that is immediately adjacent to the Parcel 3 shoreline strip and can replat or otherwise make good use of this tiny 10,000 sf shoreline area without a variance. Mr. Starn currently is making reasonable use of the parcel and does not need a variance to continue and expand such use. The variance application is extremely aggressive in proposing a building that would have maximum adverse impacts on the shoreline and the neighborhood. Our house is the property most heavily impacted. The proposed three-story (includes basement) large-footprint structure is far beyond a minimum deviation from the code necessary for reasonable use. The variance is also not in keeping with the spirit and intent of the City's variance process that requires extraordinary circumstances and then anticipates that there will be only the minimum variation possible from the laws that apply to all citizens in the community. Wasilla Lake is a public asset and the protection of its shoreline is entrusted to the Planning Commission. This variance should be denied because the proposed destruction of the protected space around the lake is unnecessary and would be detrimental to the public's welfare and to the City's interests in managing for the future of the lake with a coherent shoreline plan.

In the following paragraphs, I state the problems with each of the five conditions (findings) that the Planning Commission must use in granting any variance under Wasilla Development Code Section 16.28.110(D).

- The deviation from the requirements of the Code that is permitted may not be more than is necessary to permit reasonable use of the lot.

The applicant (Mr. Starn) may make substantial reasonable use of Parcel 3 without granting a variance that would allow him to build a structure covering much of the protected setback areas. The proposed house is three stories high (including the basement) and is 1,000 square feet larger in living area than any other home in the neighborhood. The variance program isn't intended for such a massive structure.

The Planning Commission should seriously consider that a very reasonable alternative use for Parcel 3 (the small shoreline lot) is for Mr. Starn to continue using it in conjunction with his upland house on Parcel 3B. The vital additional parking space used by the existing Starn house would be an enhancement and provide essential room for public vehicles, snow storage, and other necessary use. Moreover, the shoreline restrictions allow substantial reasonable use of Parcel 3, without destructive development in a sensitive erosion zone. In addition to providing more space for parking, the shoreline ordinance allows other reasonable uses such as a dock, small boathouse, and possibly even a place where the Starn dogs could stay at home.

The lot for which this variance is sought is a narrow strip of land entirely within the 75-foot shoreline setback. Mr. Starn also owns the adjacent Parcel 3B upland property on the opposite side of the lot. The land for which the variance is sought may and should be reasonably used without destroying the protections afforded the public, other subdivision owners, and wildlife by the shoreline setback. In fact, the highest and best use of this thin strip of shoreline is that it be re-attached to the Starn Parcel 3B from which it was carelessly re-subdivided by the original developer.

Al Hagen originally platted this area in 1960 and deeded Parcel 2 of Tract 1 to my family that same year. A registered land surveyor had designed the lots in such a way that the point was a single lot (Parcel 3). Subsequently, in 1963, Mr. Hagen filed "an amended plat" without an engineer and drew lines that separate Parcel 3 into two large lots (Parcels 3A and 3B) and left a narrow shoreline fragment, which retained the title Parcel 3. In other areas around Hagen's Lakeshore Subdivision, these fragments have been replatted and joined with adjacent parcels to form a reasonably-designed lot.

It would be apparent to anyone looking at the site that either the Starn Parcel 3B or our Parcel No. 2 could make reasonable use of the tiny shoreline strip as a part of the adjacent uplands rather than stripping away the public lakeside safeguards in order to imbed a large building at water level. The building planned is approximately 1,000 square feet larger in living area than any house in the neighborhood. It virtually destroys forever every natural condition on the bluff and shoreline along the point in the area where the variance is to be applied.

The former owner of the existing Starn house on Parcel 3B was Mel Husa. He told me that he deeply regretted having transferred away the additional lot he inherited on the

point, Parcel 3A. He said it left his house on Parcel 3B with virtually no at-grade parking space on top of the bluff that overlooks the lake. Thereafter, Mr. Husa dumped a large amount of material on the Parcel 3 shoreline strip and some material even went into the lake, which ended with a Cease and Desist Order issued by the City of Wasilla Planning Department. Mr. Husa's goal was to purchase the property from its owner after creating an area where he could park additional vehicles off the narrow dead-end road which ended at his house.

Mr. Starn, after recently buying the former Husa house on Parcel 3B, soon thereafter bought the small adjacent Parcel 3. Mr. Starn is currently making good use of this shoreline parcel. Last fall he cleared away vegetation at the top of the shoreline parcel, dumped gravel, and has made a parking lot which is used for excess Starn vehicles. Mr. Starn mentioned to my son when building the parking area last fall that he was also concerned that there be some area where the garbage truck could turn around since the cul-de-sac at the end of Westpoint Drive is very narrow. These heavy public service vehicles otherwise have to back down the road and turn around in our driveway or another open space. It is not accurate that Mr. Starn needs a variance to continue his reasonable use of this land

The strip of land protected by the shoreline setback is an extremely sensitive area of Wasilla Lake. Parcel 3 is located at the tip of the peninsula extending into the lake; this point is aligned with an opening to the east, between the upper and lower portions of Wasilla Lake. As a result, a large stretch of open water allows the wind to reach high speeds – at times approaching 100 miles per hour – in the worst winter windstorms. The wind-driven waves have caused substantial erosion of the lands around the point. While there is a question about the amount of erosion, the applicant notes has been 20 feet on Parcel 3 in the 50 years since original subdivision maps were created.

Westpoint Drive is very narrow, and the careless re-subdivision of the land at the point has left very little room at the road elevation. Upland lots on the point are approximately 20 vertical feet above the Lake. The winter weather conditions are such that the miles of open snow and ice and high winds cause extreme drifting in the narrow road gulch at the end of Westpoint Drive, which provides the only access to the end of the point. Mr. Husa always maintained a bulldozer on the property to move drifts that sometimes reached more than 8 feet high and 50 feet or more long. People familiar with the Parks Highway drifting at the area beside Wasilla Lake will understand exactly what is going to happen under these winter conditions. The City has brought in a large bucket loader in recent years to dig out the drifts at the end of Westpoint Drive, and they stack the snow on the setback area and the upland corner of Parcel 3. This is the same area where Mr. Starn proposes to vacate the roadside setback. He plans to install buildings in the vacated setback areas that are currently used for turnaround, snow storage, and excess vehicle parking at the end of the road.

The potential for practical and reasonable use of Parcel 3 by the Starn family is particularly evident when it is recognized that the Starn house was expanded from a cabin that was constructed on the extreme western side of Parcel 3B and immediately against

the shoreline strip lot, Parcel 3. The at-grade and fully usable portion of Parcel 3 is actually along the eastern half of Parcel 3, where the Starns have built a nice parking lot. We own substantial shoreline that is covered by the 75-foot setback restrictions and we have enjoyed use of the lightly forested area of our setback in conjunction with our upland house. Reasonable continued use of Parcel 3, without granting the variance, is readily apparent.

- The variance will not permit a land use that is prohibited by the code.

The requested variance violates the code because all of the runoff from the large building Mr. Starn intends to embed directly in the lakeshore setback area will run into Wasilla Lake. The developer's plan will horizontally invade most of the lakeside setback and also dig down toward the surface level of the lake. Wasilla Lake is a very pollution sensitive area and the runoff from this building, excavated into the shoreline, will heighten the risk of illegal pollution by eliminating virtually all of the safeguards that the shoreline set back area was designed to provide.

Mr. Starn's application does not include a drawing that complies with the code. A professionally-developed site plan would include more elevation and survey points as well as additional required information.

- The variance is in keeping with the spirit and intent of the Code and its requirements.

Mr. Starn's request for variance violates this condition. His application suggests that the lakeside setback is such a minor concern that the request seeks a massive vacation of almost all of the protected setback area. The code takes the position that any variance of the setback requirement must be based upon findings that confirm the crucial setback area is preserved, and any variance must be limited to the greatest extent possible. The spirit of the code reflects that minimizing destruction of the lakeside setback requirement is enforced in order to provide for effective planning in the City of Wasilla.

Unlike most other Alaska cities, Wasilla is situated between two beautiful lakes. Wasilla Lake, which bears the City's name, is close enough to Anchorage to be under constant pressure for development. On one hand are those who view the lake as a large drainage pond, around which restrictions should be vacated even if that means we are left with a wall of buildings surrounding a dead lake, benefitting only someone's quest for immediate private opportunity. An alternate viewpoint is that the lake is to be shared with nature, for which someone needs to stand up. A coherent plan for the shoreline around Wasilla Lake protects the quality of the water and retains habitat for birds, fish, and other wildlife. The public users of the lake also benefit from having a shoreline view around the lake that has some trees and natural screening, rather than just an "all built up" appearance. The lakeside setback needs to be maintained in a consistent manner, and the spirit and intent of the lakeside setback as set out in the City code is to assure that this happens. It gives the Planning Department of Wasilla the opportunity to deal with

challenges that future development around the lake will undoubtedly bring.

