

Non-Code Ordinance

By: Planning Department
Introduced: April 28, 2014
Public Hearing: May 12, 2014
Adopted: May 12, 2014

Vote: Buswell, Harris, O'Barr, Sullivan-Leonard, Wall, Wilson in favor

**City of Wasilla
Ordinance Serial No. 14-22**

An ordinance of the Wasilla City Council approving a Planned Unit Development (PUD) to develop a 16-lot subdivision with one fourplex per lot (a total of 64 residential dwelling units) in the Commercial zoning district, on a 5.82 lot, which is Lot 2C, Creekside Plaza Subdivision.

WHEREAS, Alaska Rim Engineering, Inc., agent for JYG Investment Group, LLC, submitted an application on March 14, 2014 for approval of a PUD to develop a 5.82 acre parcel into a 16-lot subdivision with 64 residential dwelling units (one fourplex per lot); and

WHEREAS, the subject property on the eastern side of Old Matanuska Road just north of E. Glenwood Avenue and is located on Lot 2C, Creekside Plaza Subdivision (Plat No. 2014-21 – recently subdivided from Lot 2A, Creekside Plaza Subdivision); and

WHEREAS, WMC 16.16.070 states that a PUD is approved as rezoning overlay; and

WHEREAS, the Wasilla Planning Commission is required to make a recommendation with written findings to the Wasilla City Council for all rezoning/PUD requests; and

WHEREAS, on April 8, 2014, the Wasilla Planning Commission developed findings of fact on this request taking into account the information submitted by the applicant, the evaluation and recommendations of staff contained in the staff report and presentation, written and verbal public testimony, the applicable provisions of the Wasilla Comprehensive Plan and the Wasilla Municipal Code; and

WHEREAS, the Wasilla Planning Commission hereby determines that this application meets all applicable provisions of the Wasilla Comprehensive Plan and the Wasilla Municipal Code and adopted Wasilla Planning Commission Resolution Number 14-04(AM) with conditions of approval and findings of fact, which are incorporated by reference, recommending approval to the Wasilla City Council; and

WHEREAS, the Wasilla City Council has considered the request for this PUD and concurs with the Wasilla Planning Commission recommendation and findings in Wasilla Planning Commission Resolution Serial Number 14-04(AM), which is incorporated herein by reference.

NOW, THEREFORE, THE WASILLA CITY COUNCIL ORDAINS:

Section 1. Classification. This is a non-code ordinance.

Section 2. Purpose. To approve the PUD proposal to develop a 16-lot subdivision with one fourplex per lot (a total of 64 residential dwelling units) in the Commercial zoning district on a 5.82 lot, Lot 2C, Creekside Plaza Subdivision.

Section 3. Enactment. The proposed PUD is hereby approved with conditions of approval recommended by the Planning Commission in Resolution Serial Number 14-04(AM).

Section 4. Effective date. This ordinance shall take effect upon adoption by the Wasilla City Council.

ADOPTED by the Wasilla City Council on May 12, 2014.


VERNE E. RUPRIGHT, Mayor

ATTEST:



KRISTIE SMITHERS, MMC, City Clerk

[SEAL]





CITY COUNCIL LEGISLATION STAFF REPORT

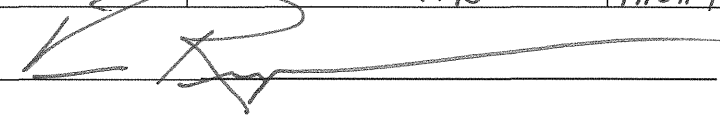
Ordinance Serial No. 14-22: Approving a Planned Unit Development (PUD) to develop a 16-lot subdivision with one fourplex per lot (a total of 64 residential dwelling units) in the Commercial zoning district, on a 5.82 lot, which is Lot 2C, Creekside Plaza Subdivision.

Originator: Tina Crawford, City Planner *TC*

Date: 4/10/2014

Agenda of: 4/28/2014

Route to:	Department Head	Signature	Date
	Chief of Police		
X	Public Works Director		4/16/14
X	Finance Director		4/16/14
X	Deputy Administrator		
X	City Clerk		4/16/14

Reviewed by Mayor Verne E. Rupright: 

Fiscal Impact: yes or no

Attachments: Ordinance Serial No. 14-22 (2 pages)

Planning Commission Resolution Serial No. 14-04(AM) (45 pages)

April 8, 2014 Planning Commission Minutes (6 pages)

Official Record for PUD #14-01(133 pages)

Summary Statement: The applicant, JYG Investment Group, LLC, is seeking approval of a Planned Unit Development (PUD), in order to develop a 16-lot subdivision with one fourplex per lot (a total of 64 residential dwelling units) utilizing the PUD process in WMC 16.20.030. The subject property is a 5.8 acre lot located on the east side of Old Matanuska Road just north of Glenwood Avenue. **Note:** Approval of a PUD creates an overlay district upon the existing zoning district and is subject to the same requirements of a rezoning with the exception that the PUD is approved with a binding site plan and conditions.

The PUD regulations allow the applicant to request flexibility in the zoning requirements (e.g. setbacks, landscaping, land clearing, density, land uses) in order to create a more efficient and aesthetic development of the site. As part of the PUD approval process, the Planning Commission is required to hold a public hearing regarding the requested PUD to determine if it complies with the PUD requirements and then make a recommendation to the City Council regarding the proposed development. The recommendation is in the form of a resolution and includes findings of facts showing how the development complies with the PUD requirements along with any conditions of approval.

The flexibility sought by the applicant includes setback variances to several lots within the development and approval to clear all of the vegetation from the site with the exception of a buffer around the perimeter of the site. The land clearing regulations in WMC 16.33.050 only allows 70% of the lot to be cleared of vegetation for development of a site unless a waiver is approved by the Planning Commission or as part of a PUD approval. A chart outlining the specific variances for each lot along with a landscape plan showing the proposed buffer to remain is included in the Official Record.

The Planning Commission held the public hearing on April 8, 2014 and voted 3-2 to approve Resolution Serial No. 14-04(AM), which recommends approval of the development with conditions.

Staff Recommendation: Introduce and set for public hearing Ordinance Serial No. 14-22.

By: Planning
Public Hearing: 04/08/14
Adopted: 04/08/14

**WASILLA PLANNING COMMISSION
RESOLUTION SERIAL NO. 14-04 (AM)**

A RESOLUTION OF THE WASILLA PLANNING COMMISSION RECOMMENDING APPROVAL OF A PLANNED UNIT DEVELOPMENT (PUD) TO DEVELOP A 16-LOT SUBDIVISION WITH ONE FOURPLEX PER LOT (A TOTAL OF 64 RESIDENTIAL DWELLING UNITS.)

WHEREAS, Alaska Rim Engineering, Inc., agent for JYG Investment Group, LLC, submitted an application on March 14, 2014 for approval of a PUD to develop a 5.82 acre parcel into a 16-lot subdivision with 64 residential dwelling units (one fourplex per lot); and

WHEREAS, the subject property on the eastern side of Old Matanuska Road just north of E. Glenwood Avenue and is located on Lot 2C, Creekside Plaza Subdivision (Plat No. 2014-21 – recently subdivided from Lot 2A, Creekside Plaza Subdivision); and

WHEREAS, WMC 16.16.070 states that a PUD is approved as rezoning overlay district; and

WHEREAS, the Planning Commission is required to make a recommendation with written findings to the City Council for all rezoning/PUD request; and

WHEREAS, the Wasilla Planning Office mailed notices of the request to 109 property owners within 1,200 radial feet of the proposed development; and

WHEREAS, the public hearing date and time was publicly advertised; and

WHEREAS, the Wasilla Planning Commission deliberated on this request taking into account the information submitted by the applicant, the evaluation and recommendations of staff contained in the staff report, public testimony - both written

and verbal comments, the applicable provisions of the Wasilla Comprehensive Plan, and other pertinent information brought before them; and

WHEREAS, the Wasilla Planning Commission has developed Findings of Fact to summarize the basic facts and reasoning of the commission; and

WHEREAS, after due consideration, the Planning Commission hereby determines that this application meets all applicable provisions of Wasilla Municipal Code.

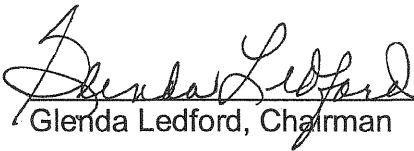
NOW, THEREFORE BE IT RESOLVED, that the Wasilla Planning Commission recommends that the City Council approve this PUD application with the Findings of Fact attached as Exhibit A and incorporated herein and with the following conditions:

1. All development on the site must substantially comply with the site plan and landscape plans attached as Exhibit B. Any changes to the plans must be submitted to the City Planner for review. Minor revisions may be approved by the City Planner and all other changes must be approved as a rezoning request/amendment to the PUD.
2. The applicant must replant a vegetated buffer along Old Matanuska Road in front of Lots 14-16 that provides a screening effect similar to what currently exists and in a manner that allows safe interaction between the driveways and the existing bike path.
3. The applicant must provide evidence of the creation of a homeowner's association and associated restrictions that prohibit the construction of fences within the subdivision and maintains and preserves all vegetated and grassed areas and bike path as open spaces for the enjoyment of all of the residents prior to occupancy of any of the buildings on the site.
4. No activity may commence on the site until all construction and landscape guarantees have been posted with and approved by the City.

5. The applicant shall submit a final PUD overlay district plan to the City Planner within one year after the date of the approval of the preliminary PUD overlay district plan as required in WMC 16.20.030(F).
6. The applicant must obtain the required driveway and water/sewer permits from the City Public Works Department. The proposed drainage plan must be approved by the City Public Works Director prior to any construction on the site.

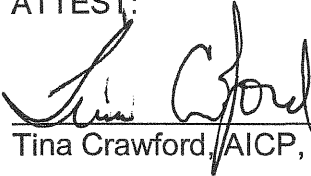
ADOPTED by the Wasilla Planning Commission on April 8, 2014.

APPROVED:

 4/10/14

Glenda Ledford, Chairman Date

ATTEST:



Tina Crawford, AICP, City Planner

VOTE: YES: Dean, Kelly, and Ledford
 NO: Means and Pinard

EXHIBIT A
Wasilla Planning Commission Resolution 14-04
FINDINGS OF FACT

COMPLIANCE WITH WMC 16.16.050 – GENERAL APPROVAL CRITERIA

16.16.050 *An administrative approval, use permit, elevated administrative approval, elevated use permit or conditional use may be granted if the following general approval criteria and any applicable specific approval criteria of Section 16.16.060 are complied with. The burden of proof is on the applicant to show that the proposed use meets these criteria and applicable specific criteria for approval. An approval shall include a written finding that the proposed use can occur consistent with the comprehensive plan, harmoniously with other activities allowed in the district and will not disrupt the character of the neighborhood. Such findings and conditions of approval shall be in writing and become part of the record and the case file.*

16.16.050(1)&(5) *Neighbors/Neighborhoods. Due deference has been given to the neighborhood plan or comments and recommendations from a neighborhood with an approved neighborhood plan.*

Finding: This criterion is not applicable since this parcel is not part of an adopted neighborhood plan.

16.16.050(2) *Plans. The proposal is substantially consistent with the city comprehensive plan and other city adopted plans.*

Finding: The proposed use is consistent with the Comprehensive Plan’s Mixed Use Future Land Use Map designation and the Commercial zoning district that implements the Comprehensive Plan.

16.16.050(3) *Special Uses. The proposal is substantially consistent with the specific approval criteria of Section 16.16.060.*

Finding: The specific approval criteria under 16.16.060 are not applicable since multi-family residential is not one of the special uses with additional criteria.

16.16.050(4) *Reviewing Parties. Due deference has been given to the comments and recommendations of reviewing parties.*

Finding: The City mailed 109 notices to neighboring property owners within 1200', 25 review agencies that are typically provided with the opportunity to comment, and the Planning Commission and City Council. At the time of packet preparation, only one comment was received that expressed concerns regarding the availability of water/sewer to serve the development and the traffic from the proposed 64 units. As indicated in the findings and the application packet, the development has direct access onto a major collector roadway (Old Matanuska Road) and will connect to city water and sewer services. Regarding the number of dwelling units, the Commercial zoning district has no limit on density provided that all other criteria are met.

Any comments received after distribution of the packet will be provided at the public hearing and be addressed at that time.

16.16.050(6) *Fire Safety and Emergency Access. The proposal shall not pose a fire danger as determined by the State Fire Marshal or the fire chief of the district in which the proposed use is located. Adequate access for emergency and police vehicles must be provided.*

Finding: The MSB Fire Chief's office will review the construction plans for compliance with all applicable fire codes, building codes and emergency access as related to the public health, safety and welfare prior to construction. Access for emergency vehicles will be provided from Old Matanuska Road and the proposed subdivision road.

16.16.050(7) *Traffic. The proposed use shall not overload the street system with traffic or result in unsafe streets or dangers to pedestrians.*

Finding: The proposed subdivision will be located at the western end of Old Matanuska Road, which is a major collector road. This multi-family development will not overload the street system or create unsafe streets or dangers to pedestrians.

16.16.050(8) *Dimensional Standards. The dimensional requirements of Section 16.24.010 are met.*

Finding: The attached site plan submitted by the applicant either complies with or requests the necessary variances as part of the PUD to the minimum setbacks and maximum height requirements of §16.24.010. The applicant has provided a table outlining the setback variances needed for this development in their PUD narrative. NOTE: Although they identify the need for side setback

variances for several lots, the Commercial zoning district allows a zero side setback provided that the building construction meets the State of Alaska Fire and Life Safety Regulations.

16.24.050(9) ***Parking. The parking, loading areas, and snow storage sites for the proposed development shall be adequate, safe and properly designed. The developer may be required to install acceptable lighting at pedestrian or vehicular access points.***

Finding: The site plan provides the required parking and snow storage areas.

16.16.050(10) ***Utilities. The proposed use shall be adequately served by water, sewer, electricity, on-site water or sewer systems and other utilities.***

Finding: The site is adequately served by water and sewer and other utilities are currently available in the area.

16.16.050(11) ***Drainage. The proposed use shall provide for the control of runoff during and after construction. All roads and parking areas shall be designed to alleviate runoff into public streets, adjoining lots and protect rivers lakes and streams from pollution. Uses may be required to provide for the conservation of natural features such as drainage basins and watersheds, and land stability.***

Finding: The proposed drainage plan indicates on-site storage for runoff from the site. Additionally, in-depth review and approval of the plans will be required by the Public Works department prior to construction.

16.16.050(12) ***Large Developments. Residential development of more than four units or non-residential development of more than ten thousand (10,000) square feet gross floor area may be required to provide a site plan showing measures to be taken for the preservation of open space, sensitive areas and other natural features; provision of common signage; provision for landscaping and provisions for safe and effective circulation of vehicles, pedestrians and bicycles. Nonresidential large developments must be located with frontage on one of the following class of streets: interstate, minor arterial, major collector or commercial.***

Finding: The site plan indicates sufficient open space, vehicle and pedestrian circulation, and landscaping. According to the applicant, all vegetated and grassed areas will be dedicated as common area for the development and will be maintained and managed by a homeowner's association. Fences will not be permitted so all residents will be able to utilize the open areas and a bicycle/pedestrian path will provide dedicated access from the interior lots to the path along Old Matanuska Road.

16.16.050(13) *Peak Use. The proposed use shall not result in significantly different peak use characteristics than surrounding uses or other uses allowed in the district.*

Finding: There should not be different peak use characteristics than the surrounding uses or area since the surrounding area is developed with higher density residential uses.

16.16.050(14) *Off-Site Impacts. The proposal shall not significantly impact surrounding properties with excessive noise, fumes or odors, glare, smoke, light, vibration, dust, litter, or interference in any radio or television receivers off the premises, or cause significant line voltage fluctuation off the premises. Radio transmitters and any electronic communications equipment regulated by the Federal Communications Commission is specifically excluded from regulation by this section. Welding, operation of electrical appliances or power tools, or similar activities that cause off site impacts as described above are specifically regulated by this subsection. Buffering may be required to ameliorate impacts between residential and nonresidential uses. The owner of the property upon which the buffer is constructed is responsible for the maintenance of the buffer in a condition that will meet the intent of these criteria.*

Finding: The proposed use should not generate any negative impacts to the surrounding properties.

16.16.050(15) *Landscaping. The proposed use shall be designed in a manner that minimizes the removal of trees and vegetative cover, and shall conform to the standards in this title concerning the provision and maintenance of landscaping, and any landscaping plan that is required for the proposed use under this title. The approval authority also may condition approval on the provision of the following:*

a. A fenced storage area for common use, adequate to store boats, trailers, snowmobiles, recreational vehicles and similar items.

b. Adequately sized, located and screened trash receptacles and areas.

Finding:

The applicant is requesting approval to remove all of the existing vegetation except a 15' wide strip of trees along the on the north, south, and eastern property boundaries. They propose to grass the remaining area and plant the required 36 trees and 72 shrubs throughout the development.

However, this is an area where the majority of the lots (including the condominium development to the southeast have retained a thick, natural buffer of trees and vegetation along Old Matanuska Road. The existing multi-purpose path along the east side of Old Matanuska Road is part of the City's parks and trail system and leads to a newly acquired natural, passive recreation park along Cottonwood Creek on the west side of Old Matanuska Road.

Therefore, staff is recommending that the PUD approval be conditioned upon them preserving all of the existing vegetation in the right of way along Old Matanuska Road that abuts Lots 1 and 13 including the existing vegetation on Lots 1 and 13 between the western building edge to the multi-purpose path to preserve the natural beauty of this area. A minimal amount of clearing at the intersection of Kinzi Circle and Old Matanuska road may be cleared for the placement of a subdivision entrance sign/feature, subject to review and approval by the City Planner or Planning Commission. In addition, they are proposing the clear the trees and natural vegetation in the right-of-way abutting Lots 14-16 to install water lines, staff is recommending that they be retain the existing trees and vegetation to the greatest extent possible and then replant a minimum of a 20' wide buffer along Old Matanuska Road that screens and softens the appearance of these units from the roadway. The replanted buffer should achieve the same buffer effect as a 20' wide swath of the existing trees and vegetation.

16.16.050(16)

Walkways, Sidewalks and Bike Paths. Pedestrian walkways or bicycle paths may be required where necessary to provide reasonable circulation or access to schools, playgrounds, shopping areas, transportation or other community facilities. Improvements must be constructed to standards adopted by the engineer.

Finding:

An existing multi-purpose path is located along Old Matanuska Road and the applicant is proposing to install a new bike/pedestrian path that will provide direct access to the existing path.