In summary, the variance program was not intended to make a wholesale transfer of space protected for the public to a developer in a setting where the applicant knowingly acquired land entirely within the setback area. Granting such a variance would set a bad precedent. The message would be that there is no spirit or intent in the code to provide for a consistent protected area around the lake. Instead, the relief from the setback as a minor concern argument will be made to justify building as close to the lake as possible. The fish, birds and animals that live in and around the lake will have no voice in the outcome, because the idea of protecting a natural space is "old and outdated." There is no going back. Once the protected space around the lake is consumed with buildings, there are no tools left for future planners to use in solving the problems they are certain to encounter.

- The variance sought will not be detrimental to public health, safety, and welfare.

The variance request will be detrimental to public health and safety. With the proposed vacation of the roadside setback, there will be only 15.5 feet from the road to the house. A typical pickup is 20 feet and at least 5 feet of the vehicle will be in the road. The roadside setback will have to be maintained in this area as a requirement of public health and safety. The variance application proposes to build a very large building that may be used as a public accommodation for guests, on a parcel that will have virtually no room left at the road elevation. The adjacent Starn house on Parcel 3B was located so close to the property line and the bluff that successive owners have struggled to manage even their own parking needs. A new house has now been installed on top of the small bluff, immediately south of the Starn house, on Parcel 3A. Parking for the new house project was so restricted that workers used our lawn next to the road. A structure of this size and design should be planned for a lot that provides the building and its occupants with substantial space which will assure good access in all Alaskan weather conditions.

Mr. Starn told my son that he was considering building a bed and breakfast on his property. The building described in the application is 3 stories high and larger than other buildings in our neighborhood. Unlike the example building lots Mr. Starn attached to his application, Parcel 3 is just a strip of shoreline within the setback. None of the other properties lack upland to support lawful development. Mr. Starn apparently is seeking permission to excavate to a depth nearer the lake level and embed a large structure entirely within the lakeside protected area. His drawing confirms that the effective setback from the lake is going to be substantially less than 30 feet. Excavation for such a daylight basement would require destruction of much of the existing shoreline. Thereafter, the walkout places from the basement to the shoreline would destroy much of the remainder of any setback area from the lake.

The proposed Starn building would be situated at the end of Westpoint Drive, which is a dead-end road leading from one of the busiest areas of Wasilla. There is currently a lot of

turn-around traffic at the homes near the end of the drive and it will increase. Over the last 50 years that our family has shared a place beside the end of the road, it has not been uncommon to have hourly turn-around vehicles, which seem determined to go to the very end of the road, even though it is marked dead end. Much of the traffic has gone up to the Starn property to turn around, even though the road is narrow. The other homes clustered around the end of the point, such as ours, have shared this burden equally with Starn house. The development Mr. Starn proposes is going to transfer to the other neighbors the entire burden of all this turn-around traffic.

In addition, fire engines, ambulances, police vehicles, heavy snow removal equipment, and other public service vehicles must have substantial space to maneuver, particularly at the end of a dead end street. Planners require cul-de-sacs at the end of dead-end roads specifically to address such needs, and the loss of them is especially problematic in the case of Westpoint Drive, which is only 15 feet wide. I believe that it will be detrimental to public safety to construct a building of this size surrounded by water, in an area where the plan calls for vacating all of the open spaces where fire and other service equipment needs to operate.

This extensive construction is proposed in an area of known erosion that is fully exposed to extreme wind, wave action and snow drifting. All of the runoff from this development will run into Wasilla Lake. Others who have sought to develop small Hagen lots have replatted them to attach the fragments to reasonably-sized upland parcels. Their approach provides substantial elevation and space between sewers, runoff, and other sources of pollution and the lake shore. The variance application does not provide any such protection and thus differs fundamentally from the example lots that include substantial upland areas. Granting the variance would allow a lot of runoff into the lake, violating public health and safety that the shoreline setback ordinance was enacted to protect.

- The variance will not significantly adversely affect other property.

The variance application will significantly adversely affect other property. Destruction of the protected shoreline by allowing permanent buildings to replace the setback space is an action that affects everyone with a view of the point. Neighboring property owners will likely experience adverse effects from further restricting the space to turn around at the end of Westpoint Drive, transferring the burden to them.

Our adjacent property would be heavily impacted. We have a mew gull nesting area along the lake adjacent to the Lot 3 shoreline. For many years a substantial flock of birds nest there, and their chicks learn to fly in the setback area near the trees and water.

The previous owner of Parcel 3 allowed me to undertake a reclamation project on the property, at my own expense, after the City's Cease and Desist order stopped the unpermitted dumping of waste dirt all over the lot, our property, and into the lake. I worked with my sons to install a silt fence and then hauled over 1000 cubic yards of waste material to the Carney gravel pit. We raked the lot, planted trees, and hydro-seeded

the area. In time, the shoreline stabilized and the City inspected the area so that we could remove the silt fence.

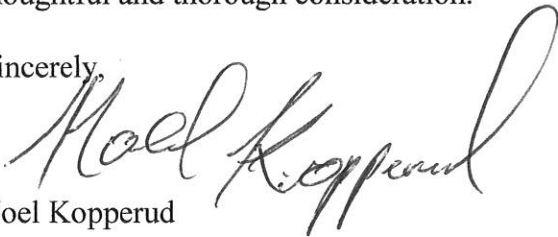
It was important for us to reclaim the damaged area because 40 years ago my father located our house in accord with measurements made to comply with the 75-foot setback. Our eastern windows look directly out at the lake across a narrow portion of Parcel 3 that is all within the lakeside setback area. Mr. Starn's variance request anticipates construction of a three-story structure which would extend deeply into the setback area and wipe out our capacity to see and enjoy the lake from our east windows. When my father chose the location for our house overlooking the lake, he respected the lakeside setback restrictions. He expected that the law would be applied equally to others. We should not be penalized by a variance that disregards the setback and allows a massive structure that would seriously and permanently impact our property.

Conclusion

The ill-conceived shoreline strip left by Mr. Hagen's re-subdivision can reasonably be used by attaching the fragment to one of the adjacent upland properties. Mr. Starn currently uses Parcel 3 and he can continue in the future to his use and enjoyment the additional land in conjunction with his upland lot on 3B, and without any need for the variance. Granting the variance is inconsistent with the spirit and intent of the code because the applicant purchased a lot that was entirely within the setback area and seeks permission to vacate most of the protected space. It would set a bad precedent to treat wholesale vacation of the shoreline protected area as if it were a minor concern. Moreover, the variance application in this case seeks to install a very large structure directly adjacent to lake, after removing all of the safeguards enacted to protect Wasilla Lake as a community asset. Our house and way of life would be very heavily impacted by this variance of the law. The City and all homeowners on the lake will benefit from continued enforcement of the reasonable shoreline development restrictions that preserve a natural lakeside environment for future generations.

Based on the problems that the variance would create for each of the five conditions, I request that the Planning Commission deny the application. Thank you for your thoughtful and thorough consideration.

Sincerely,



Noel Kopperud

Tahirih Revet

From: Desi & Cathy Mayo <mayo@mtaonline.net>
Sent: Sunday, May 31, 2015 4:48 PM
To: Planning
Subject: Response to Variance Request Case # V15-01

City of Wasilla Planning Commission,

We are not in favor of approving of the variances for the 1245 E. Westpoint Drive (Tract 1, Parcel, Lakeshore Subdivision). We built our house on Lot 4, Block 5, Lakeshore 1960 Subdivision within the required setbacks and expect all others to do so as well. To do otherwise impacts Wasilla Lake and those of us who have already complied with the rules.

Thank you for the opportunity to comment,

Desi Mayo

1260 Lakeshore Ave.
Lot 4, Blk 5, Lakeshore 1960 Subdivision

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NOTIFICATION OF PUBLIC HEARING
-VARIANCE REQUEST-

DATE: 05-22-15

CASE #: V15-01

The City of Wasilla Planning Commission will consider the following:

PETITIONER (S): William Starn

REQUEST: A variance of 19.5 feet from the required 25-foot front yard setback and a variance of 45 feet from the required 75-foot shoreline setback in order to construct a single-family dwelling on Tract 1, Parcel, Lakeshore Subdivision (1245 E. Westpoint Drive). Wasilla Municipal Code Section 16.24.030 requires front yard setbacks of 25' from the lot line and a 75-foot setback for all buildings and/or footings from the high-water mark of a water course or body of water. The parcel is approximately 0.36 acres and is zoned Residential Multifamily (RM).

You are being notified of this action as you are a property owner within 1,200' of the subject property, (WMC 16.16.040). A Planning Commission public hearing on this request is scheduled for **June 9, 2015 at 6:00 PM** in the City Council Chambers. Comments may be submitted in writing by filling in the spaces provided below and mailing to: City of Wasilla, Planning Office, 290 E. Herning Ave, Wasilla, AK 99654.

If there is not enough room below please attach a separate piece of paper. You may also fax comments to (907) 373-9021 or email them to: planning@ci.wasilla.ak.us. Your written comments on this request must reach the Planning Office on or before June 1, 2015 in order to be included in the packet. Comments received after that date will be available at the public hearing.

Anyone wishing to review the application for this case is encouraged to contact the Planning Office at (907) 373-9020 for additional information.

Name Magali Chapelle
Address 1240 E. Lakeshore Ave.
Lot _____ Block _____ Subdivision _____

Comments: I suspect the 75ft setback Municode is in place for a reason. I would like the planning Commission to keep that in perspective when reviewing this request. As a homeowner on this lake, I have noticed an ↑ in algae production over the yrs. What will be the size of this single family home? My neighbors built a 5000sqft home for just the 2 of them w/a rolling green lawn right up to the lake that they diligently fertilize to keep it golf course green. We can't dictate the size of a person's dwelling. We can, though, continue to control the impact building so close to the lake has on the health of our waterways.

All of us in the borough living on this lake pull our well water from this source - and should be concerned with any building that could impact this development



CITY OF WASILLA
PLANNING OFFICE
290 E HERNING AVE
WASILLA, AK 99654
PHONE 373-9020 FAX 373-9021

05/22/2015
US POSTAGE \$00.48⁰⁰
ZIP 99654
041L11222587

Thank you for allowing me to comment "potentially" Magali Chapelle

5225B05L002
~~WARRICK RICHARDSON~~
CHAPELLE MAGALI S
1240 E LAKE SHORE AVE
WASILLA, AK 99654-7151

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MAY 29 2015

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City of Wasilla

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You are being notified of this action as you are a property owner within 1,200' of the subject property, (WMC 16.16.040). A Planning Commission public hearing on this request is scheduled for **June 9, 2015 at 6:00 PM** in the City Council Chambers. Comments may be submitted in writing by filling in the spaces provided below and mailing to: City of Wasilla, Planning Office, 290 E. Herning Ave, Wasilla, AK 99654.

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Name Laura & Lawrence Hamblen

Address 1200 & 1220 E. Westpoint Dr.

Lot 1 & 2 Block Tract 2 Subdivision Lakeshore Subdivision

Comments: We object for a permit issued of any type of commercial or nonprofit building or business on 1245 E. Westpoint Dr.
We agree to single family "ONLY" on said property above.
We also object to the 5.5 ft. setback from the Road.



CITY OF WASILLA
PLANNING OFFICE
290 E HERNING AVE
WASILLA, AK 99654
PHONE 373-9020 FAX 373-9021

1037T02P001
HAMBLÉN LAWRENCE O
HAMBLÉN LAURA L
1220 E WESTPOINT DR
WASILLA, AK 99654-7140

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City of Wasilla

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Tahirih Revet

From: dawnqueen@aol.com
Sent: Thursday, May 28, 2015 7:01 PM
To: Planning
Subject: Variance Request

The Estate Of
Nussbaumer Myrtle Tr Tre
3910 Ave Bonne Terre
New Iberia LA 70563

Case # V15-01

We are in favor of granting the variance. Thank you

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Anyone wishing to review the application for this case is encouraged to contact the Planning Office at (907) 373-9020 for additional information.

Name _____

Address _____

Lot _____ Block _____ Subdivision _____

Comments: NO PLATTING ACTION REQUIRED
FROM HONOR AND PAUL HUBBARD



**CITY OF WASILLA
PLANNING OFFICE**
290 E HERNING AVE
WASILLA, AK 99654
PHONE 373-9020 FAX 373-9021

MSB Platting Division Officer
350 E. Dahlia Ave
Palmer, AK 99645

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PLATTING RECEIVED

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CERTIFICATE OF SERVICE

1. I am the Planning Clerk for the City of Wasilla.
2. I certify on this 22 day of May, 2015, I mailed 124 notices of: _____ via first class U.S. Mail and by hand delivery regarding the following:
Variance to setbacks
Land Use Permit # V15-01.

Residents within 1,200'	<u>95</u>
Review Agencies	<u>25</u>
Planning Commissioners & City Council Members	<u>11</u>
Total	<u>131</u>

DATED at Wasilla, Alaska, May 22, 2015

CITY OF WASILLA

Tahiri Revet
TAHIRIH REVET
Planning Clerk

Attest:

TINA CRAWFORD
City Planner

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DATE: 05-22-15

CASE #: V15-01

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Anyone wishing to review the application for this case is encouraged to contact the Planning Office at (907) 373-9020 for additional information.

Name _____

Address _____

Lot _____ Block _____ Subdivision _____

Comments: _____



**CITY OF WASILLA
PLANNING OFFICE**
290 E HERNING AVE
WASILLA, AK 99654
PHONE 373-9020 FAX 373-9021

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V #15-01
MSB Map #WA 11
T17N, R01W, Sec. 11