16.16.050(17)

Water, Sewage and Drainage Systems. If a proposed use is within five hundred (500) feet of an existing, adequate public water system, the developer may be required to construct a distribution system and the connection to the public system. A developer may be required to increase the size of existing public water, sewer or drainage lines or to install a distribution system within the development. The commission may require any or all parts of such installation to be oversized. The developer must submit to the engineer an acceptable plan that shows that if within ten (10) years an increase in capacity will be required to serve other areas how these needs will be met by oversized facilities. When installation of oversized facilities is required, the developer shall install such facilities at their own expense. The developer shall be reimbursed the amount determined by the engineer to be the difference in cost between the installed cost of the oversized utility lines and the installed cost of the utility lines adequate to serve both the development concerned and all other land to be served by the lines which is owned or under the control of the developer, provided the developer may not be required to install facilities unless funds for such oversizing have been appropriated for the purpose by the city and there is a sufficient unencumbered balance in the balance in the appropriation. No reimbursement may be made unless the developer has entered into such agreement with the city, including conveyances of personal property including lines, lift stations and valves and conveyances of land or rights in land, as the city determines may be necessary to ensure complete control by the city of its sewer, drainage and water lines when they are extended to serve the property of the developer. Notwithstanding the requirement that the developer construct improvements to existing systems, the commission may elect to accomplish the design or construction, or both, of improvements to be made to existing public systems. In such a case, the commission may require advance payment to the city of the estimated cost of work to be accomplished by the city. The developer shall reimburse the city for all expenses of such design or construction not paid in advance. A public system is adequate if, in the judgment of the engineer, it is feasible for the developer to make improvements to the public system which will provide the increased capacity necessary to serve the existing users and the new development at the same level as is being provided to the existing users. Prior to approval of a use for which a community water system is required, the developer must submit evidence showing that there is available a satisfactory source of water. A source of water is satisfactory only if it can be shown that the proposed source

will produce water sufficient in quality and quantity to supply the development. The water system and the connection between such distribution systems and the source must be sized and constructed to meet fire flow and hydrant requirements for fire protection and that the developer has obtained or can obtain a water appropriation permit or certificate for the water from the state. The system must be built to city specifications available from the engineer.

Finding: City utilities are in the immediate area and sufficient capacity exists for the proposed use. The applicant will coordinate with the Public Works department to obtain all necessary City permits.

16.16.050(18) ***Historic Resources. The proposed use shall not adversely impact any historic resource prior to the assessment of that resource by the city.***

Finding: At this time there are no known historic resources on the site. However, the Matanuska-Susitna Borough Cultural Resources Office was notified of the plans to develop this site.

16.16.050(19) ***Appearance. The proposed use may be required to blend in with the general neighborhood appearance and architecture. Building spacing, setbacks, lot coverage, and height must be designed to provide adequate provisions for natural light and air.***

Finding: There is adequate spacing between the buildings and the proposed use will be compatible with the surrounding uses.

16.16.050(20) ***Open Space and Facilities. The applicant may be required to dedicate land for open space drainage, utilities, access, parks or playgrounds. Any dedication required by the city must be based on a written finding that the area is necessary for public use or safety and the dedication is in compliance with adopted municipal plans and policy. The city finding shall conclude that a direct connection exists between the development and the need for the provision of the dedication...***

Finding: According to the applicant, all vegetated and grassed areas will be dedicated as common area for the development and will be maintained and managed by a homeowner's association. Fences will not be permitted so all residents will be able to utilize the open areas and a bicycle/pedestrian path will provide dedicated access from the interior lots to the path along Old Matanuska Road.

16.16.050(21) Winter Hassles. The proposed use shall not significantly increase the impact on the surrounding area from glaciation or drifting snow.

Finding: There are no foreseeable problems associated with winter conditions are anticipated for the proposed use and all snow storage will be accommodated on site.

COMPLIANCE WITH WMC 16.16.070 - REZONING

A. Initiation. A rezoning may be initiated by the developer, the planner, any member of the commission, a city council member, the mayor, or by a petition bearing the signatures of the owners of at least fifty-one (51) percent of the owners of property within the area proposed to be rezoned.

Finding: This criterion is met since the subject rezoning was initiated by the property owner.

B. Restrictions. Rezoning of an area less than two acres shall not be considered unless the rezoning involves the contiguous expansion of an existing zone, or a planned unit development overlay district. Streets or other rights-of-way shall not be included in calculating the minimum area for a rezoning. The area to be rezoned shall be a logical, integrated area.

Finding: This criterion is met since the parcel is approximately 5.8 acres.

C. Procedure. The application, acceptance notice, review and decision procedures for a rezoning shall follow the procedures set forth for a conditional use in Section 16.16.040. If the commission fails to act within twenty (20) days of the close of the hearing the rezoning request shall be considered approved and shall be forwarded to the council.

Finding: All applicable application, notice, review, and decision procedures were followed consistent with Section 16.16.040.

D. Criteria. The commission shall make a recommendation to the council based on written findings that the appropriate following criteria have been addressed:

1. Due deference has been given to the neighborhood plan; or comments and recommendations from a neighborhood with an approved neighborhood plan;

Finding: This criterion is not applicable since there are not any approved neighborhood plans in the area. However, notices were mailed to all property owners within 1200' to inform them of the proposed development and give them time to provide comments/concerns.

2. The proposed rezoning substantially complies with Section 16.16.050, and Section 16.20.030 in the case of the establishment or modification of a PUD overlay district;

Finding: The proposed PUD substantially complies with the applicable provisions of Section 16.16.050 General Approval Criteria and the PUD requirements in WMC 16.20.030. Detailed findings regarding consistency with the PUD requirements are included in this report. Additional in-depth review for consistency with Title 16 will be done by planning staff upon receipt of permit applications for future development on these parcels.

3. The proposed rezoning is in an area with adequate services, including as appropriate; roads, parking, sidewalks, water, sewer, gas, electricity, drainage, police and fire protection, or the developer has agreed to provide all the necessary improvements or services for the area;

Finding: The proposed development is in an area that has access to the services above or will provide them at time of development.

4. The comments from reviewing parties (Section 16.08.040) on the proposed rezoning have been adequately addressed;

Finding: At the time of packet preparation, only one comment was received that expressed concerns regarding the availability of water/sewer to serve the development and the traffic from the proposed 64 units. As indicated in the findings and the application packet, the development has direct access onto a major collector roadway (Old Matanuska Road) and will connect to city water and sewer services. Regarding the number of dwelling units, the Commercial zoning district has no limit on density provided that all other criteria are met.

Any comments received after distribution of the packet will be provided at the public hearing and be addressed at that time.

5. There is a demonstrated need for additional land in the zoning district to accommodate uses allowed;

Finding: This criterion is not applicable since the zoning designation will remain Commercial and the proposed multi-family use is consistent with the zoning. The PUD provides additional flexibility and relaxation of development standards.

6. The resulting district or expanded district will be a logical, integrated area; and

Finding: The proposed PUD is consistent with the multi-family uses along Old Matanuska Road.

7. *The rezoning is in conformance with the city comprehensive plan.*

FINDING: The proposed PUD is consistent with the intent of the Mixed Use future land use designation in the Comprehensive Plan. The implementation policies of the Comprehensive Plan states that the appropriate zoning for a FLUM should be the most appropriate for the area and should take into consideration the purpose of the zoning district, the proposed rezoning site, and the zoning and/or development pattern of the surrounding area.

COMPLIANCE WITH WMC 16.20.030 – PLANNED UNIT DEVELOPMENT OVERLAY DISTRICT

A. *Purpose. The purpose of the PUD overlay district is to promote innovative and efficient land use and design by permitting greater flexibility in zoning requirements than this title generally permits. This flexibility should result in a more efficient and aesthetic development of the project site, allowing higher residential density or increased intensity or mix of uses than would be permitted in the underlying zoning district, while preserving harmony with uses in the surrounding area.*

Finding: The relaxation of the setback and land clearing sections of the code allow a higher density that would otherwise be reached on this parcel. Developing more dense residential uses on the parcel is consistent with the other multi-family development in the area and is very close to the commercial core of the city, which provides the opportunity to walk or bike to obtain goods and services or to get to work.

B. *Application. A PUD overlay district may be located in any zoning district, and may be used for any residential, commercial or industrial use or combination thereof. The terms and conditions of a PUD overlay district supplement the regulations in the underlying zoning district, and modify and supersede any conflicting regulations in the underlying zoning district. A PUD overlay district may be applied only to a parcel having an area not less than two acres, unless the planner finds one or more of the following factors justifies applying a PUD overlay district to a parcel having an area less than two acres:*

- 1. *Applying a PUD overlay district will permit reasonable development of the parcel while preserving an unusual physical or topographic feature of importance to the area as a whole;***

2. ***The parcel is adjacent to an existing PUD overlay district, and will be developed as an extension of, or compatibly with, that existing district;***
3. ***The project will use design features that benefit the general public and surrounding area, and that would not be permitted in the underlying zoning district;***
4. ***The project will provide a desirable mixture of uses, or meet a need for affordable residential, commercial or industrial development that would not be feasible under the regulations in the underlying zoning district; or***
5. ***The PUD overlay district will facilitate redevelopment in the downtown area as described in the comprehensive plan.***

Finding: The proposed PUD meets this criterion since the parcel is approximately 5.8 acres.

- C. *Permitted Uses. The permitted uses in a PUD overlay district shall be specified in the ordinance establishing the district, and may include any uses permitted in the underlying zoning district by administrative approval, use permit or conditional use permit that are appropriate in furtherance of the goals of the comprehensive plan and designed to complement each other. In addition, the following uses are permitted in a PUD overlay district:***

1. ***Multifamily dwellings.***
2. ***The following uses that only serve permitted residential uses within the PUD overlay district: community buildings; indoor or outdoor recreation facilities; and recreational vehicle storage.***
3. ***Retail commercial uses that serve principally the permitted residential uses within the PUD overlay district and the surrounding neighborhood.***

Finding: The site plan for the proposed PUD indicates that one multi-family structure (fourplex) will be developed on each proposed lot, which is permitted in the Commercial zoning district as a Use Permit.

- D. *Design and Development Standards. All uses and structures in a PUD overlay district shall conform to the following design and development standards:***

1. ***Buildings, parking areas, pedestrian, bicycle and vehicular ways, and utility easements shall be designed to promote public safety, minimize conflict between uses, and reasonably maintain topography and other natural features.***

Finding: The proposed PUD provides adequate building separation, parking areas, pedestrian and bicycle access and interconnectivity within

the site and significantly maintains the topography and other natural features.

2. ***The design shall take into account the relationship of the site to the surrounding areas and between differing uses on the site, and shall minimize adverse impacts between the project and adjacent land uses, and different types of potentially incompatible land uses. Incompatibilities to be mitigated include traffic congestion, noise, visual intrusion and hours of operation.***

Finding: The proposed PUD development is consistent with the surrounding land uses and will not create negative impacts.

3. ***If existing topographical or other barriers within ten (10) feet of the perimeter of the PUD overlay district do not sufficiently mitigate incompatibilities with adjacent existing uses, one or more of the following shall be required:***
 - a. ***Structures located on the perimeter of the district shall be set back in accordance with the front yard setback of the underlying zoning district.***
 - b. ***Screening or buffering shall be provided on the perimeter of the district in accordance with Section 16.33.030(G).***

Finding: The proposed PUD is compatible with the surrounding multi-family land uses and does not require any screening or buffering.

4. ***Common open space shall meet the following requirements:***
 - a. ***The common open space shall be for amenity or recreational purposes, and appropriate to the size and character of the district, including its residential density, expected number of residents or employees, topography, and the number and type of dwellings.***
 - b. ***The common open space shall be suitably landscaped for its intended use, except that natural features worthy of preservation may be left unimproved.***
 - c. ***Any buildings, structures and improvements in the common open space shall be appropriate to the uses that are authorized for the common open space.***
 - d. ***Common open space shall be operated and maintained either through an association of owners of property in the PUD overlay district established under Chapter 34.08 of the Alaska Statutes, or by a public agency that has accepted a dedication of the common open space.***

Finding: The site plan indicates sufficient open space, vehicle and pedestrian circulation, and landscaping. According to the applicant, all vegetated and grassed areas will be dedicated as common area

for the development and will be maintained and managed by a homeowner's association. Fences will not be permitted so all residents will be able to utilize the open areas and a bicycle/pedestrian path will provide dedicated access from the interior lots to the path along Old Matanuska Road.

5. ***Changes in Required Dimensions. The minimum lot and yard dimension requirements in the underlying zoning district may be waived for a PUD overlay district as necessary to achieve a better design, where compensating design or structural measures ensure adequate separation for fire protection, visual and acoustical privacy, and adequate light and air. Individual parcels in a PUD overlay district may exceed the maximum lot coverage in the underlying zoning district; provided, that the entire PUD overlay district does not exceed the maximum lot coverage. Building height in a PUD overlay district may exceed the maximum permitted in the underlying zoning district by fifty (50) percent; provided, that the design of improvements in the PUD overlay district protects uses and structures both inside and outside the PUD overlay district from adverse impacts on privacy, light and air.***

Finding: The proposed development requires waivers of the minimum setbacks, clearing requirements, and landscaping requirements, which are identified in detail in the applicant's PUD application materials and shown on the proposed site and landscaping plans.

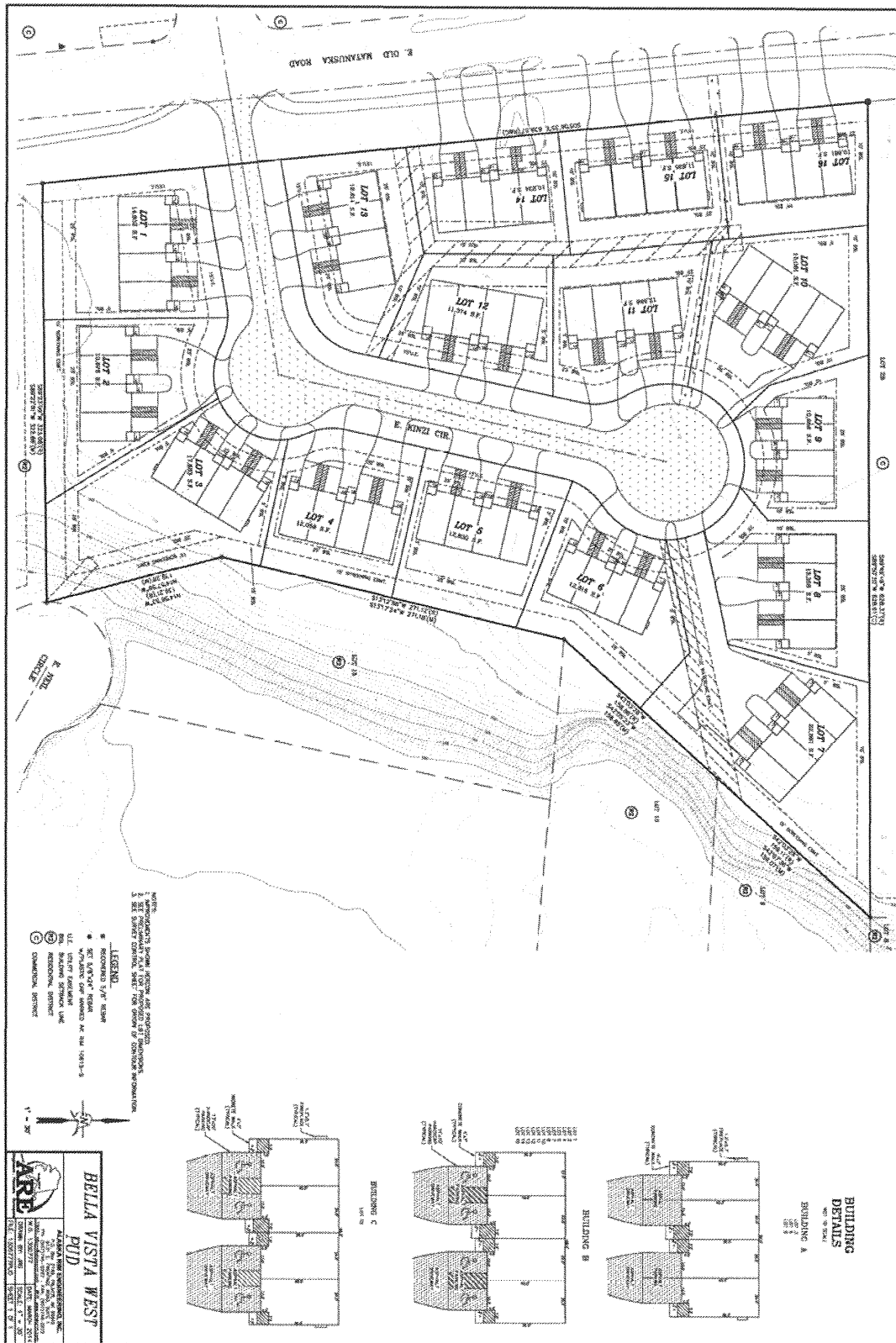
6. ***Required Improvements. All streets, paving, curbs, sidewalks, utilities, street lighting and similar facilities must be developed according to city standards unless specifically waived upon recommendation of the public works director.***

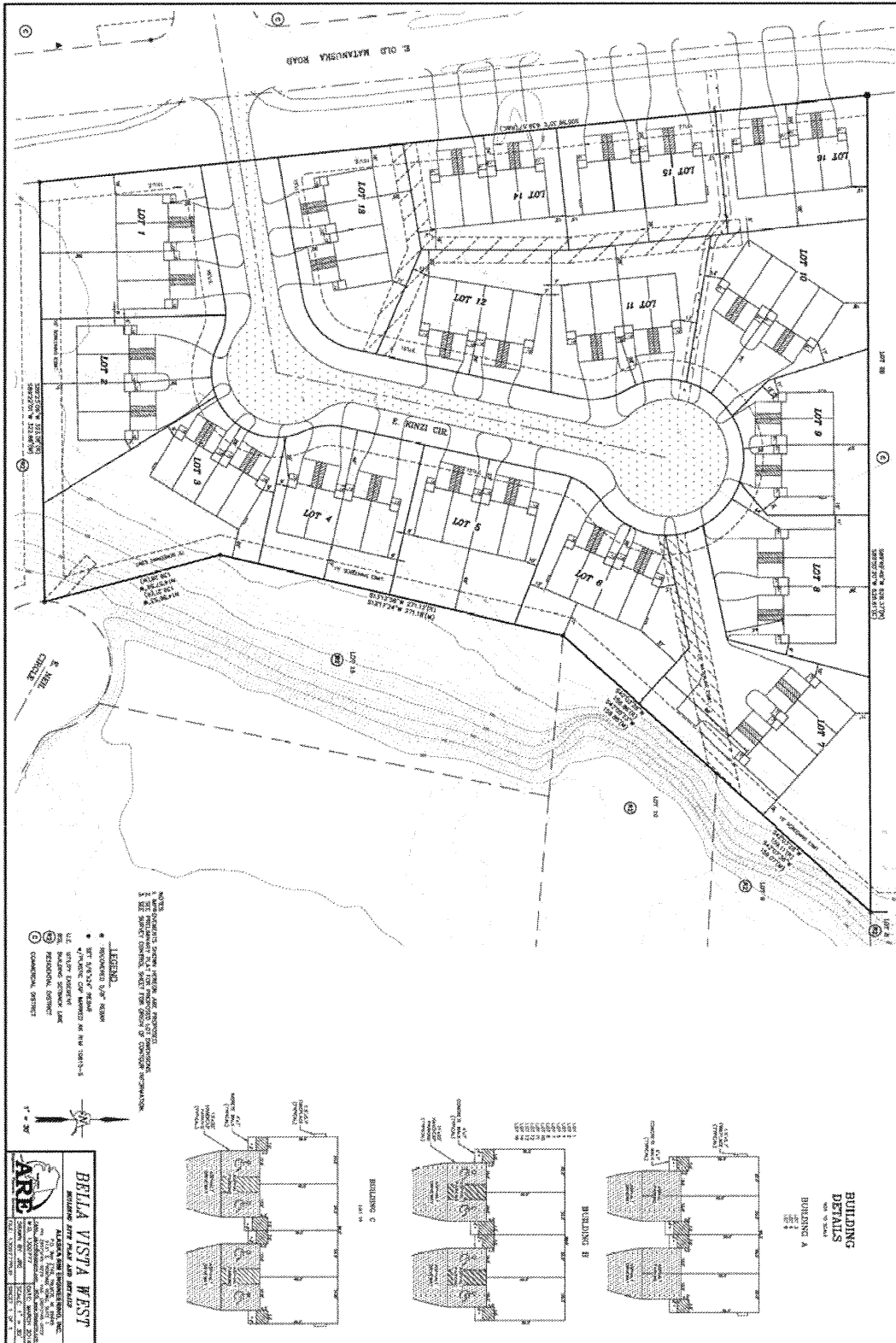
Finding: All improvements will be constructed to applicable city and borough standards.