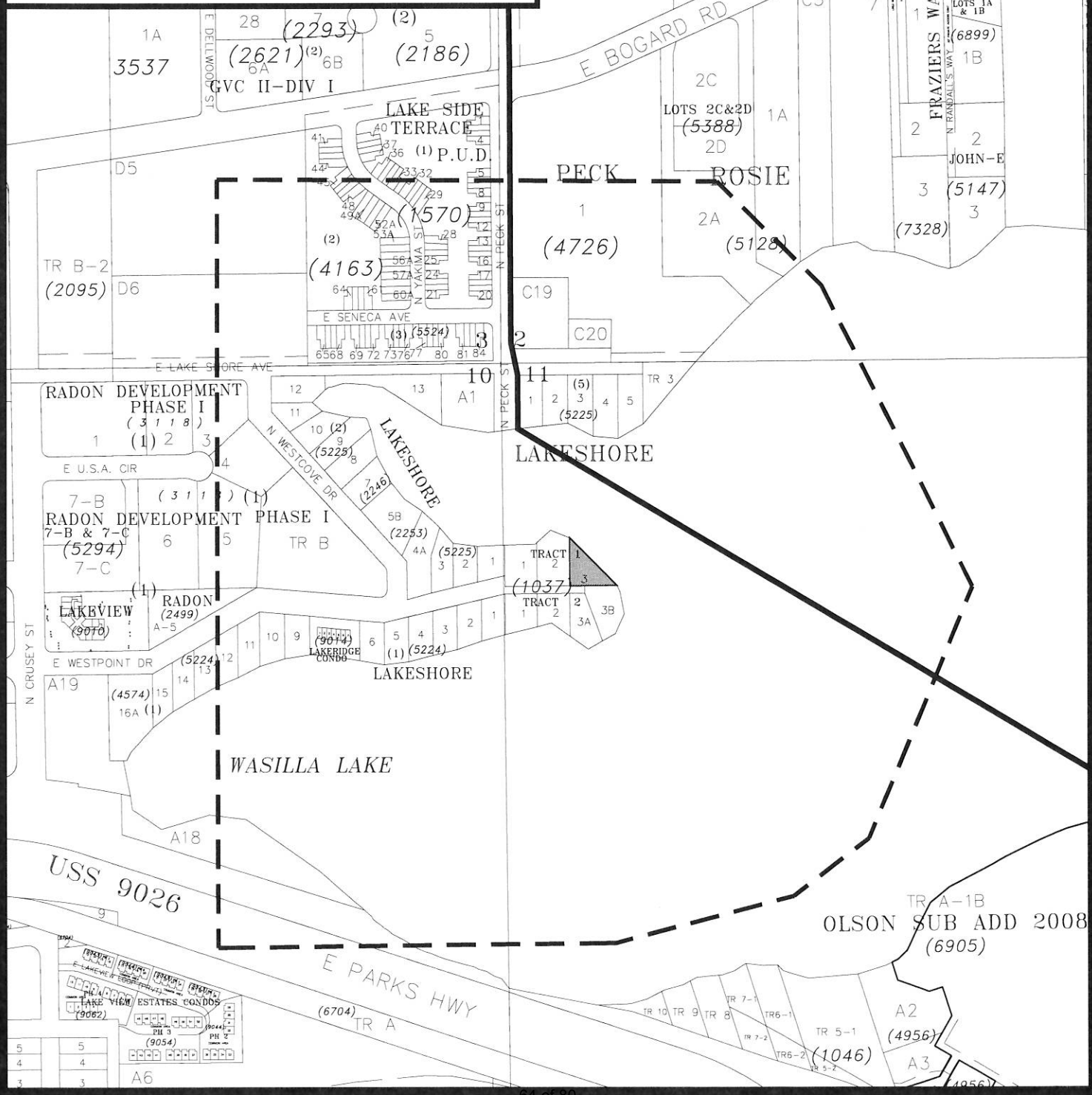


SCALE IN FEET



SUBJECT PROPERTY

City of Wasilla/Planning - 05-22-15



1570B01L014
AHERN SHAWN C
674 N PECK ST
WASILLA, AK 99654-7170

5225000T003
ANDERSON T W & RAMONA K
PO BOX 872033
WASILLA, AK 99687-2033

5524B03L066A
BOWEN ELOISE L
LAKESIDE TER TOWNHOUSES
3200 E WHISPERING WOODS DR
WASILLA, AK 99654-7462

5225B05L001
BROWN JEAN M
PO BOX 874213
WASILLA, AK 99687-4213

5128000L001A
CEDERHOLM & RANSOM LVG TR
CEDERHOLM ROBT E TRE RANSOM LINDA A TRE
PO BOX 871017
WASILLA, AK 99687-1017

5224B01L001
CROW RICHARD E JR & K A
4101 LEYDEN RD
ANCHORAGE, AK 99516

5524B03L069A
DRATH JAS W & SHIRIE S
LAKESIDE TER TOWNHOUSES
PO BOX 2629
KENAI, AK 99611-2629

2246B02L007
FERRIS KEVIN M
O'CONNOR-FERRIS SUE ELLEN
491 WESTCOVE DR
WASILLA, AK 99654

5524B03L071A
FUGERE MICHAEL M & BERNICE
LAKESIDE TER TOWNHOUSES
1060 E SENECA AVE
WASILLA, AK 99654-7164

5524B03L078A
GRANT SUE A
LAKESIDE TER TOWNHOUSES
1130 E SENECA AVE
WASILLA, AK 99654

5524B03L067A
ALCINA JUAN
LAKESIDE TER TOWNHOUSES
1020 E SENECA AVE
WASILLA, AK 99654-7164

1570B02L064
BEUKERS DON I & MARY E
1922 CREEK DR
SAN JOSE, CA 95125

1570B02L062
BOYD GALE F
1055 E SENECA AVE
WASILLA, AK 99654

1570B01L023
BUSNESS KEVIN S
645 N YAKIMA ST
WASILLA, AK 99654-7168

9014000U004
COLEGROVE S & S LVG TR
COLEGROVE SR & SA TRES COLEGROVE SHANE
460 W BRIAR DR
WASILLA, AK 99654

5225B02L010
CULLEN GARY L & LOUISE F
PO BOX 871491
WASILLA, AK 99654-1491

5524B03L075A
DUBETZ MARLIN E & MARY A
LAKESIDE TER TOWNHOUSES
1901 DRIFTWOOD CIR
PALMER, AK 99645-9619

1570B01L025
FRITZ JENNIFER NOELLE MARIA
PO BOX 871215
WASILLA, AK 99687-1215

5225B02L009
GIELAROWSKI S J REV TR
1290 W WOODMEN RD
COLORADO SPGS, CO 80919-2727

1037T02P001
HAMBLÉN LAWRENCE O
HAMBLÉN LAURA L
1220 E WESTPOINT DR
WASILLA, AK 99654-7140

1570B01L008
ALLIE STANLEY J REV TR
1201 E BOGARD RD
WASILLA, AK 99654-6523

5524B03L079A
BLAKE ANGELA
LAKESIDE TER TOWNHOUSES
1140 E SENECA AVE
WASILLA, AK 99654-7164

4163B02L056A
BRANSON LYNN G
PO BOX 870045
WASILLA, AK 99687-0045

5524B03L072A
CARPENTER MICHAEL R
LAKESIDE TERRACE TOWNHOUSES
1070 E SENECA AVE
WASILLA, AK 99654-7164

2253B02L004A
COMBS DAVID LYNN
6348 QUINHAGAK ST
ANCHORAGE, AK 99507-2037

9014000U006
DE RU FERDINAND J & BRENDA J
1072 E WESTPOINT DR
APT 6
WASILLA, AK 99654-7179

1570B01L020
DUFRESNE MIKE W & JENNIFER
620 N PECK ST
WASILLA, AK 99654-7170

1570B01L016
FRONTIER DREAMS LLC
3175 W SECLUDED MEADOWS LOOP
% JESSE TANNER
WASILLA, AK 99654

5524B03L083A
GILBERT MARY
GILBERT ALEXA
1660A ELCADORE DR
ANCHORAGE, AK 99507-4504

4163B02L060A
HANSEN DANIEL J & NANCY
620 YAKIMA ST
WASILLA, AK 99654-7166

5224B01L006
HARMAN JERRY M
PO BOX 874712
WASILLA, AK 99687-4712

3118B01T00B
HAYES JOE L
PO BOX 101821
ANCHORAGE, AK 99510-1821

5524B03L081A
HOGAN PATRICIA M
LAKESIDE TER TOWNHOUSES
1160 SENECA AVE
WASILLA, AK 99654-7163

1037T01P001
JOBSON ROBT M SR & A O
1201 E WESTPOINT DR
WASILLA, AK 99654

5224B01L004
KONING CATHLEEN S
1072 E 28TH AVE
ANCHORAGE, AK 99508-3981

1570B01LCA01
LAKESIDE TER TOWNHOUSE
OWNERS ASSN
1365 E PARKS HWY # 205
% LEVALLEY REALTY
WASILLA, AK 99654
17N01W03D006
MAT-SU VALLEY MEDICAL CTR LLC
14400 METCALF AVE
% PROPERTY VALUATION SERVICES
OVERLAND PARK, KS 66223

5224B01L003
MILLER MICHAEL & JENNIFER L
2413 CAPTAIN COOK DR
ANCHORAGE, AK 99517-1254

5524B03L084A
MORGAN ELIZABETH
1190 E SENECA AVE
WASILLA, AK 99654-7163

5224B01L012
OH KAP BOK & SUN SOOK
990 E WESTPOINT DR
WASILLA, AK 99654

5225B05L002
HARREN RICHARD L
CHAPELLE MAGALI S
1240 E LAKE SHORE AVE
WASILLA, AK 99654-7151

5524B03L070A
HERMAN VICKI L
LAKESIDE TER TOWNHOUSES
1050 E SENECA AVE
WASILLA, AK 99654-7164

9014000U003
HUBBARD DON ANNA
PO BOX 871764
WASILLA, AK 99687-1764

1570B01L026
KATCHUR CATHERINE A
PO BOX 870352
WASILLA, AK 99687-0352

1037T01P002
KOPPERUD CLAIRE EST
PO BOX 4470
PALMER, AK 99645

9014000U001
LOGSDON BERTRAND M&ADRIENNE L
66751 N BAY RD
NORTH BEND, OR 97459

5225B05L004
MAYO REME D & CATHY M
PO BOX 870017
WASILLA, AK 99687-0017

5524B03L080A
MONTGOMERY KELLEY S
LAKESIDE TER TOWNHOUSES
1150 E SENECA AVE
WASILLA, AK 99654-7163

4163B02L059A
MORRIS JOELY
628 N YAKIMA ST
WASILLA, AK 99654

9014000U007
ORTH ANN M
1750 N FANCIFUL PL
#2
WASILLA, AK 99654-5434

1037T02P003A
HARRIS FAMILY LLC
PO BOX 190465
ANCHORAGE, AK 99519-0465

5225B02L003
HILLBORN JOHN R
17915 LACY DR
EAGLE RIVER, AK 99577

17N01W10A001
JEFFORD CHERYL D
1190 E LAKESHORE DR
WASILLA, AK 99654

5524B03L065A
KENNEDY ANDREW C
LAKESIDE TER TOWNHOUSES
1000 E SENECA AVE
WASILLA, AK 99654

5224B01L002
LAIRD FAMILY TRUST
LAIRD SCOTT J TRE LAIRD PATRICIA A TRE
23506 NE GOLD NUGGET DR
BATTLE GROUND, WA 98604

1570B01L013
LOWE PHYLLIS J
682 N PECK ST
WASILLA, AK 99654

1570B01L024
MCCOURT JASON T
649 N YAKIMA ST
WASILLA, AK 99654

2253B02L005B
MORAN ANDREW M M
2247 N FILLY CIR
WASILLA, AK 99654

5225B02L001
NUSSBAUMER MYRTLE TR TRE
3910 AVE BONNE TERRE
NEW IBERIA, LA 70563

1570B01L009
OWEN KURT D
MOSS CHARLENE D
3930 E COTTONWOOD WAY
WASILLA, AK 99654-6618

5524B03L082A
PARAMO JOHN P & DEENA M
LAKESIDE TER TOWNHOUSES
405 S JOSEE CIR
WASILLA, AK 99654-7486

5225B05L005
PINQUOCH WAYNE & EDITH
PO BOX 870315
WASILLA, AK 99687-0315

5224B01L011
PURSCHE RAYMOND R
1000 E WESTPOINT DR
WASILLA, AK 99654-7138

5524B03L073A
REED YVONNE LEGRAND
LAKESIDE TER TOWNHOUSES
PO BOX 871328
WASILLA, AK 99687-1328

4163B02L057A
ROBINSON MARY KAY
PO BOX 874796
WASILLA, AK 99687-4796

5225B02L013
SHOWERS DONALD R
PO BOX 870757
WASILLA, AK 99687-0757

1570B02L061
STAMM JONI
1065 E SENECA AVE
WASILLA, AK 99654-7164

1570B01L022
STEWART RACHAEL
STEWART STEPHANIE
3390 E SCENIC CIR
WASILLA, AK 99654-2822

1570B01L028
TANNER MANDY K
683 N YAKIMA ST
WASILLA, AK 99654

1570B01L010
URBAN GREGORY M & ANDREA K
6915 BATTLE MOUNTAIN RD
COLORADO SPRINGS, CO 80922-1245

4726000L001
PECK VELMA D
1250 BOGARD RD
WASILLA, AK 99654

9014000U005
POIRIER HARLAN
PO BOX 870145
WASILLA, AK 99687-0145

1570B01L011
RAMSEY JOHN C
PO BOX 873711
WASILLA, AK 99687-3711

4163B02L055A
REXRODE GERALD L
PO BOX 870725
WASILLA, AK 99687-0725

2499000T00A-5
ROMAR LLC
11039 E HARRIS HAWK TRL
SCOTTSDALE, AZ 85262-4547

5524B03L074A
SMITH PAULA J
3245 E COTTLE LOOP
#13
WASILLA, AK 99654-7284

1037T01P003
STARN GLEN HARDING TR
STARN WM A JANSON NANCY L TRES
PO BOX 1782
% WILLIAM STARN
PALMER, AK 99645-1782
5224B01L009
STOTT WM D & MARIA S
2015 BLUEBERRY ST
ANCHORAGE, AK 99503-1854

5524B03L077A
TRAN ANH
LAKESIDE TER TOWNHOUSES
419 W PARKS HWY
STE DD
WASILLA, AK 99654
3118B01L004
VALLEY PROF CENTER LLC
1001 E USA CIR
WASILLA, AK 99654

1570B01L017
PINARD PAUL E JR
FARIAS CLAUDIA FONSECA
646 N PECK ST
WASILLA, AK 99654

3118B01L005
POON WM F T & GREENWOOD C
POON JAS JR & KIM ERIC KIM DANINE & LE
1220 E 68TH
#102
ANCHORAGE, AK 99518
1570B01L012
REED LISA
692 N PECK ST
WASILLA, AK 99654

5524B03L068A
REYNOLDS CASEY
LAKESIDE TER TOWNHOUSES
603 VINE AVE
ANCHORAGE, AK 99501-1231

5128000L002A
SELK KENNETH L
1342 E BOGARD RD
WASILLA, AK 99654

5225B02L012
SMITH RICHARD W
PO BOX 874761
WASILLA, AK 99687-4761

5224B01L010
STENGRIM JON D
1018 E WESTPOINT DR
WASILLA, AK 99654-7138

1570B01L015
STRODE KERRY J
668 N PECK ST
WASILLA, AK 99654

5524B03L076A
TRAN MAI
LAKESIDE TER TOWNHOUSES
1110 E SENECA AVE
WASILLA, AK 99654

9014000U002
VOSBURG RACHEL H
1072 E WESTPOINT DR
WASILLA, AK 99654-7179

1570B01L018
WELTON TRAVIS E
PO BOX 870725
WASILLA, AK 99687-0725

1570B01L019
WHITE AMANDA I
628 N PECK ST
WASILLA, AK 99654

4163B02L058A
WRATHALL FAMILY TR
WRATHALL GRANT R JR TRE
638 YAKIMA ST
WASILLA, AK 99654

1570B01L021
YORK JENNIFER L
625 N YAKIMA ST
WASILLA, AK 99654-7168

3118B01L003
ZIPPERER JOHN D JR
300 W SWANSON AVE
% ZMG PROPERTIES
WASILLA, AK 99654-6844

Tom Brooks
Alaska Railroad Corp
PO Box 107500
Anchorage, AK 99501

Corps of Engineers
Regulatory Branch
PO Box 6898
Elmendorf AFB, AK 99506-0898

Richard Boothby
EMS/Central Mat-Su Fire Dept
Fire Code Official Captain
101 W. Swanson Ave
Wasilla, AK 99654

ENSTAR
PO Box 190288
Anchorage, AK 99519-0288

FAA
Airport Division
222 W. 7th Ave
#14
Anchorage, AK 99513

Kathy Wells
Friends of Mat-Su
PO Box 116
Palmer, AK 99645

Troy Scheuner
GCI
501 N. Main St
Suite 130
Wasilla, AK 99654

MEA
PO Box 2929
Palmer, AK 99645

MSB Chief of Code Compliance
350 E. Dahlia Ave
Palmer, AK 99645

MSB Cultural Resources Specialist
350 E. Dahlia Ave
Palmer, AK 99645

MSB Fire Chief
101 S. Swanson Ave
Wasilla, AK 99654

MSB Planning Director
350 E. Dahlia Ave
Palmer, AK 99645

MSB Platting Division Officer
350 E. Dahlia Ave
Palmer, AK 99645

MSB Public Works Director
350 E. Dahlia Ave
Palmer, AK 99645

MTA
Real Estate Department
PO Box 3550
Palmer, AK 99645

NRCS
Soil & Water Conservation
5751 E. Mayflower Ct
Wasilla, AK 99654-7880

Oran Wooley
SOA/DEC
Waste Water RVW
1700 E. Bogard Rd
Bldg B, #103
Wasilla, AK 99654
SOA/DNR
WATER Resources
550 W. 7th Ave
Suite 1020
Anchorage, AK 99501

Roy Robertson
SOA/DEC
Waste Water RVW
1700 E. Bogard Rd
Bldg B, #103
Wasilla, AK 99654
SOA/DFG/Habitat
1800 Glenn Hwy
Suite 6
Palmer, AK 99645

SOA/DNR
Commissioner's Office
550 W. 7th Ave
Suite 1400
Anchorage, AK 99501

SOA/DNR
Technical Services
550 W. 7th Ave
Suite 650
Anchorage, AK 99510-3577

SOA/DOTPF
Mat-Su Area Planner
PO Box 196900
Anchorage, AK 99519-6900

Superintendent
SOA/DOTPF
289 Inner Springer Loop
Palmer, AK 99645

Debra Barrett
581 Briar Dr
Wasilla, AK 99654

Glenda Ledford
960 S. Century Drive
Wasilla, AK 99654

Jessica Dean
209 S. Vix Way
Wasilla, AK 99654

Loren Means III
1668 Pittman Road
Wasilla, AK 99687

Claudia Pinard
646 Peck Street
Wasilla, AK 99654

COW Public Works Director
Archie Giddings

City Council
Stu Graham

City Council
Gretchen O'Barr

City Council
Collen Sullivan-Leonard

City Council
Clark Buswell

City Council
Brandon Wall

City Council
David Wilson

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By: Planning
Public Hearing: 06/09/15
Adopted:

**WASILLA PLANNING COMMISSION
RESOLUTION SERIAL NO. 15-10**

A RESOLUTION OF THE WASILLA PLANNING COMMISSION APPROVING VARIANCE NO. V15-01 ALLOWING AN 19.5 FOOT VARIANCE FROM THE REQUIRED 25 FOOT FRONT YARD SETBACK AND A 45 FOOT VARIANCE FROM THE REQUIRED 75 FOOT SHORELINE SETBACK IN ORDER TO CONSTRUCT A SINGLE-FAMILY DWELLING, LOCATED ON TRACT 1, PARCEL 3, LAKESHORE 1963 SUBDIVISION IN THE MULTI FAMILY ZONING DISTRICT.