7. ***Project Phasing. An application for initial approval of a PUD overlay zone may provide for the project to be constructed and finally approved in sequential phases.***

Finding: The applicant is requesting that the PUD be approved for phased development as shown in their application materials.

EXHIBIT B







LOT	OWNER	ADDRESS	CITY	STATE	ZIP
LOT 1
LOT 2
LOT 3
LOT 4
LOT 5
LOT 6
LOT 7
LOT 8
LOT 9
LOT 10
LOT 11
LOT 12
LOT 13
LOT 14
LOT 15
LOT 16
LOT 17
LOT 18

- NOTES:**
1. THE LAND SHOWN HEREIN IS THE PROPERTY OF ...
 2. THE CITY OF ALBUQUERQUE ...
 3. THE CITY OF ALBUQUERQUE ...
 4. THE CITY OF ALBUQUERQUE ...
 5. THE CITY OF ALBUQUERQUE ...
 6. THE CITY OF ALBUQUERQUE ...
 7. THE CITY OF ALBUQUERQUE ...
 8. THE CITY OF ALBUQUERQUE ...
 9. THE CITY OF ALBUQUERQUE ...
 10. THE CITY OF ALBUQUERQUE ...
 11. THE CITY OF ALBUQUERQUE ...
 12. THE CITY OF ALBUQUERQUE ...
 13. THE CITY OF ALBUQUERQUE ...
 14. THE CITY OF ALBUQUERQUE ...
 15. THE CITY OF ALBUQUERQUE ...
 16. THE CITY OF ALBUQUERQUE ...
 17. THE CITY OF ALBUQUERQUE ...
 18. THE CITY OF ALBUQUERQUE ...

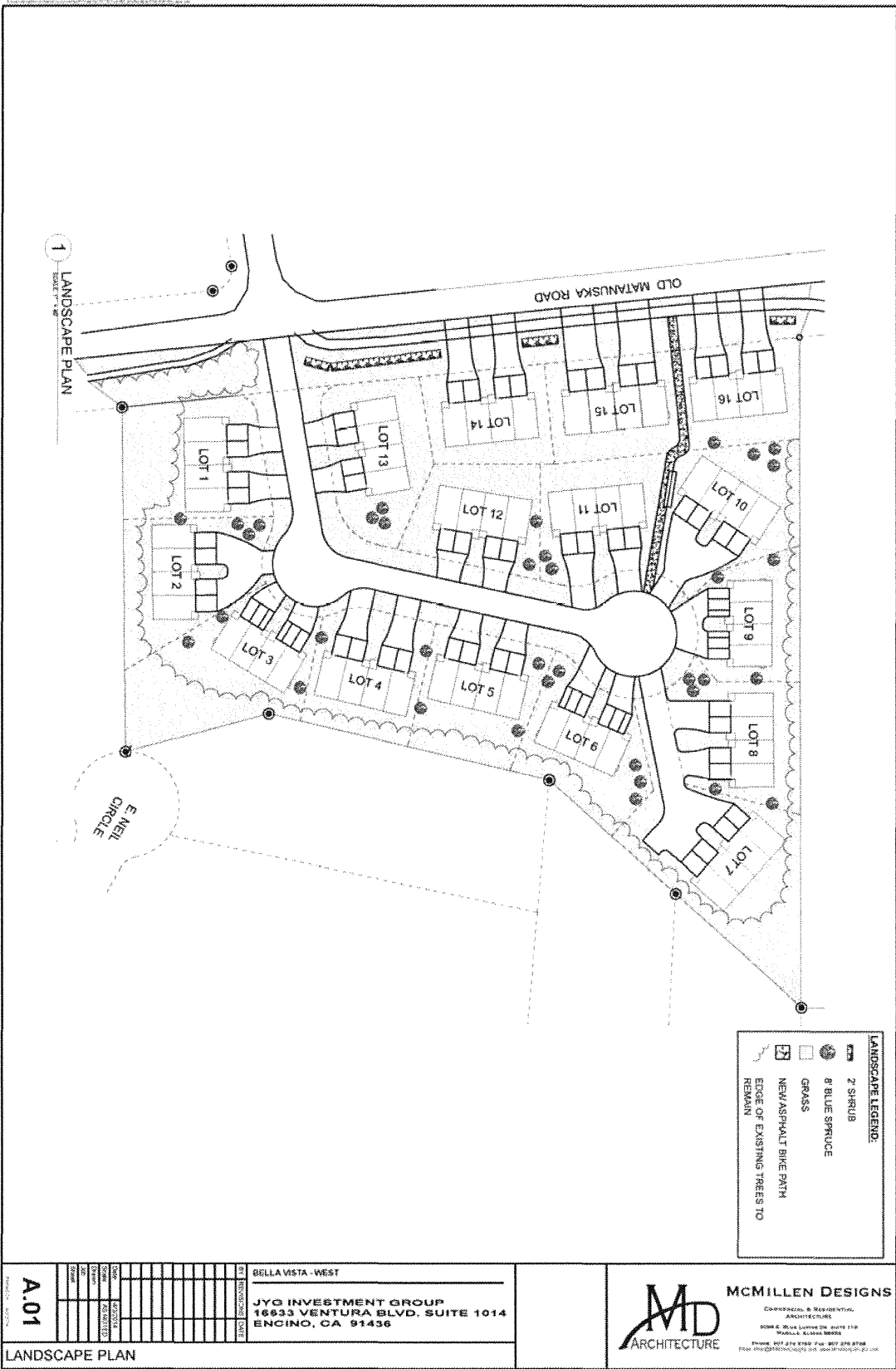
SUBMITTAL CERTIFICATE
 I HEREBY CERTIFY THAT I AM A RESIDENT OF THE COUNTY OF BERNALILLO AND THE CITY OF ALBUQUERQUE AND THAT I HAVE COMPLIED WITH ALL THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE FOR THE SUBMITTAL OF THIS PLAN TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.

BELLA VISTA WEST
 A PART OF
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 PREPARED BY: ...
 DATE: ...

CITY OF ALBUQUERQUE
 CITY ENGINEER
 DATE: ...

OWNER'S ACKNOWLEDGEMENT
 I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS PLAN AND THAT I UNDERSTAND THE CONTENTS THEREOF AND THAT I AGREE TO THE TERMS AND CONDITIONS SET FORTH HEREIN.

PLANNING & LAND USE DIRECTOR'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN REVIEWED AND FOUND TO BE IN ACCORDANCE WITH THE ZONING ORDINANCES AND PLANNING DEPARTMENT POLICIES OF THE CITY OF ALBUQUERQUE.

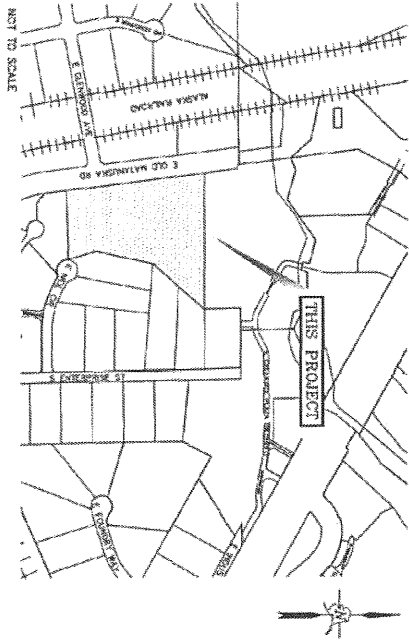
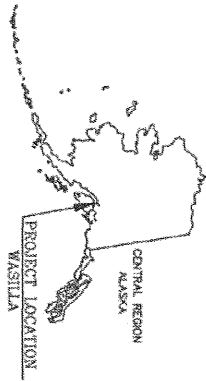


BELLA VISTA WEST SUBDIVISION

KINZI CIRCLE

ROAD & UTILITIES DESIGN

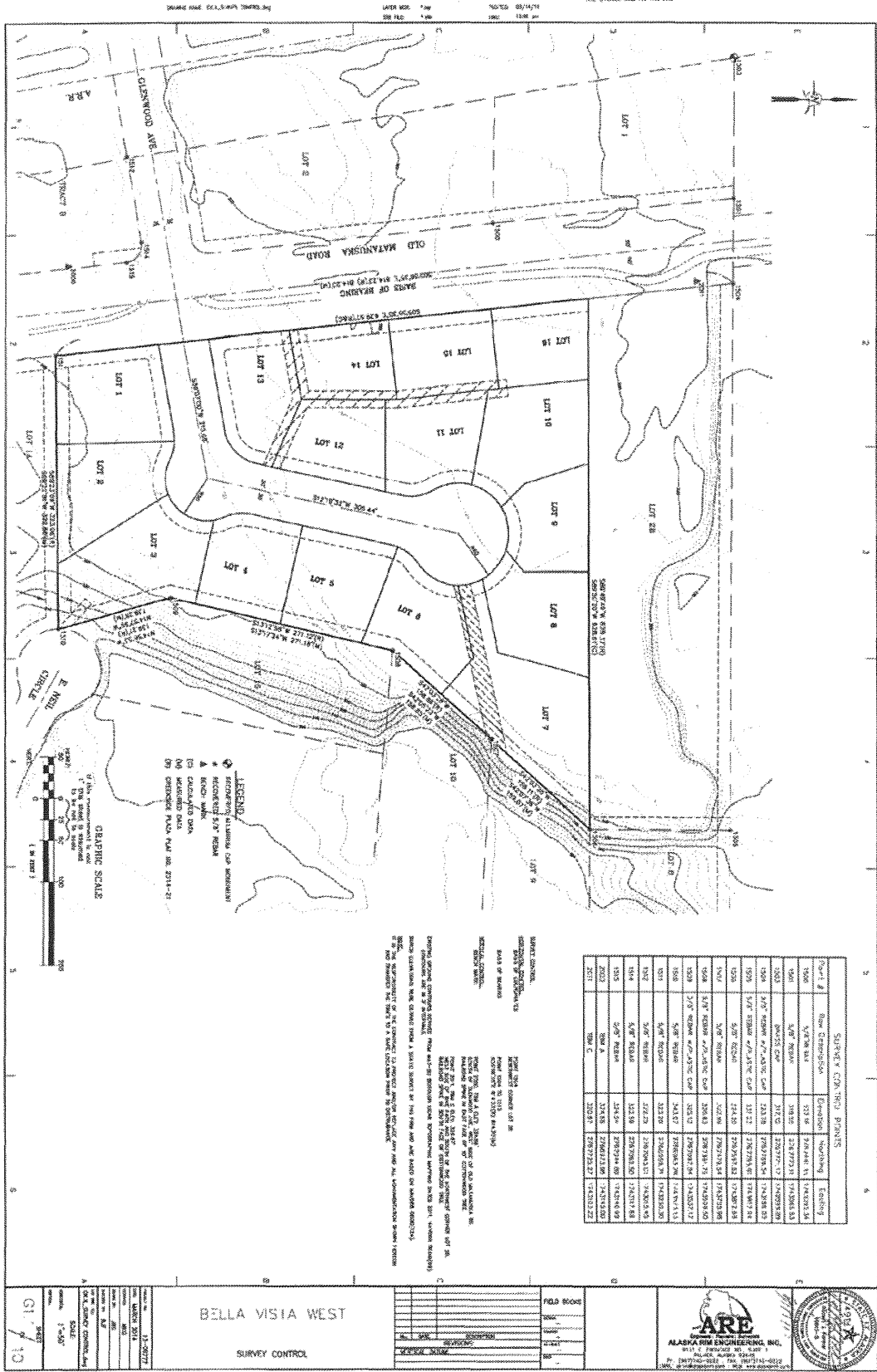
MARCH 2014



SHEET INDEX	
SHEET NO.	DESCRIPTION
	COVER SHEET
G1.0	GENERAL NOTES, LEGEND AND ABBREVIATIONS
G1.1	SURVEY CONTROL
C1.0	PROPOSED SITE PLAN
C2.0	KINZI CIRCLE ROAD PLAN AND PROFILE
C3.0	SEWER LINES PLAN AND PROFILES
C3.1	SEWER DETAILS
C4.0	WATERLINES PLAN
C4.1	WATERLINE 1 PROFILE
C4.2	WATERLINE 2 PROFILE



NO.	DATE	DESCRIPTION



Point #	Name	Coordinates	Elevation	Category
1000	5/8" BENCH	723.88	724.44	142833.34
1001	5/8" BENCH	723.88	724.44	142833.34
1002	5/8" BENCH	723.88	724.44	142833.34
1003	5/8" BENCH	723.88	724.44	142833.34
1004	5/8" BENCH	723.88	724.44	142833.34
1005	5/8" BENCH	723.88	724.44	142833.34
1006	5/8" BENCH	723.88	724.44	142833.34
1007	5/8" BENCH	723.88	724.44	142833.34
1008	5/8" BENCH	723.88	724.44	142833.34
1009	5/8" BENCH	723.88	724.44	142833.34
1010	5/8" BENCH	723.88	724.44	142833.34
1011	5/8" BENCH	723.88	724.44	142833.34
1012	5/8" BENCH	723.88	724.44	142833.34
1013	5/8" BENCH	723.88	724.44	142833.34
1014	5/8" BENCH	723.88	724.44	142833.34
1015	5/8" BENCH	723.88	724.44	142833.34
1016	5/8" BENCH	723.88	724.44	142833.34
1017	5/8" BENCH	723.88	724.44	142833.34
1018	5/8" BENCH	723.88	724.44	142833.34
1019	5/8" BENCH	723.88	724.44	142833.34
1020	5/8" BENCH	723.88	724.44	142833.34
1021	5/8" BENCH	723.88	724.44	142833.34

LEGEND

- ▲ BENCHMARK
- BENCH MARK
- CALCULATED DATA
- BENCHMARK DATA
- BENCHMARK DATA

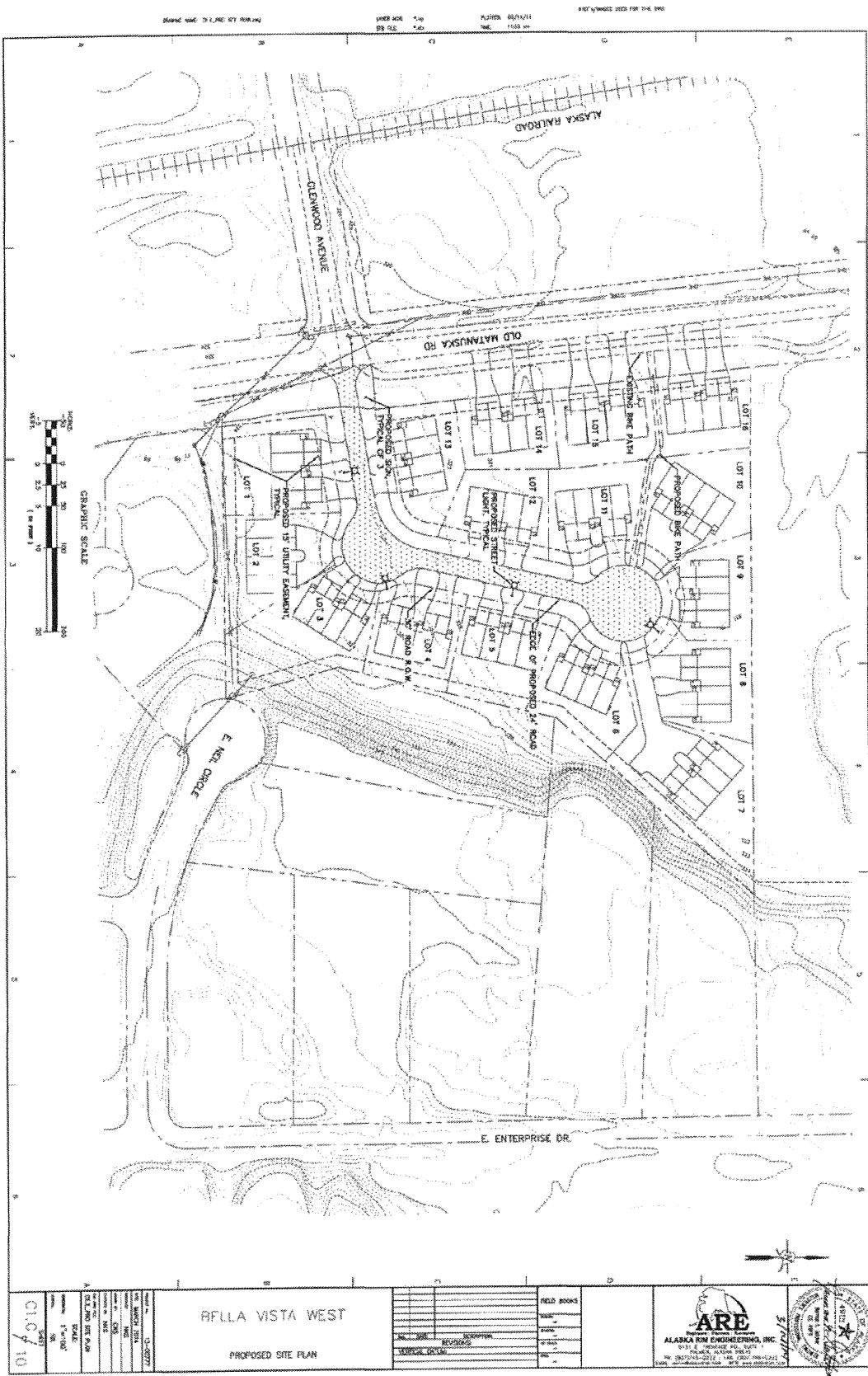
GRAPHIC SCALE

0 25 50 100 200
 FEET
 0 25 50 100 200
 METERS

BELLA VISTA WEST

SURVEY CONTROL

ALASKA RIM ENGINEERING, INC.
 1000 W. 10TH AVENUE, SUITE 100
 ANCHORAGE, ALASKA 99501
 TEL: 907.562.1111 FAX: 907.562.1112
 WWW.ARE-ALASKA.COM