WHEREAS, William Starn submitted an application for a variance on May 12, 2015, along with a site plan and application fee; and

WHEREAS, notice of the application was mailed to all property owners within a 1,200 foot radius and review agencies and the Planning Commission as required by §16.16.040(A)(2) of the Wasilla Municipal Code; and

WHEREAS, a notice of the Planning Commission public hearing was published in the Frontiersman on June 2, 2015; and

WHEREAS, the Wasilla Planning Commission conducted a public hearing on the requested variance taking into account the information submitted by the applicant, the information contained in the staff report, written and verbal testimony, the applicable provisions of the Wasilla Municipal Code and Comprehensive Plan, and other pertinent information brought before them; and

WHEREAS, the Wasilla Planning Commission adopted Findings of Fact, attached as Exhibit A, summarizing basic facts and reasoning of the Commission.

NOW, THEREFORE BE IT RESOLVED, that the Wasilla Planning Commission hereby approves this application with the Findings of Fact, attached as Exhibit A and incorporated herein, with the following conditions:

1. Prepare a landscape plan to the City Planner for review and approval that re-vegetates the area between the structure and the high-water mark of Wasilla Lake in accordance with the Property Owner's Guide to Shoreline Landscaping in the Matanuska-Susitna Borough and any other requirements necessary to ensure adequate protection of the lake and shoreline.
2. Design the site appropriately to prevent direct runoff from the lots into the lake.
3. Obtain all necessary permits and approvals for the installation of any necessary water/sewer infrastructure.
4. Provide adequate shoreline vegetation or other stabilization methods at the water's edge to prevent additional erosion.
5. Obtain all necessary approvals prior to working on the water's edge.

ADOPTED by the Wasilla Planning Commission on -, 2015.

APPROVED:

ATTEST:

Glenda Ledford, Chairman Date

Tina Crawford, AICP, City Planner

EXHIBIT A
Wasilla Planning Commission Resolution 15-10
FINDINGS OF FACT – 16.28.110

§16.28.110(A) Application.

An application for a variance must be submitted to the planner. The application must be accompanied by a site plan of the relevant part of the parcel or lot. The planner may require that the site plan be produced by a registered professional engineer or land surveyor. The site plan shall depict all information relevant to the variance request.

Finding: A complete application was submitted to the Planning Department on May 12, 2015.

§16.28.110(B) Variance requests must be heard by the commission. Notice, comment period and hearing procedures follow the format outlined in WMC16.16.040.

Finding: The public hearing was scheduled in a timely manner for the next available Planning Commission meeting and the hearing format is consistent with the requirements in WMC 16.16.040(E). Public notice was mailed May 22, 2015 to all properties within a 1,200' radius, allowing for the proper number of days in which to comment in accordance with 16.16.040. Hearing procedure shall follow the criteria outlined in 16.16.040(A).

§16.28.110(C) Variance Standards

A variance may be granted only if:

1. The conditions upon which the variance application is based do not apply generally to properties in the district or vicinity other than the property for which the variance is sought;

Finding: The small, triangular shape does not apply generally to properties in the district or vicinity.

2. Such conditions arise out of natural features inherent in the property such as shape or topographical conditions of the property or because of unusual physical surroundings or such conditions arise out of surrounding development or conditions;

Finding: The parcel is in the original platted configuration from 1963.

3. Because of such conditions the strict application to the property of the requirements of this chapter will result in an undue, substantial hardship to the owner of the property such that no reasonable use of the property could be made;

Finding: Without approval of a variance, the parcel would be basically unbuildable since the Land Development Code requires a 25' front yard setback and a 75' shoreline setback.

4. The special conditions that require the variance are not caused by the person seeking the variance, a predecessor in interest, or the agent of either; and

Finding: The applicant did not cause the conditions that require a variance.

5. The variance is not sought solely to relieve pecuniary hardship or inconvenience.

Finding: The variance is not sought to relieve a pecuniary (financial) hardship or inconvenience. Without any variance, no structure may be built on the lot.

§16.28.110(D) If a property qualified for a variance under this section, the variance granted must meet the following conditions:

1. The deviation from the requirement of this title that is permitted by variance may be no more than is necessary to permit a reasonable use of the lot;

Finding: The variance request appears to be the minimum necessary to permit reasonable use of the parcel. The applicant is proposing a single-family dwelling.

2. The variance will not permit a land use that is prohibited by this title;

Finding: The proposed residential use is not prohibited as a residential use is permitted in a Residential Multifamily (RM) zoning district.

3. The variance is in keeping with the spirit and intent of this chapter and the requirements from which relief is sought;

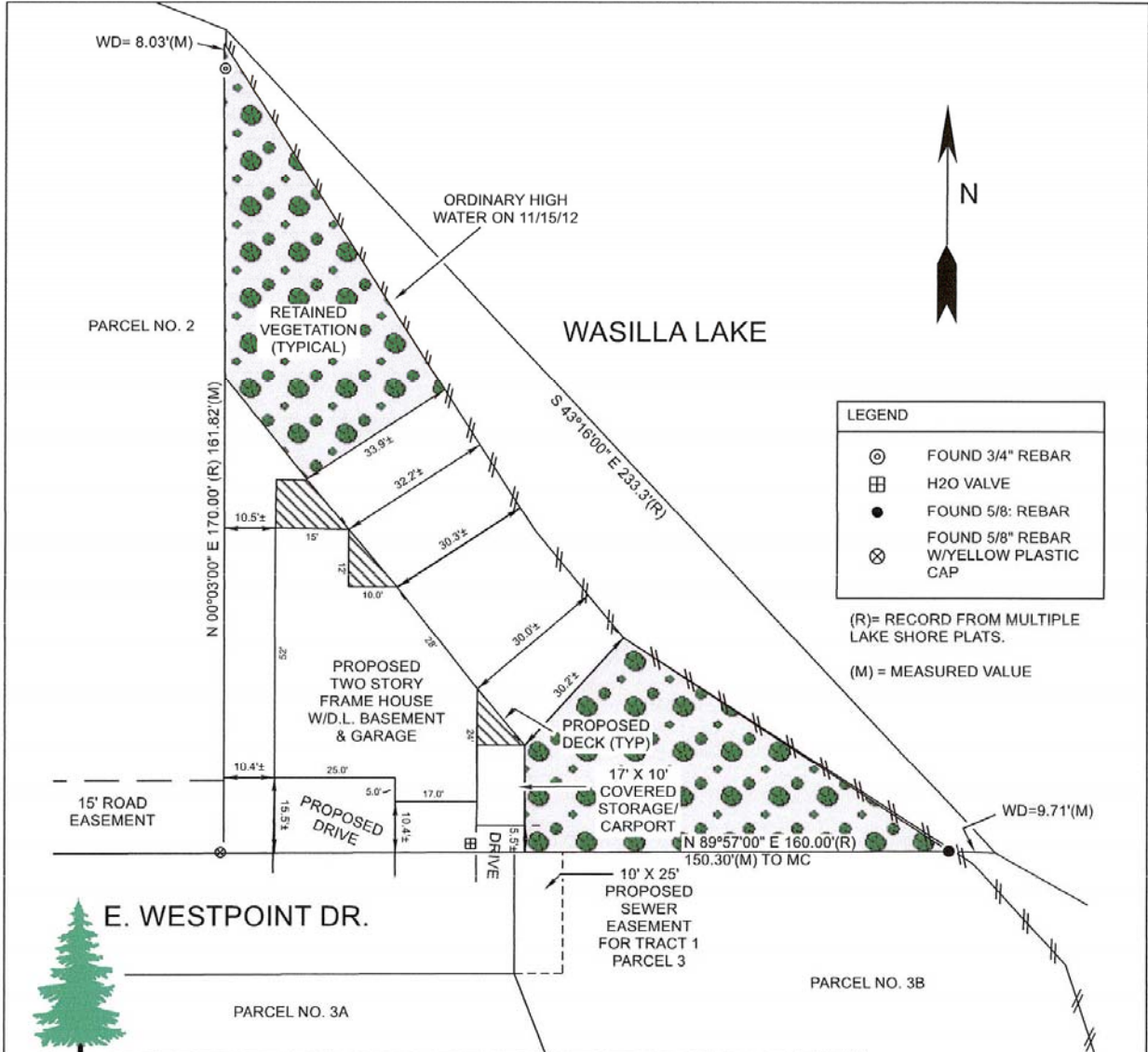
Finding: The variance is in keeping with the spirit and intent of the chapter.

4. The variance will not be detrimental to the public health, safety or welfare; and

Finding: The variance will not be detrimental to public health or welfare.

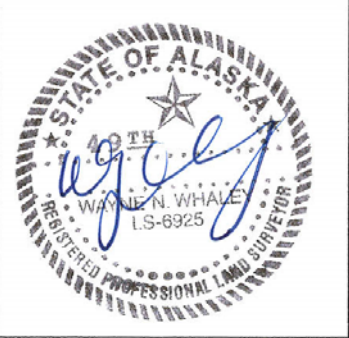
5. The variance will not significantly adversely affect other property.