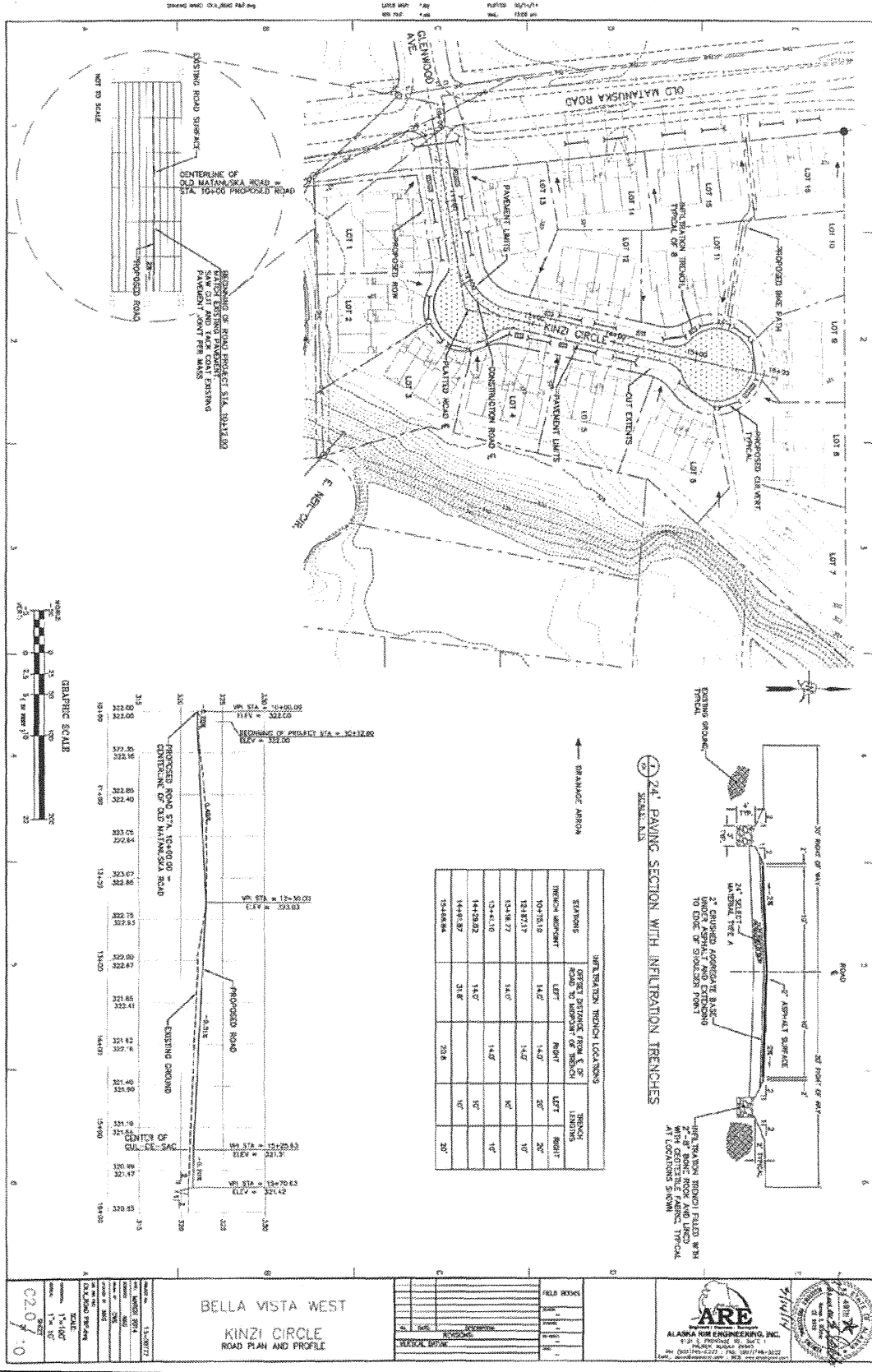
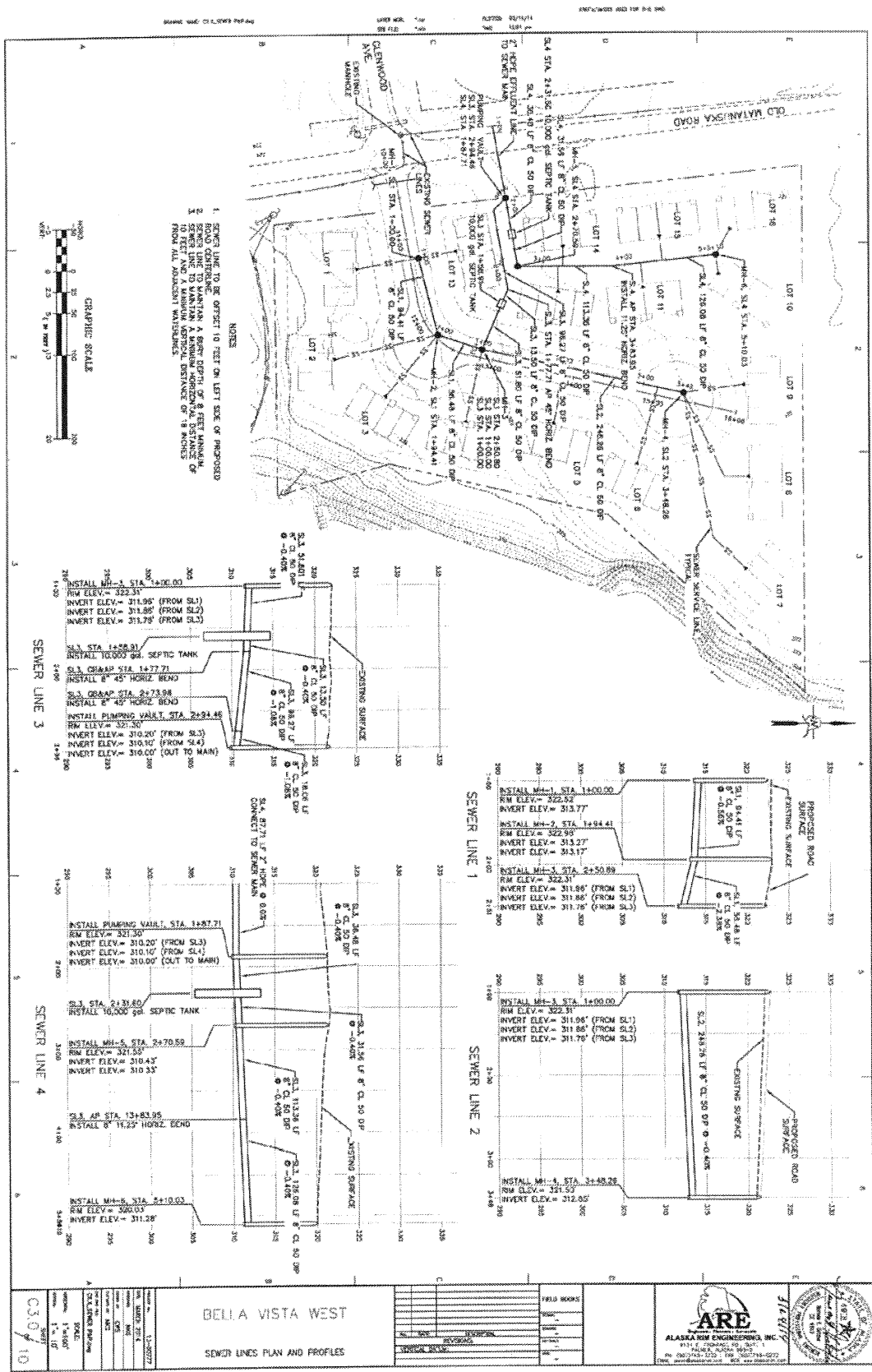
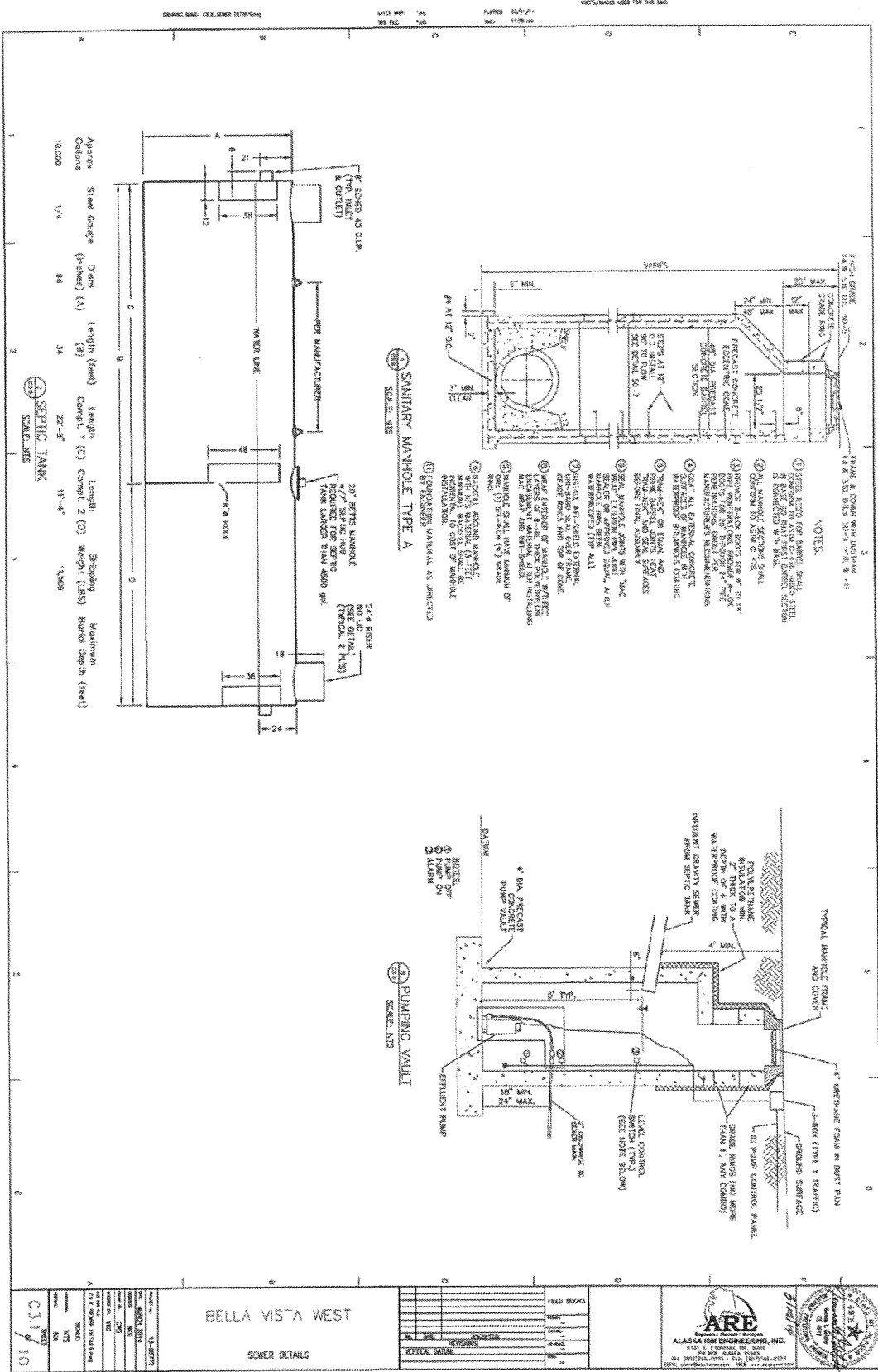
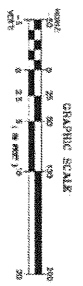
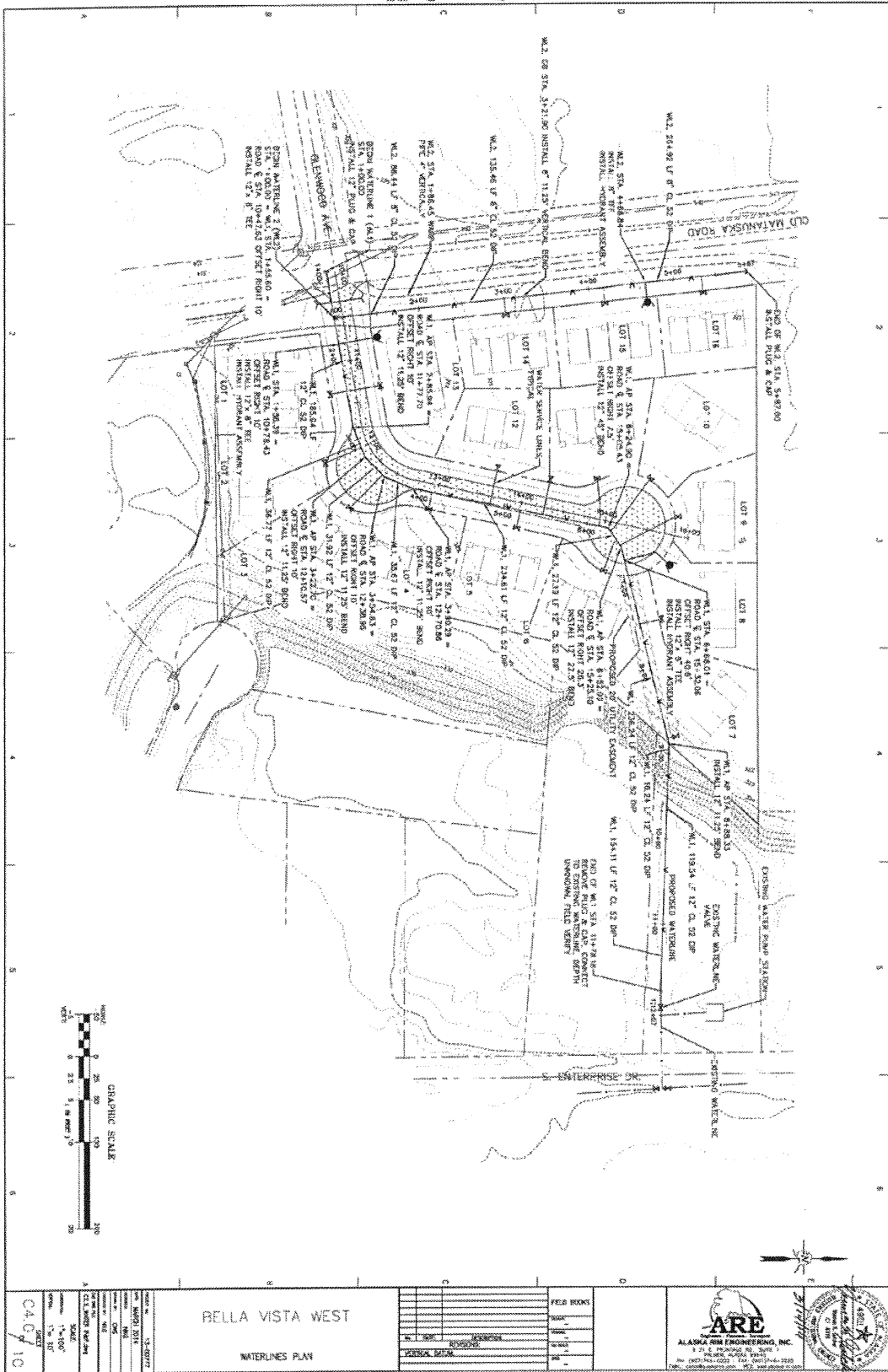


Exhibit B
Resolution Serial No. 14-04








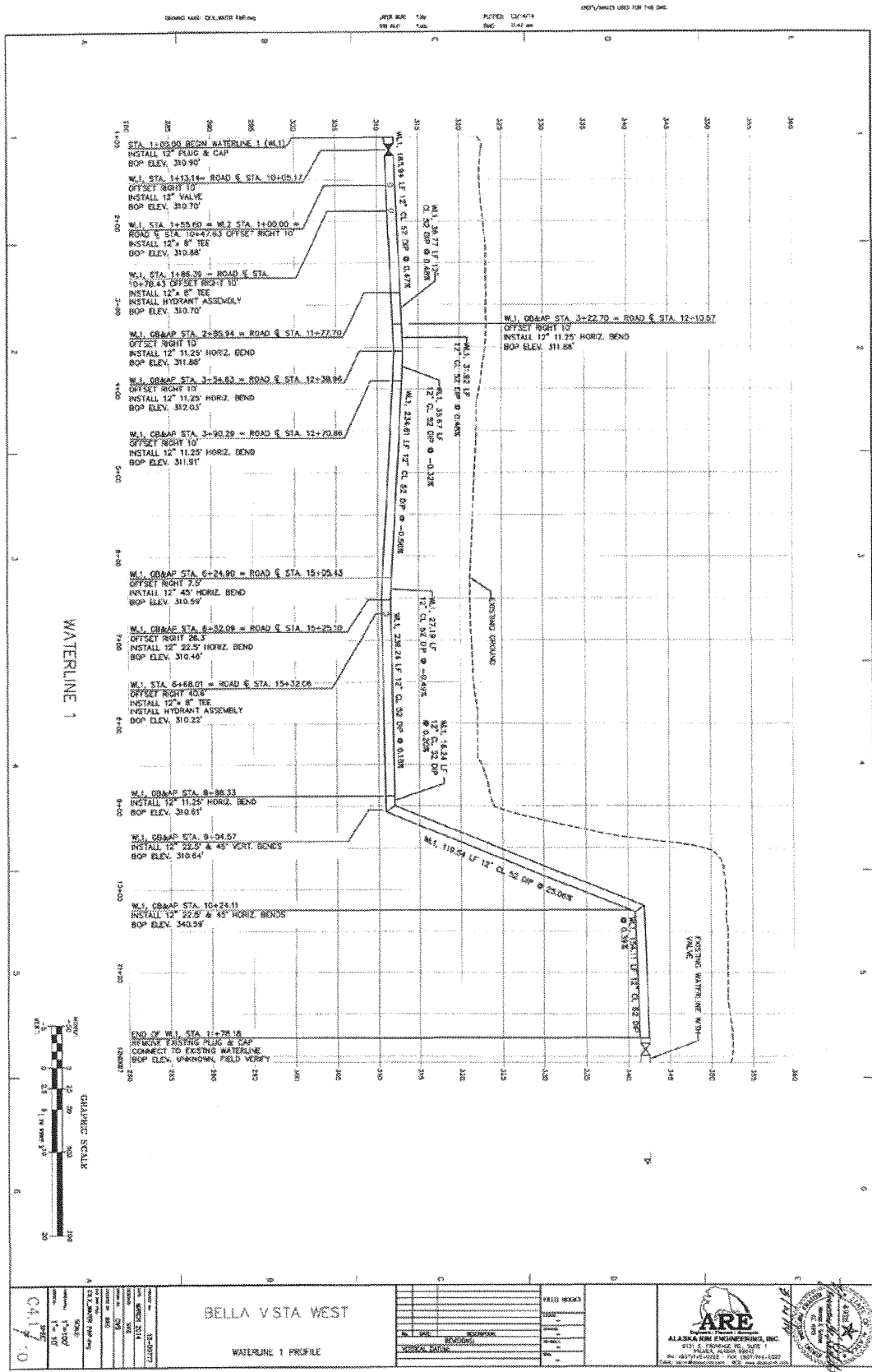
<p>040710</p>	<p>BELLA VISTA WEST</p> <p>WATERLINES PLAN</p>	<p>FEES BOOK</p> <p>NO. _____</p> <p>DATE _____</p>	 <p>ARE</p> <p>ALASKA REGISTERED ENGINEERING, INC.</p> <p>121 E. ANCHORAGE BL. SUITE 100</p> <p>ANCHORAGE, ALASKA 99501</p> <p>PH: (907) 464-0201 FAX: (907) 464-1999</p> <p>WWW.ARE-ALASKA.COM</p>
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Exhibit B
Resolution Serial No. 14-04

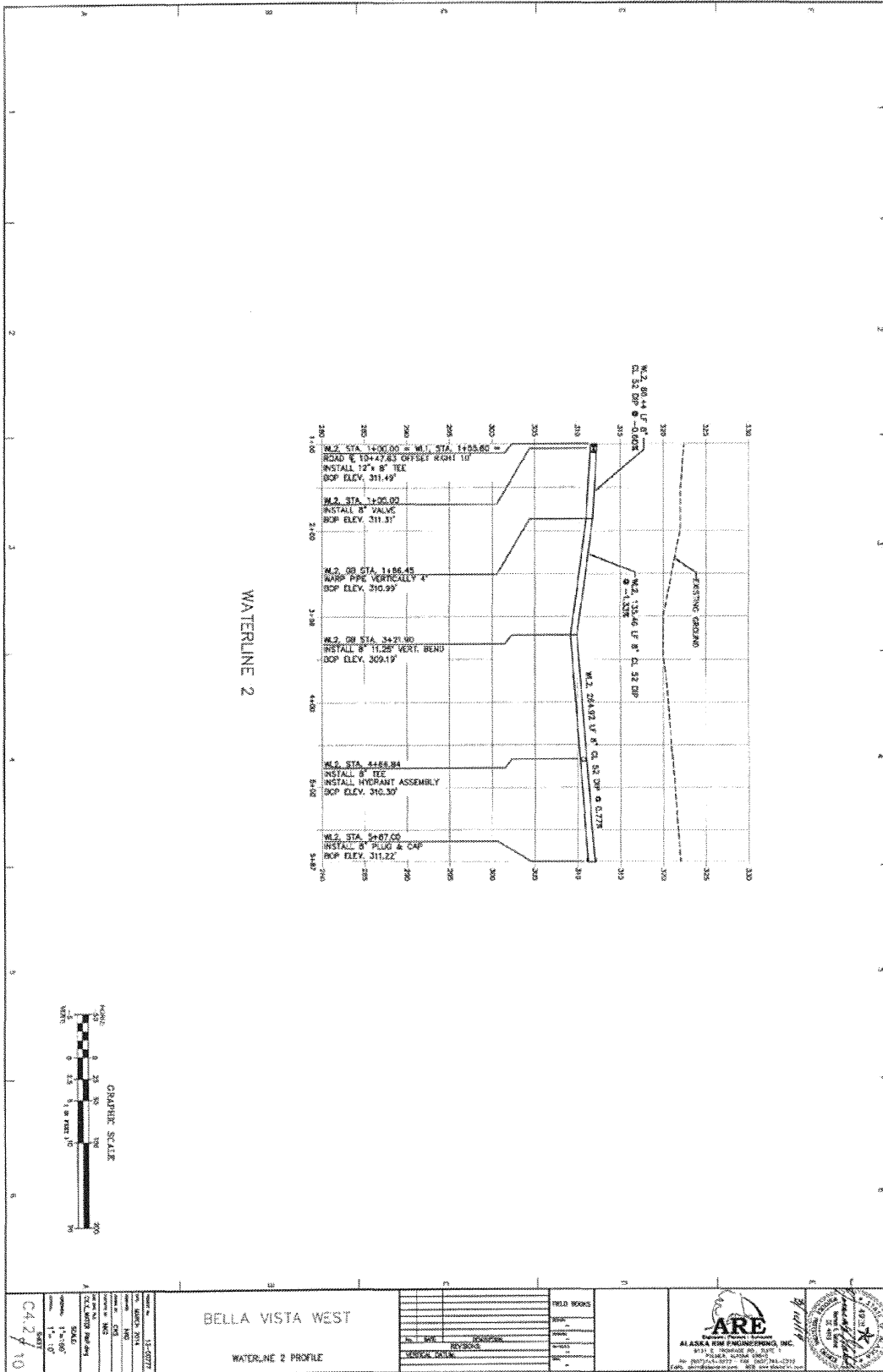


DESIGNED NAME: CUL-UNDER 140404

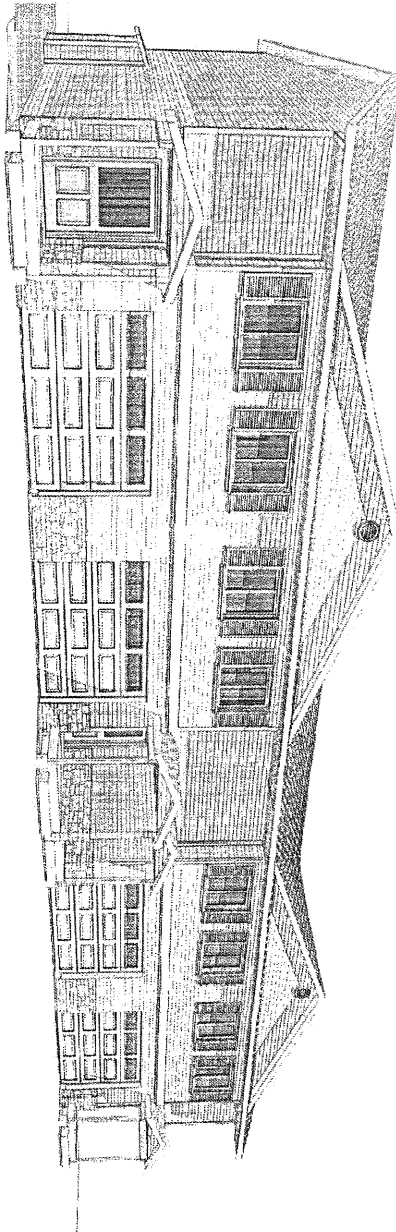
DATE WORK: 1/16/14
DWG NO.: 1404

PROJECT: 151' 47' 4"
SHEET: 11.43

NOT TO BE USED FOR THE DWG



BELLAVISTA 4-PLEX



GENERAL NOTES

1. ALL WORK IS TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND ANY DELAYS WILL BE AT THE CONTRACTOR'S RISK.
2. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
5. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF ANCHORAGE BUILDING DEPARTMENT REGULATIONS.
6. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
7. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED AGAINST WEATHER AND THEFT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
9. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF ANCHORAGE BUILDING DEPARTMENT REGULATIONS.

BUILDING AREA

LIABLE AREA PER UNIT	1,408 SQ. FT.
TOTAL LIABLE AREA	5,632 SQ. FT.
TOTAL OVERHEAD AREA	1,328 SQ. FT.
TOTAL AREA - PER UNIT	2,468 SQ. FT.

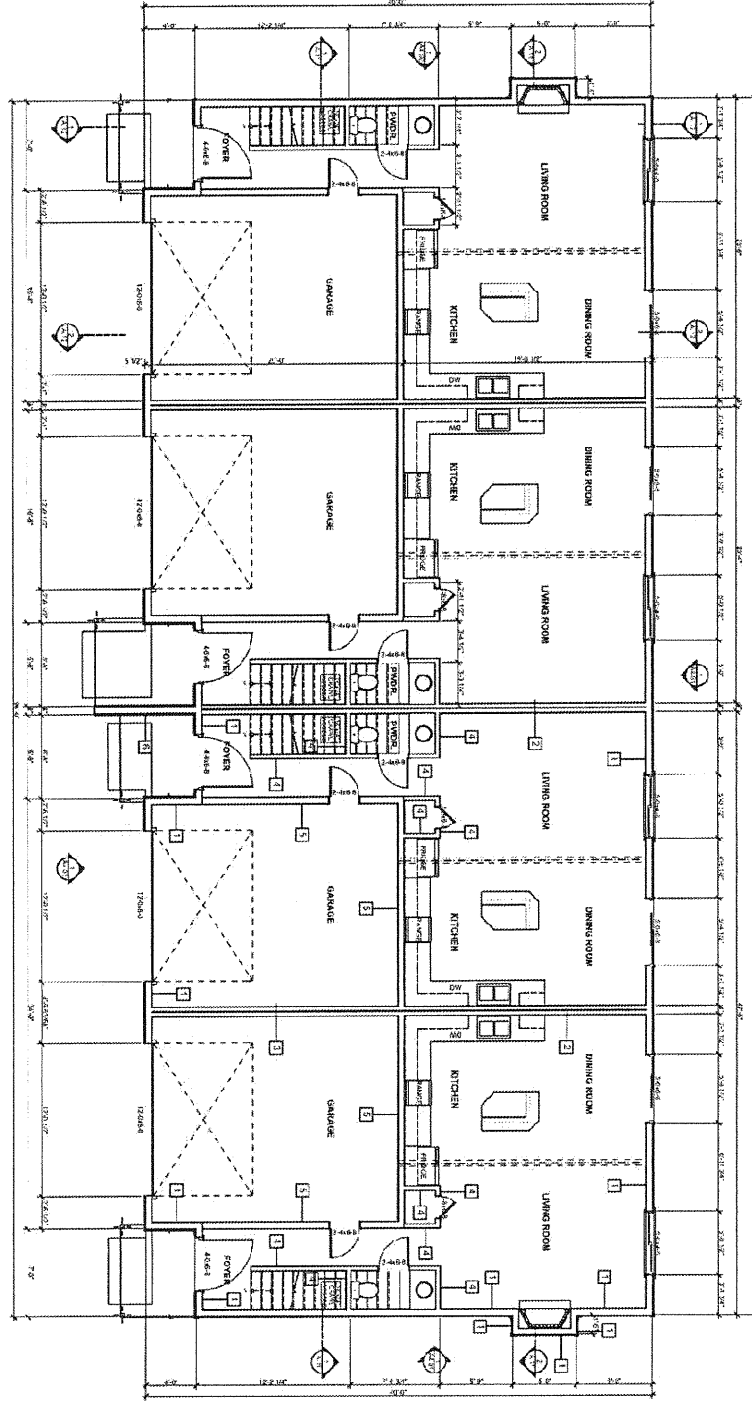
SHEET INDEX

NO.	DESCRIPTION	DATE
1	FOUNDATION	10/15/11
2	FLOOR PLAN	10/15/11
3	SECTION	10/15/11
4	EXTERIOR ELEVATION	10/15/11
5	INTERIOR ELEVATION	10/15/11
6	MECHANICAL	10/15/11
7	ELECTRICAL	10/15/11
8	PLUMBING	10/15/11
9	PAINT	10/15/11
10	FINISH	10/15/11

BUILDING PLAN 'C'

A.01 TITLE SHEET / GENERAL INFO	BELLAVISTA 4-PLEX ARC LAND DEVELOPMENT 16633 VENTURA BLVD. #1017 ANCHORAGE, ALASKA 99503	McMILLEN DESIGNS ARCHITECTURE 100 S. WILSON AVENUE ANCHORAGE, ALASKA 99503 PHONE: 907.562.8888 FAX: 907.562.8888 WWW.MCMILLENDIGNS.COM
	DATE: 11/15/11 DRAWN BY: [Name] CHECKED BY: [Name]	SHEET NO. 01 TOTAL SHEETS: 10

1 FIRST FLOOR PLAN



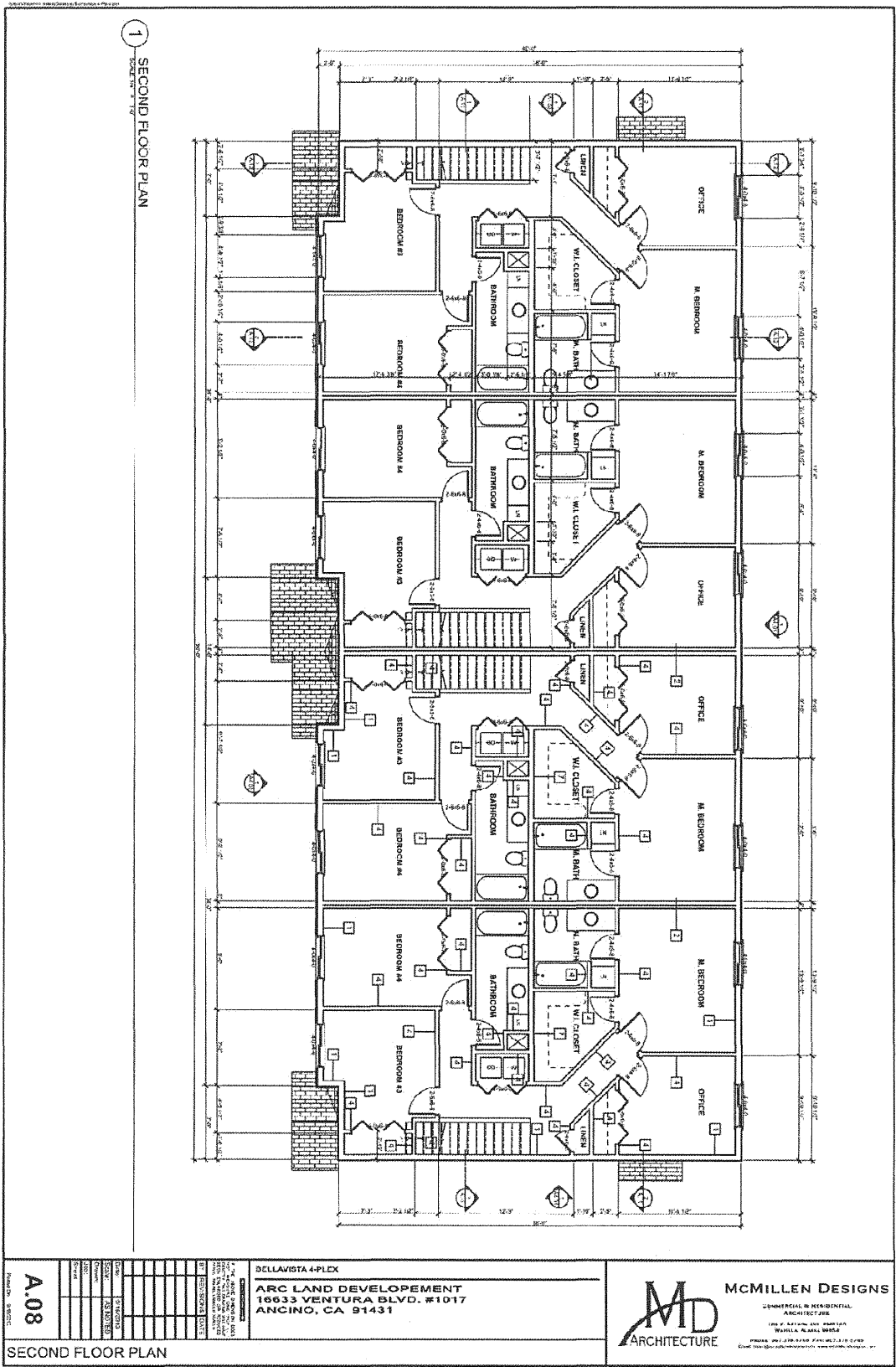
NOTES
 1) ALL SQUARE FOOTAGE MEASUREMENTS ARE TAKEN FROM THE OUTSIDE OF THE STRUCTURAL WALL.
 SQUARE FOOTAGE PER UNIT:
 GARAGE: 433 SQ. FT.
 1ST FLOOR: 913 SQ. FT.
 2ND FLOOR: 913 SQ. FT.
 10 M.I.: 992 SQ. FT.

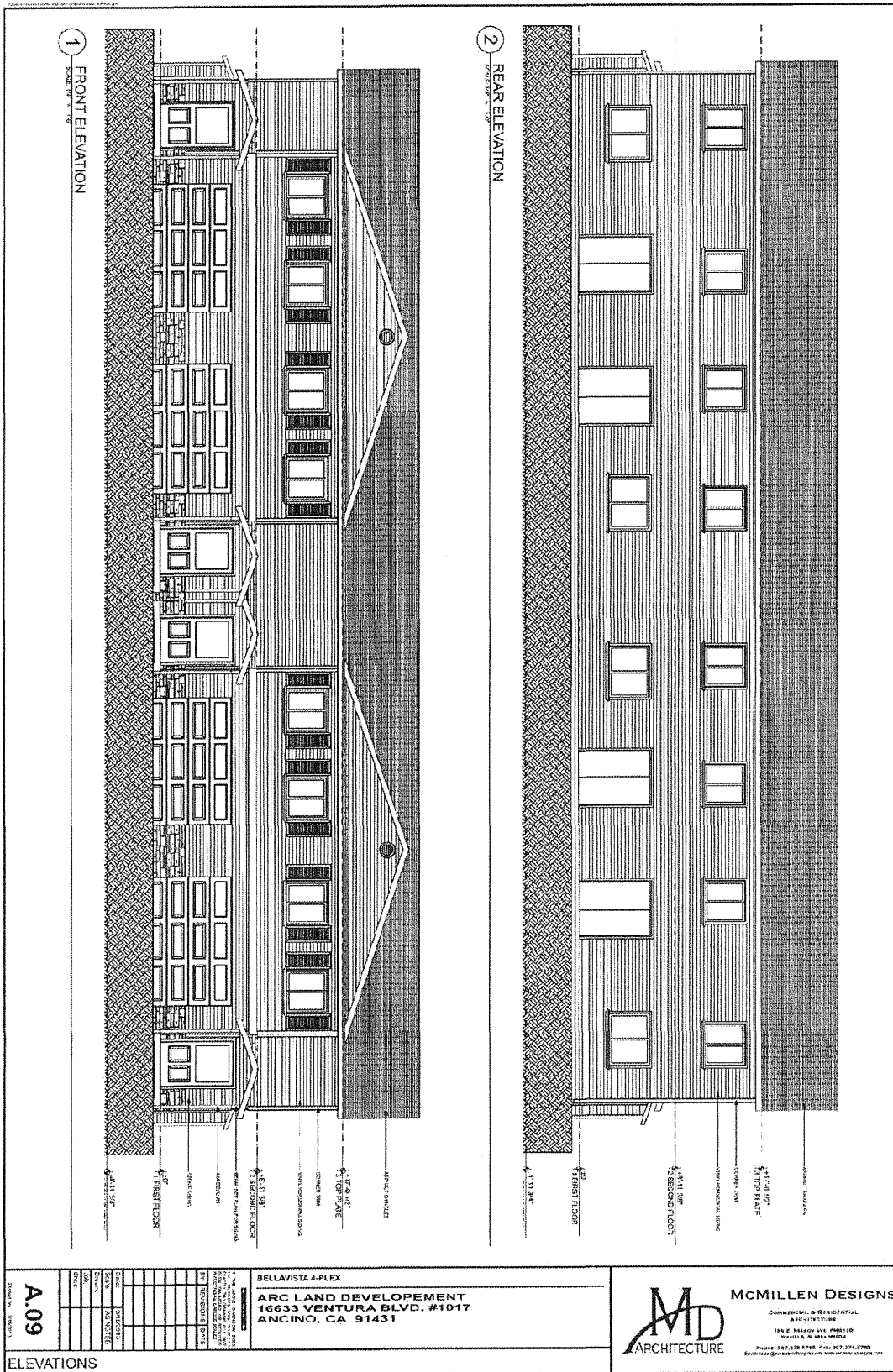
NO.	DATE	REVISION
1	02/14/20	ISSUED FOR PERMIT
2	02/14/20	ISSUED FOR PERMIT
3	02/14/20	ISSUED FOR PERMIT
4	02/14/20	ISSUED FOR PERMIT
5	02/14/20	ISSUED FOR PERMIT
6	02/14/20	ISSUED FOR PERMIT
7	02/14/20	ISSUED FOR PERMIT
8	02/14/20	ISSUED FOR PERMIT
9	02/14/20	ISSUED FOR PERMIT
10	02/14/20	ISSUED FOR PERMIT