Finding: The requested variance should not significantly adversely affect other properties in the area.



DENALI NORTH 47 W. Evergreen Ave. Palmer, Alaska 99645
 Phone (907) 745-1110

I HEREBY CERTIFY THAT I HAVE SURVEYED THE FOLLOWING DESCRIBED PROPERTY : TRACT 1 PARCEL 3
 AMENDED PLAT OF LAKESHORE SUBDIVISION
 PLAT NO. 63-10
 PALMER RECORDING DISTRICT, AND THERE ARE NO ENCROACHMENTS VISIBLE AT THE TIME OF THIS SURVEY, EXCEPT AS INDICATED.
 DATED THIS ____ DAY OF ____ 20__ AT PALMER, ALASKA.
 IT IS THE RESPONSIBILITY OF THE OWNERS OR BUILDERS TO DETERMINE THE EXISTENCE OF ANY EASEMENTS, COVENANTS OR RESTRICTIONS WHICH DO NOT APPEAR ON THE RECORDED SUBDIVISION PLAT. UNDER NO CIRCUMSTANCES SHOULD ANY DATA HEREON BE USED FOR CONSTRUCTION OR ESTABLISHING BOUNDARY OR FENCE LINES. THIS IS NOT A LOT CORNER SURVEY.



JOB NO. 12213		CLIENT		FIELD BOOK/PAGE(S) 238-68	
SCALE 30 Ft/in	PLOT PLAN	ASBUILT	X	MAP	
DRAWN HW		CKD. WW			

PERMIT INFORMATION 2015

APPLICATION RCVD	APPROVAL DATE	PERMIT #	TYPE	SQ FTG	TAX ID	SUBDIVISION	APPLICANT	SITE ADDRESS	ZONE	AS-BUILT SURVEY
ADMINISTRATIVE APPROVAL										
01/06/15	01/20/15	A15-01	COMM<10,000 SQ FT	1,157	2638B07L002A	WASILLA TOWNSITE RSB	YI, TONG	322 N MAIN ST	C	
01/08/15	01/12/15	A15-02	COMM<10,000 SQ FT	960	6910000L02	FERN PLAZA	KRUCKOWSKI, KRISTINA	1889 S KNICK-GOOSE BAY RD	C	
01/08/15	01/20/15	A15-03	SUBDIVISION		1097B05L003	SHADOWOOD VLY #1	MCMANUS, CASEY	601 N SHADOWOOD CIR	C	
01/09/15	01/12/15	A15-04	MEDICAL OFFICE	3,400	9058000U003	PARK AVE COMM CONDOS	VALLEY UPRIGHT IMAGING	261 E PARK AVE	C	
01/13/15	01/21/15	A15-05	COMM<10,000 SQ FT	1,527	2523B01L001A	FRED NELSON RSB	DELRAM, ANTHONY	224 N YENLO ST	C	
01/16/15	01/16/15	A15-06	DUPLEX	3,200		THE MEADOWS	ROBERT YUNDT HOMES	1551 N KERRY LN	RR	
01/16/15	01/16/15	A15-07	DUPLEX	3,200		THE MEADOWS	ROBERT YUNDT HOMES	1501 N KERRY LN	RR	
01/16/15	01/16/15	A15-08	SIGN	96	1066B05L010	WASILLA TOWNSITE	WANG, JOSEPH	111 E HERNING AVE	C	
01/27/15	02/10/15	A15-09	COMM<10,000 SQ FT	2,095	495600T00A4	OLSON 1999 ADD	EUNICE, WALTER	1511 E PARKS HWY	C	
01/28/15	PENDING	A15-10	COMM<10,000 SQ FT	1,120	1097B05L002	SHADOWOOD VLY #1	MCMANUS, CASEY	251 W GRAYBARK DR	C	
02/19/15	02/27/15	A15-11	SFD	1,620	1113B05L015	WASILLA ACRES	SKRIPNIK, ROMAN	1931 W VAUNDA AVE	RR	
02/20/15	02/23/15	A15-12	COMM<10,000 SQ FT	8,190	687900T00G-2	TALLERICO RSB	ELGEE, KEVIN	2150 S ENDEAVOR ST	RR	
02/24/15	02/25/15	A15-13	ALF	1,725	4993B06L017A	WASILLA EST	SAYEN, THEODORE	751 N SOMERSET CIR	RR	
02/25/15	02/25/15	A15-14	DUPLEX	3,359	1104B01L003	WASILLA EST	PRECISION HOMES	1101 W HOLIDAY DR	RR	
02/26/15	02/26/15	A15-15	COMM<10,000 SQ FT	500	1261B02L005	CENTURY PARK	CONRAD, ERIC	1075 CHECK ST	C	
02/26/15	03/02/15	A15-16	COMM<10,000 SQ FT	2,766	5816B01L004	CAROL	MILLER CONSTRUCTION	1951 RUPEE CIR	C	
03/02/15	03/02/15	A15-17	COMM<10,000 SQ FT	864	9155000U001A	WASILLA CENTER CONDOS	DJ FORMAL WEAR	705 S KNICK GOOSE BAY RD	C	
03/10/15	04/14/15	A15-18	COMM<10,000 SQ FT	8,208	4795000L004	DISCOVERY HILLS PH II	PAVLUS, IGOR	1100 N LUCUS RD	I	
03/10/15	03/19/15	A15-19	SUBDIVISION		4795000L004	DISCOVERY HILLS PH II	PAVLUS, IGOR	1100 N LUCUS RD	I	
03/13/15	PENDING	A15-20	COMM<10,000 SQ FT				RICHARDSON, SPENCER	901 S HERMON RD	C	
03/18/15	03/19/15	A15-21	TUP		3224B03L001B	MOUNTAIN VLG PLZ	HUGHES, RHONDA	991 HERMON RD	C	
03/02/15	03/24/15	A15-22	COMM<10,000 SQ FT	200	1901B01L005D	SNIDER	SHULTIS, RANDY	201 W PARKS HWY	C	
03/25/15	03/27/15	A15-23	DUPLEX	3,500	7277000L001	EXECUTIVE PROP #2	PREMIER HOMES LLC	1001 W CACHE DR	RR	
03/26/15	03/26/15	A15-24	COMM<10,000 SQ FT	920	1004B01L005	BIRCH PK WASILLA	UMBARGER, NOELLE	472 N MAIN ST	C	
04/06/15	04/07/15	A15-25	TUP		17N01W13A006		LITHIA-CHEV OF WASILLA	1350 S SEWARD MERIDIAN	C	
04/10/15	04/13/15	A15-26	FILL SITE		1104B06L029	WASILLA AIRPORT HTS	STOLL, STEVEN	950 W TURK CIR	RR	
04/13/15	04/16/15	A15-27	COMM<10,000 SQ FT	9,600	17N01W03A007		SMITH, MARK	1790 N PECK ST	RR	
04/22/15	04/23/15	A15-28	DUPLEX	3,000	2933B03L018	GVC II DIV II	ROBERT YUNDT HOMES	1121 E DELLWOOD ST	RR	
04/27/15	05/15/15	A15-29	COMM<10,000 SQ FT	165	3224B03L001B	MOUNTAIN VLG PLZ	LEE, ANNA	991 S HERMON RD	C	
04/28/15	04/30/15	A15-30	TUP		7321B03L015B	WASILLA HEIGHTS ADD 1	MAKETE, JOHN	1551 W PARKS HWY	C	
04/29/15	04/30/15	A15-31	SFD	2,526	5627B03L014	CENTER POINT PH 2	HARMEN EXCAVATING	270 W GOLDENWOOD ST	RM	
04/29/15	04/30/15	A15-32	SFD	2,106	7039000L00A	CENTER POINT PH 2	HARMEN EXCAVATING	480 W GOLDENWOOD ST	RM	
04/29/15	04/30/15	A15-33	SFD	2,120	7039000L00B	CENTER POINT PH 2	HARMEN EXCAVATING	486 W GOLDENWOOD ST	RM	
04/29/15	04/30/15	A15-34	SFD	2,158	7039000L00C	CENTER POINT PH 2	HARMEN EXCAVATING	488 W GOLDENWOOD ST	RM	
04/29/15	04/30/15	A15-35	SFD	2,364	7039000L00D	CENTER POINT PH 2	HARMEN EXCAVATING	491 W GOLDENWOOD ST	RM	
04/29/15	04/30/15	A15-36	SFD	2,016	7039000L00E	CENTER POINT PH 2	HARMEN EXCAVATING	487 W GOLDENWOOD ST	RM	
WITHDRAWN										
05/04/15	05/05/15	A15-38	TUP		2705000L014A-1	SNIDER #4	NANEZ, JOSE	731 W PARKS HWY	C	
05/06/15	05/07/15	A15-39	DUPLEX		6824B02L012E	WASILLA WOODS	FENDICH, ANOTOLY	221 E FOREST	RR	
05/06/15	PENDING	A15-40	SUBDIVISION		17N01W04B003		KNIK TRIBAL COUNCIL		RR	
05/12/15	PENDING	A15-41	TENANT SPACE		2956000T00A1	WASILLA MALL RSB	MARTINEZ, CHERI	591 E PARKS HWY	C	
05/08/15	05/14/15	A15-42	SUBDIVISION		17N01W17A002					
05/08/15	05/18/15	A15-43	HOME OCCUPATION		17N01W08D001		WICKER, BILLY & KATHLEEN	1270 & 1290 S ENDEAVOR ST	R-1/RR	
			COMM<10,000 SQ FT & LAND CLEARING		2323B03L020	GVCII DIV IV	MICHAEL, STACY	1075 E DELLWOOD ST	RR	
05/14/15	PENDING	A15-44	LAND CLEARING							
05/20/15	05/29/15	A15-45	COMM<10,000 SQ FT	2,593	17N01W03A007	OLSON 1999 ADD	SMITH, MARK	1790 N PECK ST	RR	
05/21/15	05/22/15	A15-46	COMM<10,000 SQ FT	1,500	4956000T00A3	CENTURY PARK	CFT DEVELOPMENTS LLC	1491 E PARKS HWY	C	
05/22/15	05/29/15	A15-47	COMM<10,000 SQ FT	1,000	1261B01L004	CENTURY PARK	WOLTER, JULIE	990 S CHECK ST	C	
			COMM<10,000 SQ FT	1,000	1046000T006-2	OLSON 1999 ADD	HAN, YONG	1375 E PARKS HWY	C	