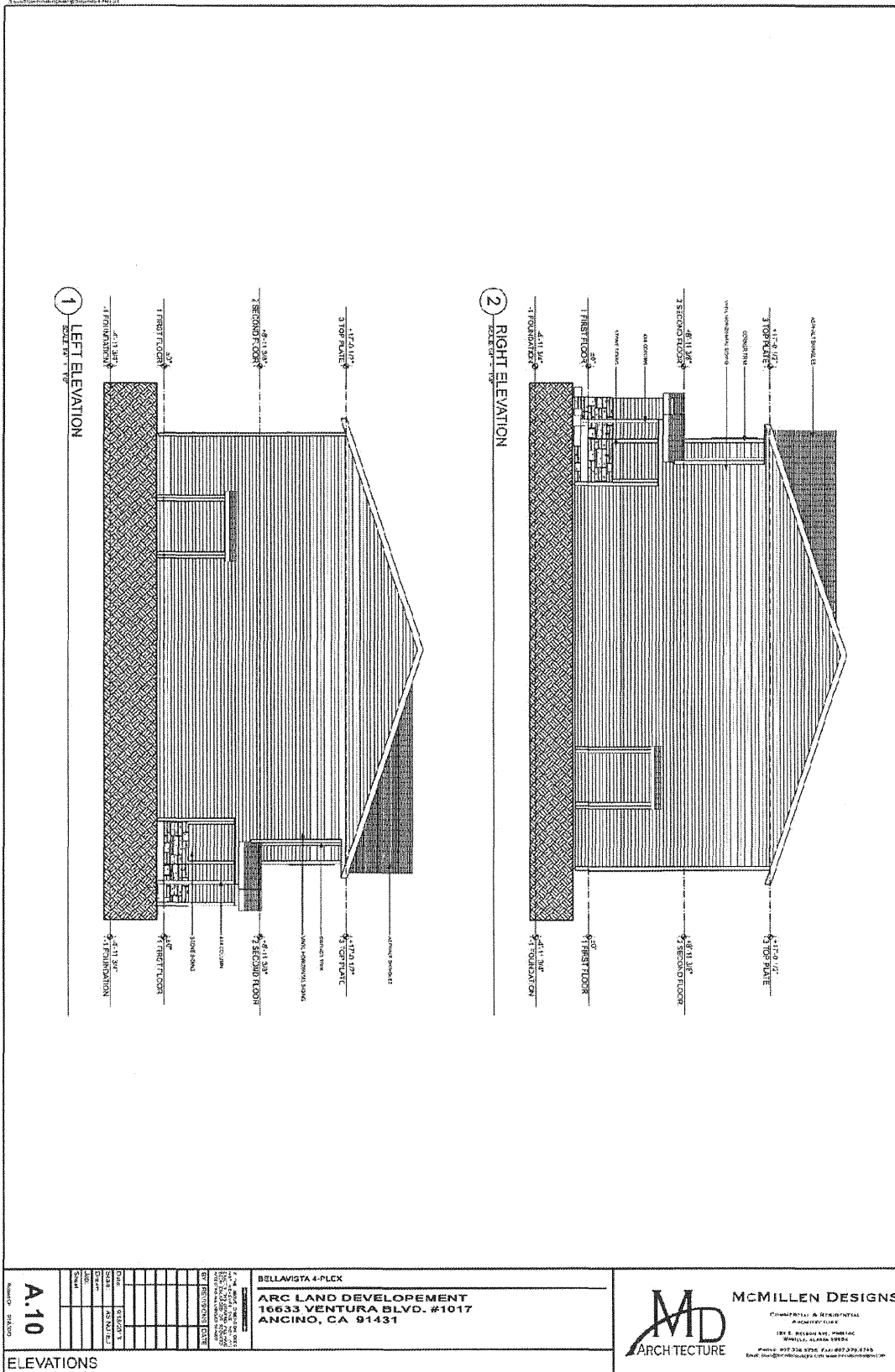
REF: LAWSTA 4-PLEX
ARC LAND DEVELOPMENT
 16633 VENTURA BLVD. #1017
 ANCINO, CA 91431

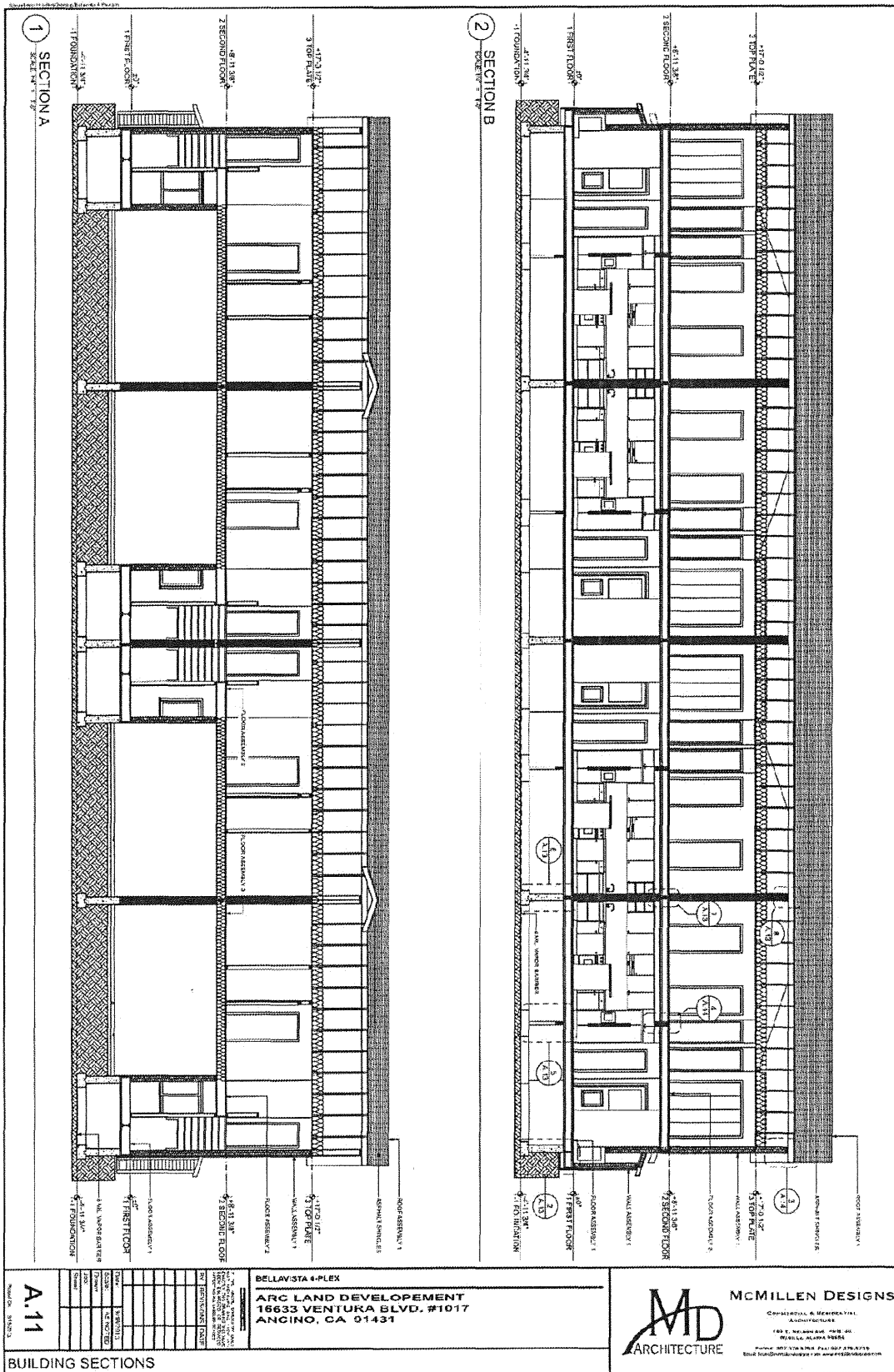
McMILLEN DESIGNS
 COMMERCIAL & RESIDENTIAL ARCHITECTURE
 1500 J. WASHINGTON AVENUE
 WASHINGTON, DISTRICT OF COLUMBIA 20004
 PHONE: (800) 274-4488 FAX: (202) 778-8788
 EMAIL: info@mcmillendesigns.com www.mcmillendesigns.com

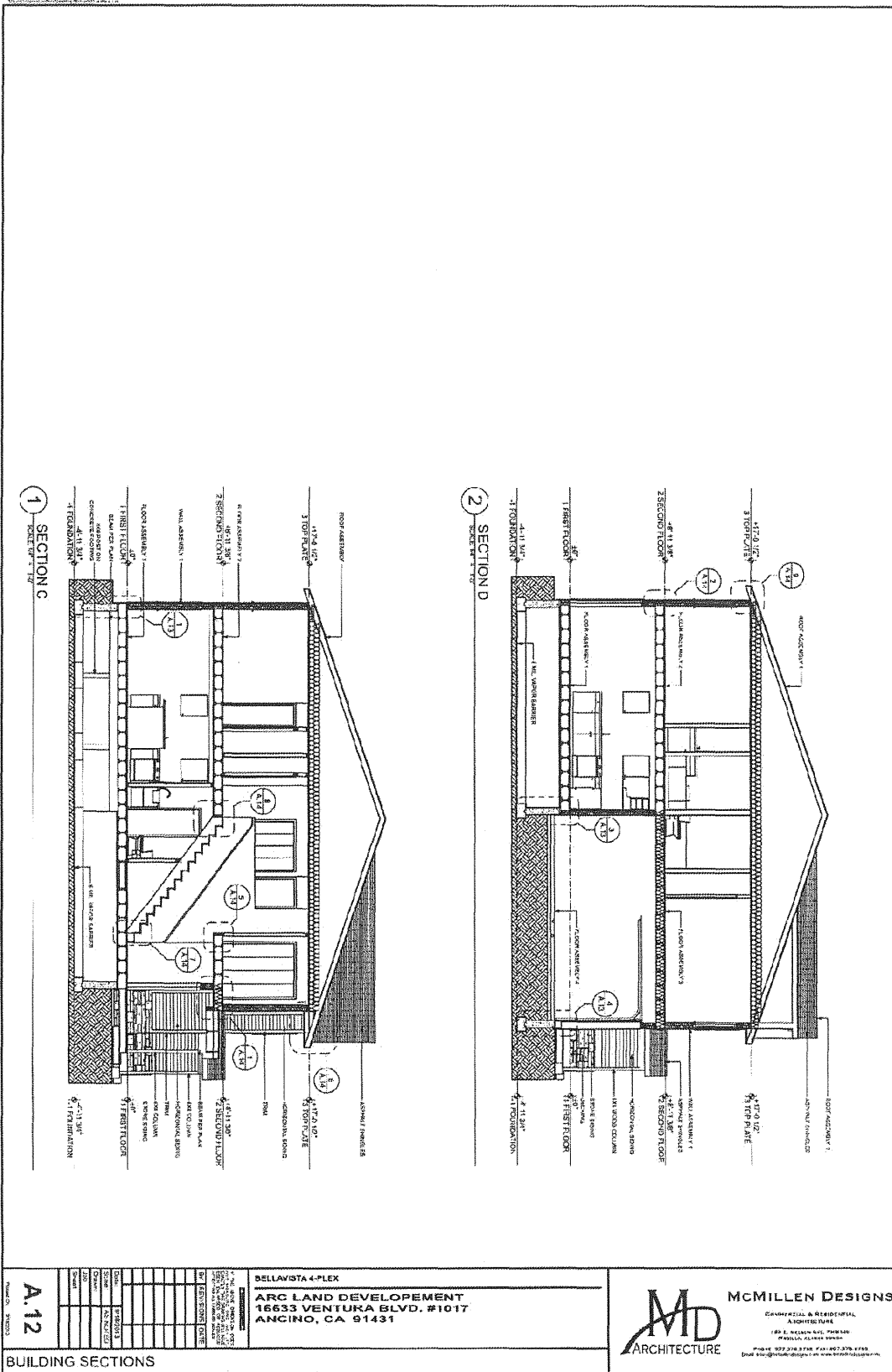
FIRST FLOOR PLAN

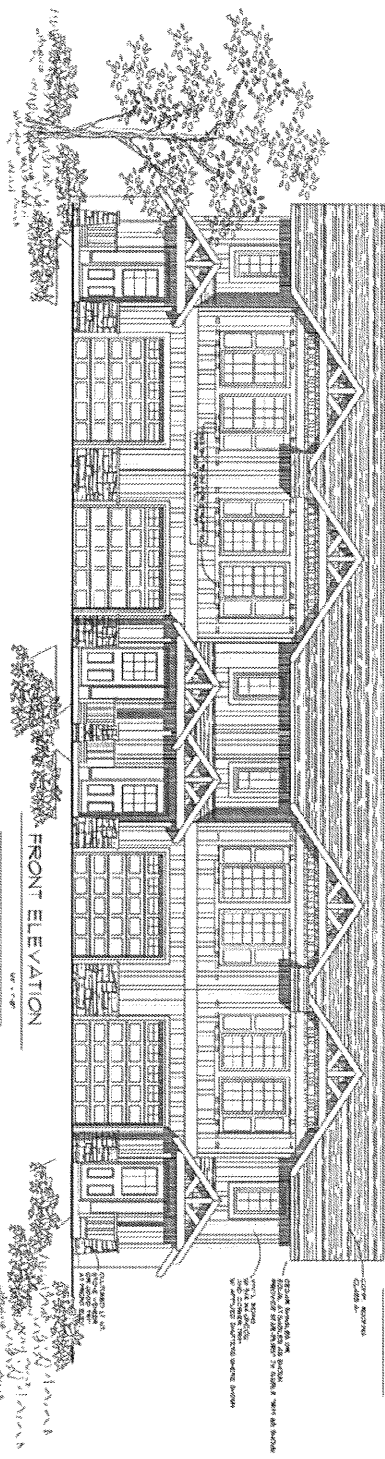








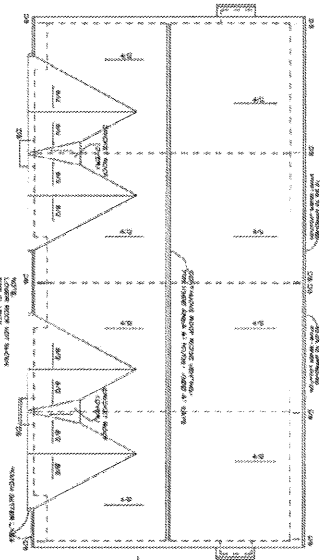




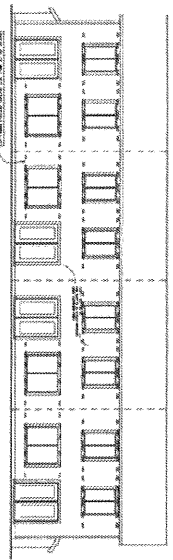
FRONT ELEVATION

TYPICAL EXTERIOR MATERIALS
 1. BRICK
 2. SIDING
 3. SHINGLES
 4. STONE
 5. CONCRETE
 6. METAL
 7. GLASS
 8. WOOD
 9. PLASTER
 10. GYPSUM BOARD

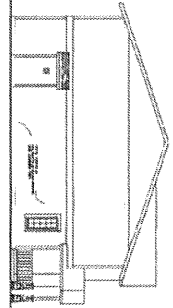
NOTE: BUILDING PLAN 'B' HAS APPROX 2' TO EACH UNIT, EXTENDED FIRE RAKE FORMED HAS BEEN REMOVED FROM EXTENSION WALLS.



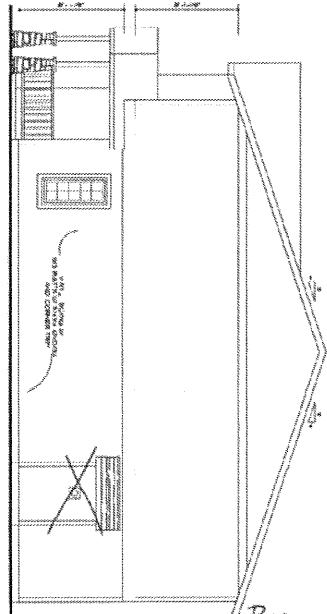
ROOF PLAN



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

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Web Site: <http://www.stocktonaia.com>
 E-Mail: stocktonaia@stocktonaia.com



Stockton A.I.B.D.
 4-2884-4
 4-DIVT-BSS

Building Designs
 By
 Stockton A.I.B.D.
 Office # 1-800-368-0821

THIS RECORD SET, AND ANY CORRECTIVE SHEETS, SHALL BE THE PROPERTY OF THE ARCHITECT AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER SOURCES. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER SOURCES.

BLDG LEGEND - FINISHES

1. EXTERIOR WALLS - CONCRETE
 2. EXTERIOR ROOF - ASPHALT/FLY ASH
 3. INTERIOR WALLS - GYP. BOARD
 4. INTERIOR FLOOR - POLISHED CONCRETE
 5. INTERIOR CEILING - POP
 6. INTERIOR DOORS - 1 3/4" x 6" x 2" S&B
 7. INTERIOR WINDOWS - 1 3/4" x 6" x 2" S&B
 8. INTERIOR STAIRS - 1 3/4" x 6" x 2" S&B
 9. INTERIOR ELEVATORS - 1 3/4" x 6" x 2" S&B
 10. INTERIOR PARTITIONS - GYP. BOARD
 11. INTERIOR CLOSET - GYP. BOARD
 12. INTERIOR BATH - GYP. BOARD
 13. INTERIOR KITCHEN - GYP. BOARD
 14. INTERIOR DINING - GYP. BOARD
 15. INTERIOR GREAT RM - GYP. BOARD
 16. INTERIOR GARAGE - POLISHED CONCRETE
 17. INTERIOR MECHANICAL - GYP. BOARD
 18. INTERIOR ELECTRICAL - GYP. BOARD
 19. INTERIOR PLUMBING - GYP. BOARD
 20. INTERIOR HVAC - GYP. BOARD

WALL LEGEND

1. EXTERIOR WALL - CONCRETE
 2. INTERIOR WALL - GYP. BOARD
 3. INTERIOR PARTITION - GYP. BOARD
 4. INTERIOR CLOSET - GYP. BOARD
 5. INTERIOR BATH - GYP. BOARD
 6. INTERIOR KITCHEN - GYP. BOARD
 7. INTERIOR DINING - GYP. BOARD
 8. INTERIOR GREAT RM - GYP. BOARD
 9. INTERIOR GARAGE - POLISHED CONCRETE
 10. INTERIOR MECHANICAL - GYP. BOARD
 11. INTERIOR ELECTRICAL - GYP. BOARD
 12. INTERIOR PLUMBING - GYP. BOARD
 13. INTERIOR HVAC - GYP. BOARD

FLOOR LEGEND

1. EXTERIOR FLOOR - POLISHED CONCRETE
 2. INTERIOR FLOOR - POLISHED CONCRETE
 3. INTERIOR GARAGE - POLISHED CONCRETE
 4. INTERIOR MECHANICAL - POLISHED CONCRETE
 5. INTERIOR ELECTRICAL - POLISHED CONCRETE
 6. INTERIOR PLUMBING - POLISHED CONCRETE
 7. INTERIOR HVAC - POLISHED CONCRETE

CEILING LEGEND

1. INTERIOR CEILING - POP
 2. INTERIOR MECHANICAL - POP
 3. INTERIOR ELECTRICAL - POP
 4. INTERIOR PLUMBING - POP
 5. INTERIOR HVAC - POP

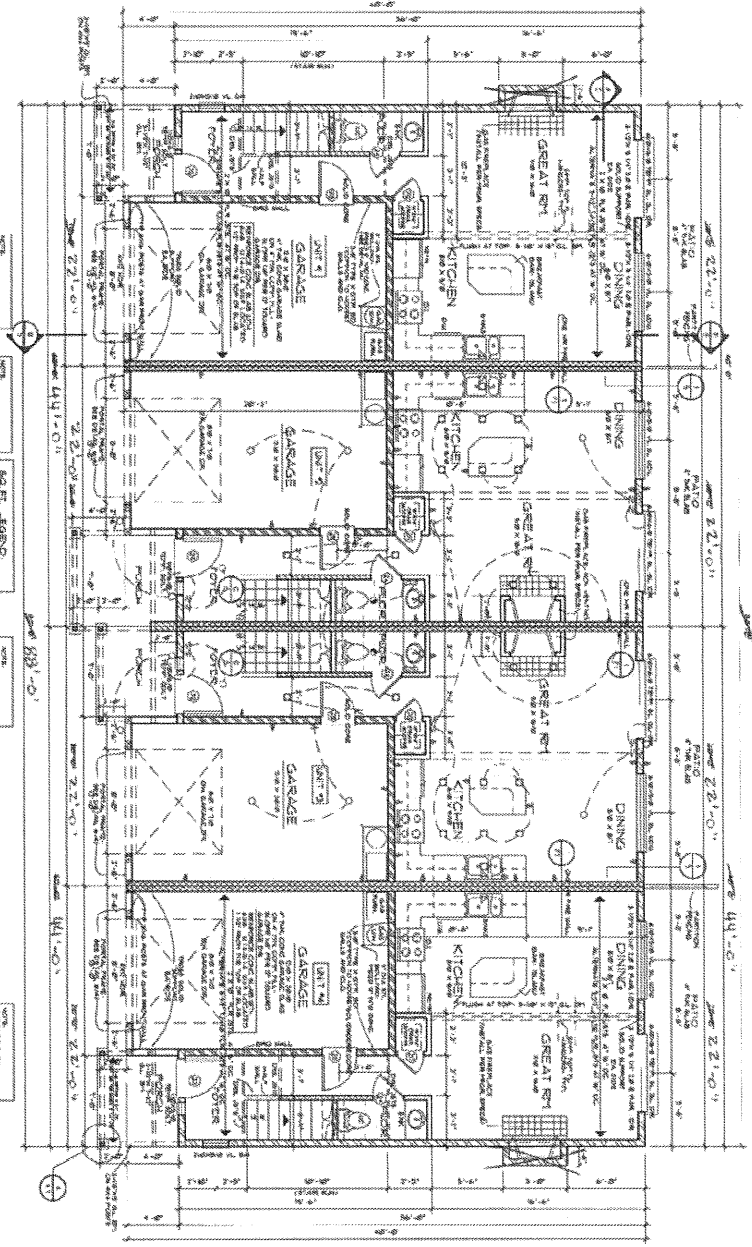
DOOR LEGEND

1. INTERIOR DOOR - 1 3/4" x 6" x 2" S&B
 2. INTERIOR PARTITION DOOR - 1 3/4" x 6" x 2" S&B
 3. INTERIOR CLOSET DOOR - 1 3/4" x 6" x 2" S&B
 4. INTERIOR BATH DOOR - 1 3/4" x 6" x 2" S&B
 5. INTERIOR KITCHEN DOOR - 1 3/4" x 6" x 2" S&B
 6. INTERIOR DINING DOOR - 1 3/4" x 6" x 2" S&B
 7. INTERIOR GREAT RM DOOR - 1 3/4" x 6" x 2" S&B
 8. INTERIOR GARAGE DOOR - 1 3/4" x 6" x 2" S&B
 9. INTERIOR MECHANICAL DOOR - 1 3/4" x 6" x 2" S&B
 10. INTERIOR ELECTRICAL DOOR - 1 3/4" x 6" x 2" S&B
 11. INTERIOR PLUMBING DOOR - 1 3/4" x 6" x 2" S&B
 12. INTERIOR HVAC DOOR - 1 3/4" x 6" x 2" S&B

WINDOW LEGEND

1. INTERIOR WINDOW - 1 3/4" x 6" x 2" S&B
 2. INTERIOR PARTITION WINDOW - 1 3/4" x 6" x 2" S&B
 3. INTERIOR CLOSET WINDOW - 1 3/4" x 6" x 2" S&B
 4. INTERIOR BATH WINDOW - 1 3/4" x 6" x 2" S&B
 5. INTERIOR KITCHEN WINDOW - 1 3/4" x 6" x 2" S&B
 6. INTERIOR DINING WINDOW - 1 3/4" x 6" x 2" S&B
 7. INTERIOR GREAT RM WINDOW - 1 3/4" x 6" x 2" S&B
 8. INTERIOR GARAGE WINDOW - 1 3/4" x 6" x 2" S&B
 9. INTERIOR MECHANICAL WINDOW - 1 3/4" x 6" x 2" S&B
 10. INTERIOR ELECTRICAL WINDOW - 1 3/4" x 6" x 2" S&B
 11. INTERIOR PLUMBING WINDOW - 1 3/4" x 6" x 2" S&B
 12. INTERIOR HVAC WINDOW - 1 3/4" x 6" x 2" S&B

TYPE 4 - FLEX - INFO



LOWER FLOOR PLAN

NOTES:

1. SEE FLOOR PLAN FOR UNIT EQUIPMENT TO BE INSTALLED IN EACH UNIT.

2. SEE MECHANICAL PLAN FOR MECHANICAL EQUIPMENT TO BE INSTALLED IN EACH UNIT.

3. SEE ELECTRICAL PLAN FOR ELECTRICAL EQUIPMENT TO BE INSTALLED IN EACH UNIT.

4. SEE PLUMBING PLAN FOR PLUMBING EQUIPMENT TO BE INSTALLED IN EACH UNIT.

5. SEE HVAC PLAN FOR HVAC EQUIPMENT TO BE INSTALLED IN EACH UNIT.

1. SEE FLOOR PLAN FOR UNIT EQUIPMENT TO BE INSTALLED IN EACH UNIT.

2. SEE MECHANICAL PLAN FOR MECHANICAL EQUIPMENT TO BE INSTALLED IN EACH UNIT.

3. SEE ELECTRICAL PLAN FOR ELECTRICAL EQUIPMENT TO BE INSTALLED IN EACH UNIT.

4. SEE PLUMBING PLAN FOR PLUMBING EQUIPMENT TO BE INSTALLED IN EACH UNIT.

5. SEE HVAC PLAN FOR HVAC EQUIPMENT TO BE INSTALLED IN EACH UNIT.

Web Site: <http://www.stocktoneng.com>
 E-Mail: stocktonus@att.net



DATE: 10/20/04
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 PROJECT NO.: 04-001



Building Designs
 By
 Stockton LLC, A.I.B.D.
 Ph: 1.800.308.0621

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DATE: 10/20/04
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 PROJECT NO.: 04-001

TYPE 4 - PLEX

PROJECT USES: PLEX

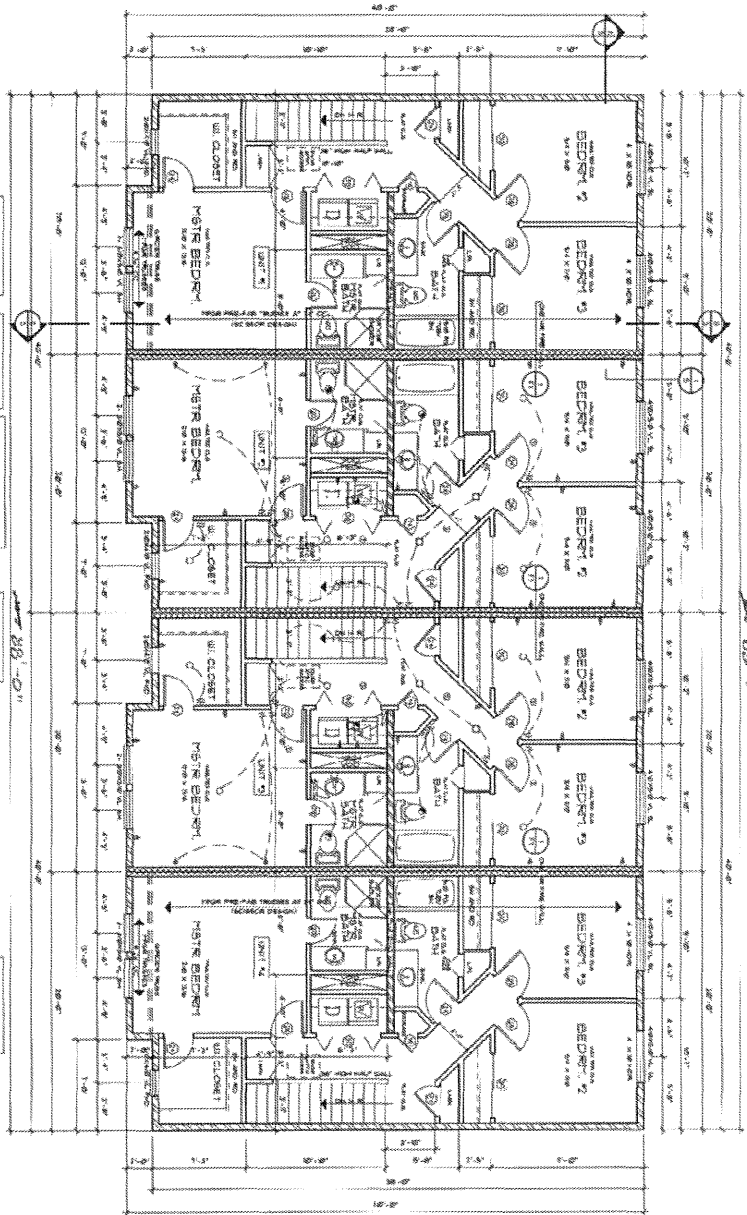
OWNER: STOCKTON LLC

DATE: 08/14/14

SCALE: 1/8" = 1'-0"

NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2012 IBC AND ALL APPLICABLE LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING UTILITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING FOUNDATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING ROOF.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING INTERIORS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING EXTERIORS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING FINISHES.



UPPER FLOOR PLAN

NOTES:

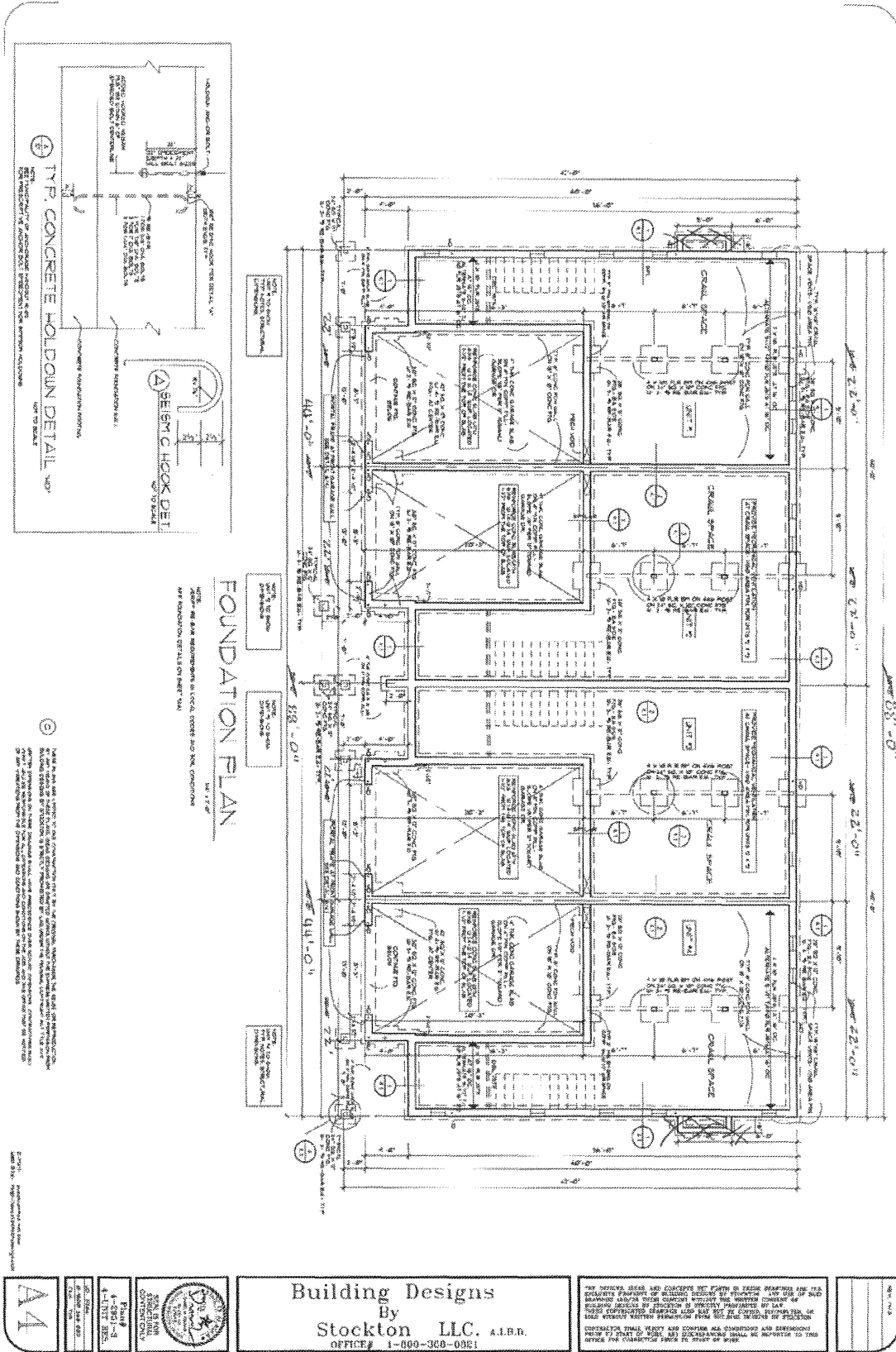
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8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING EXTERIORS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING FINISHES.

LEGEND:

- 1. WALL
- 2. DOOR
- 3. WINDOW
- 4. CLOSET
- 5. BATH
- 6. HALL
- 7. BEDROOM
- 8. STAIR
- 9. ELEVATOR
- 10. MECHANICAL
- 11. ELECTRICAL
- 12. PLUMBING
- 13. FINISH

WBS SITE - PLSO JUANLOCOMONDA@GMAIL.COM
 E-MAIL - STOCKTON@WBS-SITE.COM

	<p>Building Designs By Stockton LLC, A.I.B.D. Ph: 1.800.368.0821</p>	<p>THE DESIGNER, ENGINEER AND ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE, UTILITIES, FOUNDATION, ROOF, INTERIORS, EXTERIORS, MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS, AND FINISHES.</p>
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	Building Designs By Stockton LLC, A.I.B.C. OFFICE 1-800-368-0951	THE CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND ELEVATIONS PRIOR TO START OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THIS OFFICE FOR CORRECTION PRIOR TO START OF WORK.
		CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND ELEVATIONS PRIOR TO START OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THIS OFFICE FOR CORRECTION PRIOR TO START OF WORK.

CROSS SECTION
1/8" = 1'-0"

CROSS SECTION
1/8" = 1'-0"

CABINET ELEVATIONS
1/8" = 1'-0"

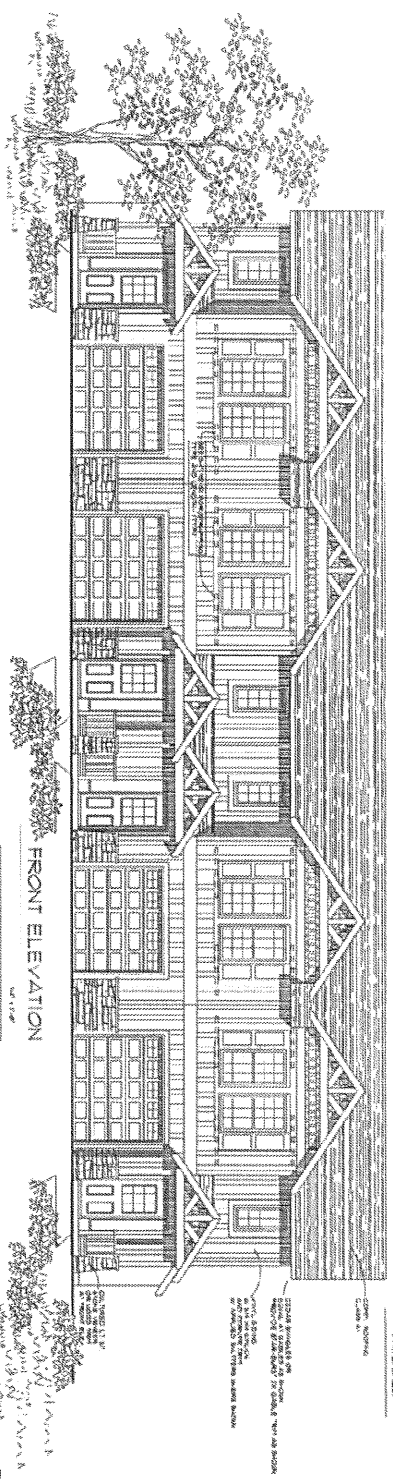
STAIR SECTION
1/8" = 1'-0"

Building Designs By Stockton A.I.B.D.

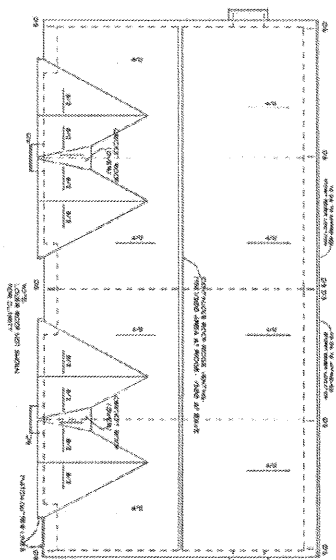
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A5

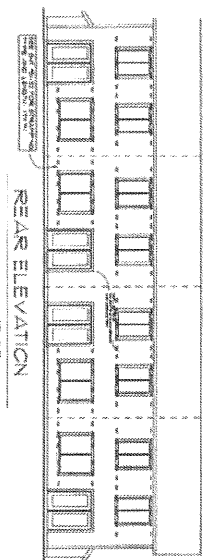
DATE: 4-28-2014
BY: J. M. M. / J. M. M.
SCALE: AS SHOWN



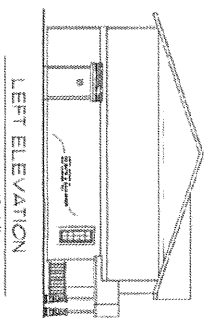
FRONT ELEVATION
1/8" = 1'-0"



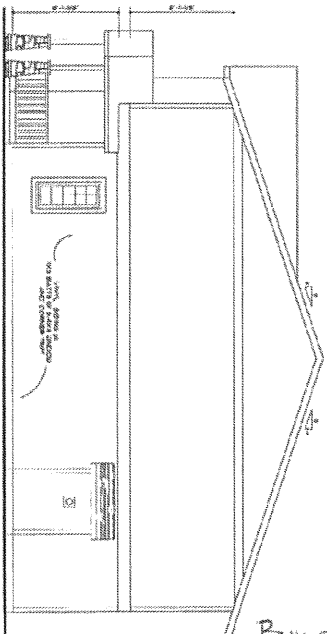
ROOF PLAN
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"

TYPICAL EXTERIOR MATERIALS
AT THE ABOVE ELEVATIONS, EXCEPT AS NOTED, THE FOLLOWING MATERIALS ARE TO BE USED: SIDING - 1/2" OSB SHEATHING OVER 1/2" GYP BOARD; ROOFING - 1/2" OSB SHEATHING OVER 1/2" GYP BOARD; CEILING - 1/2" GYP BOARD; FLOORING - 1/2" OSB SHEATHING OVER 1/2" GYP BOARD; INTERIORS - 1/2" GYP BOARD; EXTERIORS - 1/2" GYP BOARD; ROOFING - 1/2" OSB SHEATHING OVER 1/2" GYP BOARD; CEILING - 1/2" GYP BOARD; FLOORING - 1/2" OSB SHEATHING OVER 1/2" GYP BOARD; INTERIORS - 1/2" GYP BOARD; EXTERIORS - 1/2" GYP BOARD.