APPLICATION RCVD	APPROVAL DATE	PERMIT #	TYPE	SQ FTG	TAX ID	SUBDIVISION	APPLICANT	SITE ADDRESS	ZONE	AS-BUILT SURVEY
05/22/15	05/22/15	A15-48	TUP	1,000	5303B11L013A	KENNEDY ADD	HANNAM, THOMAS	435 S KNIK ST	C	
05/22/15	05/28/15	A15-49	COMM<10,000 SQ FT	7,800	2072000L013B	SNIDER #4	YOUNG, JOO	601 W PARKS HWY	C	
05/27/15	05/29/15	A15-50	COMM<10,000 SQ FT	2,294	1046000T005-1	OLSON 1999 ADD	CFT DEVELOPMENTS LLC	1451 E PARKS HWY	C	
05/28/15	05/28/15	A15-51	SFD	3,168	5627B03L009	CENTER POINT PH 2	HARMEN EXCAVATING	475 W GOLDENWOOD	RM	
05/29/15	05/29/15	A15-52	COMM<10,000 SQ FT	6,400	6945B02L002	JOHN SULLIVAN HLS PH I	SCHWANKY, JIM	1231 W 32ND AVE	RR	
05/29/15	05/29/15	A15-53	COMM<10,000 SQ FT	2,700	5303B11L013A	KENNEDY ADD	HANNAM, THOMAS	435 S KNIK ST	C	
05/29/15	05/29/15	A15-54	DUPLEX	700	6859B01L011A	SNIDER	BOCHKORSKY, MARINA	951 W SELINA LN	RR	
06/01/15	PENDING	A15-55	COMM<10,000 SQ FT		3224B03L001B	MOUNTAIN VLG PLZ	PATTERSON, LARISA	991 N HERMON RD	C	
USE PERMITS										
03/12/15	04/07/15	U15-01	GRAVEL EXTRACTION		17N02W13A004		KENNEDY, DAN	1614 S CLAPP ST	I	
04/30/15	05/28/15	U15-02	ATHLETIC FIELDS		2076000T00A	IDITAROD ELEM SCH	MSSD	801 E BOGARD RD	C	
05/21/15	PENDING	U15-03	DWELLING UNIT	1,600	5303B11L013A	KENNEDY ADD	HANNAM, THOMAS	435 S KNIK ST	C	
CONDITIONAL USE PERMITS										
PLANNED UNIT DEVELOPMENT (PUD)										
REZONE										
07/28/15	WITHDRAW	R15-01	REZONE TO C		6879000T00G-2	TALLERICO	ELGEE, KIM	2150 S ENDEAVOR ST	RR	
LEGAL NON-CONFORMING USE										
SHORELINE SETBACK										
AMNESTY										
VARIANCE										
05/12/15	PENDING	V15-01	VARIANCE TO SETBACK		1037T0AP003	LAKESHORE 1963	STARN, WILLIAM	1245 E WESTPOINT DR	RM	



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DATE	COMPL. DISP. SELF	NAME/ADDRESS	INF. CON.	LTR. ISS?	CASE STATUS	NOTES
3/2/2015	S	WFH & Carpenter		N	RAL dog	15-13157 UTC
3/2/2015	PAT	Carrs		Y	Trespassing	15-13194
3/3/2015	D	291 Swanson		Y	Illegal dumpster use	15-13364 verbal warning
3/4/2015	S	Lucus & Mystery		Y	RAL dog	15-13651 RTO verbal warning
3/5/2015	S	Lake Lucille Park		N	Facility/security check	15-13812
3/5/2015	PAT	Bumpus		Y	Found property	15-13874
3/6/2015	S	Lake Lucille Park		N	Facility/security check	15-14060
3/6/2015	C	224 Yenlo		Y	Compliance inspection	15-14111
3/10/2015	D	1700 E Parks		Y	HCP parking violation	15-14956 unfounded
3/10/2015	D	445 Yenlo		N	Littering complaint	15-14991 no suspects/leads
3/13/2015	C	1660 E Parks		N	Abandoned veh in ROW	15-15569 red tag
3/13/2015	PAT	Parks & PWH		N	MVA traffic control	15-15572
3/16/2015	D	2690 Tamarak		Y	Dog bite	15-16314 unfounded
3/16/2015	D	900 Gambit		Y	Land use complaint	15-16317 refer to planner
3/17/2015	D	865 Wilder		Y	Abandoned veh in ROW	15-16534
3/17/2015	C	1771 E Parks		Y	HCP parking violation	15-16562 unfounded
3/17/2015	C	MUSC		Y	Illegal dumping	15-16601
3/18/2015	FUP	MUSC		Y	Illegal dumping	15-16601
3/18/2015	D	700 Somerset		Y	Trash complaint	15-16831
3/19/2015	D	3500 Tamarak		Y	RAL dog	15-16924
3/19/2015	D	3500 Tamarak		Y	RAL dog	15-17016
3/19/2015	C	201 W Parks		Y	Business license violation	15-17027 verbal warning
3/19/2015	C	2200 Mystery		Y	RAL dog	15-17033 UTL
3/20/2015	D	3500 Tamarak		Y	RAL dog	15-17236
3/20/2015	FUP	MUSC		Y	Illegal dumping	15-16601 littering citation
3/20/2015	S	Denali St.		N	Site inspection	15-17279
3/23/2015	PAT	Nelson & Graybark		N	Deploy radar cart	15-18129
3/24/2015	D	Carrs		Y	Illegal dumping	15-18308
3/24/2015	C	Parks & Church		Y	Illegal signs	15-18376
3/25/2015	FUP	Fred Meyer		N	Dog weelfare check	15-18294 UTL
3/25/2015	FUP	Carrs		Y	Illegal dumping	15-18308 verbal warning
3/25/2015	C	Lakewood & Harvest Loop		Y	RAL dog	15-18555 RTO verbal warning



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DATE	COMPL. DISP. SELF	NAME/ADDRESS	INF. CON.	LTR. ISS?	CASE STATUS	NOTES	
3/26/2015	FUP	Parks & Church		Y	N	Illegal signs	15-18376
3/26/2015	D	801 KGB		Y	N	Trespassing	15-18785 verbal warning
3/31/2015	FUP	453 E Swanson		N	N	Trespassing	15-19810
3/31/2015	FUP	Nelson & Graybark		N	N	Retrieve radar cart	15-18129
3/31/2015	FUP	801 KGB		Y	N	Trespassing	15-18785 verbal warning
3/31/2015	C	453 E Swanson		N	N	Trespassing	15-19975
3/31/2015	PAT	Crestwood & Lucille		N	N	MVA traffic control	15-19981
3/31/2015	D	516 Pine Ridge Loop		Y	N	RAL cat	15-19984 UTL