NOTE: ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OBTAINING OF PERMITS OR INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OBTAINING OF PERMITS OR INSURANCE.

USE: 515-710-7100/STOCKTONCDBA.GRAPHIC
E-MAIL: STOCKTONCDBA@GMAIL.COM

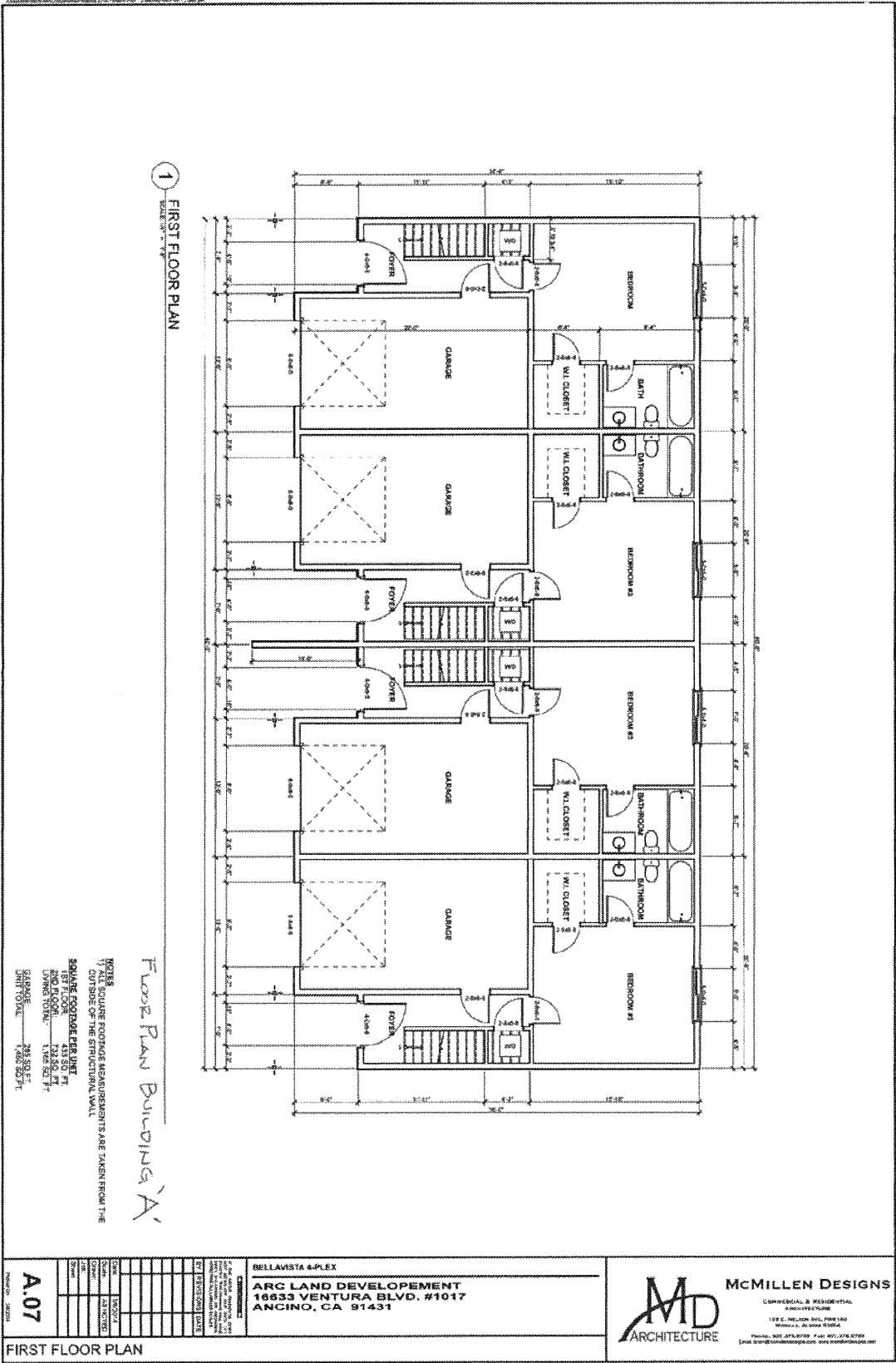


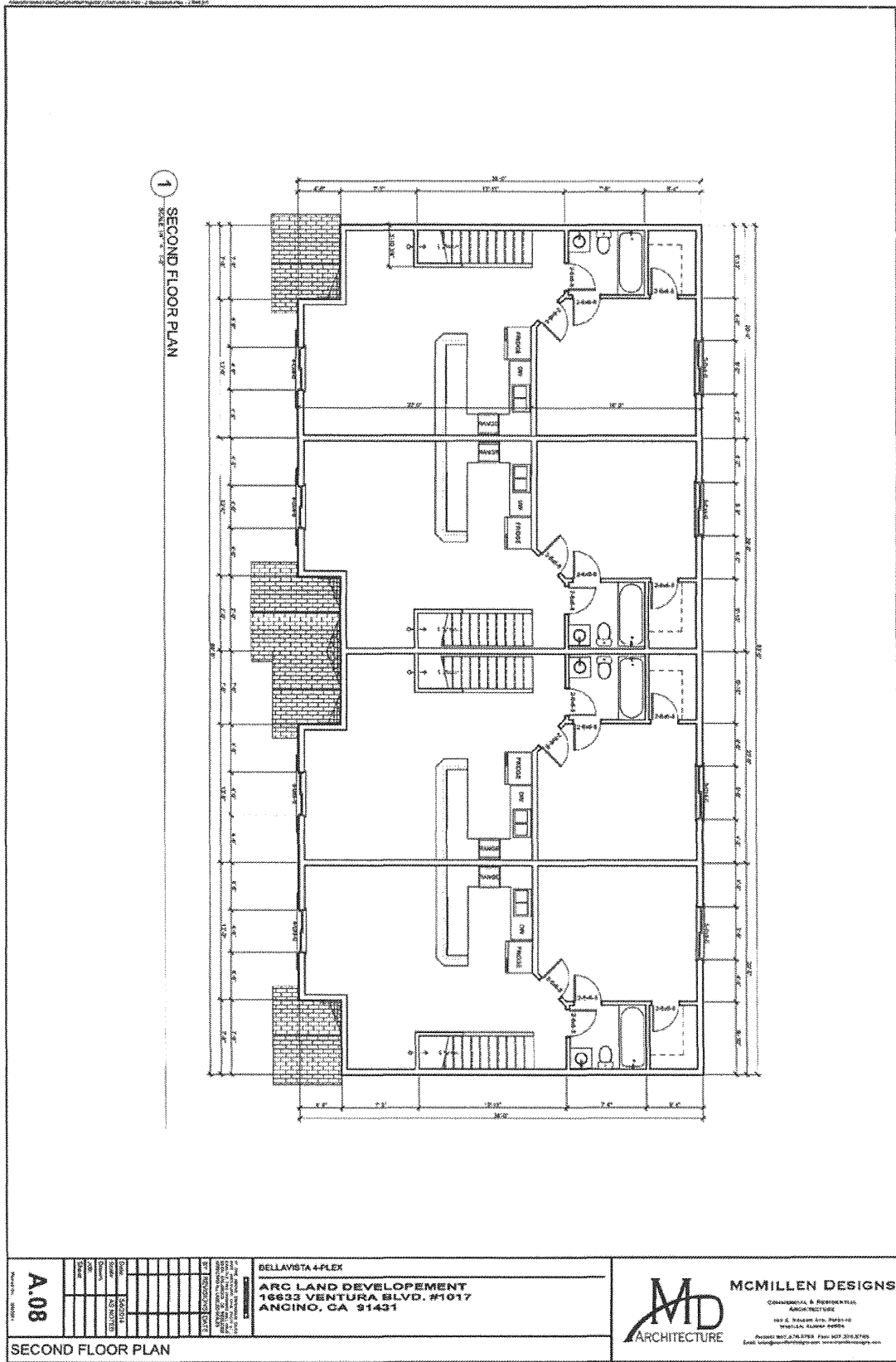
PLAN 4-2021-3
1 UNIT RES.



Building Designs
By
Stockton A.L.B.D.
Office - #1-800-368-0821

THE DESIGNER, ARCHITECT AND CONTRACTOR HEREOF IN THESE DRAWINGS AND THE NECESSARY PERMITS AND BUILDING DEPARTMENT OF STOCKTON, CALIFORNIA, AND ALL APPLICABLE ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OBTAINING OF PERMITS OR INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OBTAINING OF PERMITS OR INSURANCE.





REGULAR MEETING

I. CALL TO ORDER

The regular meeting of the Wasilla Planning Commission was called to order at 6:00 PM on Tuesday, April 8, 2014, in Council Chambers of City Hall, Wasilla, Alaska by Glenda Ledford, Chairman.

II. ROLL CALL

Commissioners present and establishing a quorum were:

Claudia Pinard, Seat A
Daniel Kelly Jr., Seat B
Jessica Dean, Seat C
Loren Means, Seat D
Glenda Ledford, Seat E

Staff in attendance were:

Mr. Bert Cottle, Deputy Administrator
Mr. Archie Giddings, Public Works Director
Mr. Richard Payne, City Attorney
Ms. Tina Crawford, City Planner
Ms. Tahirih Revet, Planning Clerk

III. PLEDGE OF ALLEGIANCE

A. Commissioner Dean led the Pledge of Allegiance.

IV. APPROVAL OF AGENDA

GENERAL CONSENT: The agenda was approved as presented.

V. REPORTS

A. City Deputy Administrator

Mr. Cottle provided a brief report on City budget items and that the State's budget, which include items for the City, should approve the City's budget on June 1, 2014.

B. City Public Works Director

Mr. Giddings proved a report on the progress of the development of the new library and that AKDOT&PF will have a meeting regarding the Knik-Goose Bay Road reconstruction project on April 16, 2014 at the Wasilla Senior Center.

C. City Attorney

Mr. Payne introduced himself and stated he is there to help answer questions regarding any of the legal processes.

D. City Planner

Ms. Crawford reminded the Commissioners that there will be a second Planning Commission meeting on April 22, 2014 for a conditional use and variance. She also provided a memorandum from Mr. Payne regarding the by-laws and the ability of non-city residents to provide testimony at public hearings.

VI. PUBLIC PARTICIPATION (*five minutes per person, for items not scheduled for public hearing*)

No one came forward to provide comments.

VII. CONSENT AGENDA

A. Minutes of March 11, 2014, regular meeting

GENERAL CONSENT: Minutes were approved as presented.

VIII. NEW BUSINESS (*five minutes per person*)

A. PUBLIC HEARINGS

1. Item: Land Clearing Waiver #14-01 (Reso. #14-03)
Petitioner: Darin Minkler for Insurance Auto Auctions
Owner: Northern Enclosures, LLC
Request: Approval to clear up to 100% of the vegetation on Lots 1-5, which is more than the 70% clearing allowed in WMC 16.33.050(A)(2) for an auto auction business.
Total Area: 7.13 acres±
Location: 1290, 1350, 1390, 1420, and 1446 W. Mystery Avenue
Lots 1, 2, 3, 4, and 5, Block 2, Discovery Hills Subdivision Phase V
Zoning: Industrial
Future Land Use: Industrial

a. City Staff

Ms. Crawford provided a brief summary of the applicant's request for a land clearing waiver.

b. Applicant

Mr. Darin Minkler, owner, provided a statement regarding why is asking for the land clearing waiver.

Discussion moved to the Commission.

- c. Private person supporting or opposing the proposal
No one commented.
- d. Applicant
No comments.

MOTION: Commissioner Means moved to approve Resolution Serial No. 14-03, as presented.

Discussion moved to the Commission.

VOTE: The motion to approve Resolution Serial No. 14-03, passed with Commissioners Dean, Means, and Chair Ledford in favor, and Commissioners Kelly and Pinard in opposition.

- 2. Item: Planned Unit Development (PUD) #14-01
(Reso. #14-04)
Petitioner: JYG Investment Group, LLC
Request: Approval of a PUD to develop a 16-lot subdivision with one fourplex per lot (a total of 64 residential dwelling units.)
Total Area: 5.825 acres±
Location: Located east of E. Old Matanuska Road
Lot 2C, Creekside Plaza RSB
Zoning: Commercial
Future Land Use: Mixed Use

a. City Staff

Ms. Crawford provided background regarding the PUD process and requirements and then provided a brief overview of the request and staff's recommendation. She requested that staff and the applicant be allowed up to 20 minutes for presentation due to the detailed request.

Commission approved by unanimous approval to let the City staff and applicant have 20 minutes each to provide comments on the request.

b. Applicant

Ms. Joy Cypra, Alaska Rim Engineering, representative for JYG Investment Group, LLC, provided a presentation of the applicant's request.

Mr. Robert Young, owner, provided more information on the reasons for their request.

Discussion moved to the Commission.

Mr. Norman Gutcher, Alaska Rim Engineering, provided more information regarding the water and sewer install and reason for request.

Discussion ensued with the Commission.

c. Private person supporting or opposing the proposal
Chair Ledford opened the public hearing.

Ms. Donna St. John, resident of Richmond Hills (condos), stated her opposition in the development due to traffic concerns and residents of rentals.

Discussion moved to the Commission.

Ms. Debbie Brent, resident of Richmond Hills (condos), stated her opposition of the development and concerns of walkability.

With no other comments, Chair Ledford closed the public hearing.

d. Applicant

Mr. Young addressed concerns voiced during the public hearing comments.

MOTION: Commissioner Kelly moved to approve Resolution Serial No. 14-04, as presented.

MOTION: Commissioner Dean moved to add a condition requiring burial of the utilities along Old Matanuska Road.

VOTE: The motion to have the utilities buried along Old Matanuska Road, passed unanimously

MOTION: Commissioner Dean moved to revise Condition #2 and 3 as follows:

2. The applicant must replant a vegetated buffer along Old Matanuska Road in front of Lots 14-16 that provides a screening effect similar to what currently exists and in a manner that allows safe interaction between the driveways and the existing bike path.

VOTE: The motion to passed unanimously.

MOTION: Commissioner Pinard moved to add a condition requiring a buffer for privacy between Lots 10 – 12 and Lots 14 – 16.

MOTION: Commissioner Means moved to open the public hearing portion to ask the developer a question regarding privacy between the lots.

VOTE: The motion to open the public hearing, passed unanimously.

Mr. Young addressed the concern regarding privacy and indicated that the area proposed for a buffer was over the sewer easement.

Ms. Brent asked about snow removal and the possibility of run off to the creek.

Mr. Giddings stated there will be sufficient area to handle any runoff from the site.

With no other comments, Chair Ledford closed the public hearing.

Discussion moved to the Commission.

VOTE: The amendment to add buffering between Lots 10-12 and Lots 14-16 failed.

VOTE: The motion to approve Resolution Serial No. 14-04 as amended, passed with Commissioners Kelly and Dean, and Chair Ledford in favor and Commissioners Means and Pinard in opposition.

B. Committee of the Whole

Ms. Crawford stated the discussion on the Comprehensive Plan Chapter 6 was scheduled to meet the City code requirements that at least two chapters in the Comprehensive Plan are review annually. She stated that she had not identified any necessary changes and that this items allowed the Commissioners to bring up any recommended changes.

MOTION: Commissioner Kelly moved to enter into the Committee of the Whole at 8:19 PM.

Entered into the Committee of the Whole for the following item:

1. Review of Comprehensive Plan Chapter 6, Community Assets.

MOTION: Commissioner Means moved to exit the Committee of the Whole at 8:33 PM

IX. UNFINISHED BUSINESS

No unfinished business.

X. COMMUNICATIONS

No statements made regarding the following items.

- A. Permit Information
- B. Enforcement Log

XI. AUDIENCE COMMENTS

No comments.

XII. STAFF COMMENTS

No comment.

XIII. COMMISSION COMMENTS

Commissioner Means stated that he appreciated the public attending the meeting and providing their input.

Commissioner Kelly stated his concerns regarding landscaping within the City.

Chair Ledford thanked everyone for showing up.

XIV. ADJOURNMENT

The regular meeting adjourned at 8:42 PM.

GLENDAL LEDFORD, Chairman Date

ATTEST:

TAHIRIH REVET, Planning Clerk

Adopted by the Wasilla Planning Commission -, 2014.

OFFICIAL RECORD FOR PUD #14-01






ITEMS PROVIDED TO THE
PLANNING COMMISSION AT THE REGULAR
MEETING ON APRIL 8, 2014.

BELLA VISTA WEST PUD

The setback variances needed for this PUD are noted below:

	Requested Variance	New Setback
LOT 1	Side yard setback: 5'	5' side yard setback
LOT 2	Side yard setback: 5'	5' side yard setback
LOT 3	Rear yard setback: 5' Side yard setback: 5'	20' rear yard setback 5' side yard setback
LOT 4	Side yard setback: 5'	5' side yard setback
LOT 5	Side yard setback: 5'	5' yard setback
LOT 6	Side yard setback: 5'	5' side yard setback
LOT 7	Rear yard setback: 15' Side yard setback: 5'	10' rear yard setback 5' side yard setback
LOT 8	Side yard setback: 5'	5' side yard setback
LOT 9	NONE	
LOT 10	Rear yard setback: 10'	15' rear yard setback
LOT 11	Side yard setback: 5'	5' side yard setback
LOT 12	Rear yard setback: 10' Side yard setback: 5'	15' rear yard setback 5' side yard setback
LOT 13	NONE	
LOT 14	Rear yard setback: 10'	15' rear yard setback
LOT 15	NONE	
LOT 16	NONE	



- LANDSCAPE LEGEND:**
-  2' SHRUB
 -  8' BLUE SPRUCE
 -  GRASS
 -  NEW ASPHALT BIKE PATH
 -  EDGE OF EXISTING TREES TO REMAIN

① LANDSCAPE PLAN
SCALE: 1" = 16'

MCMILLEN DESIGNS
 ARCHITECTURE
 16653 VENTURA BLVD., SUITE 1014
 ENCINO, CA 91436
 TEL: 818.441.3861
 WWW.MCMILLENDESIGNS.COM

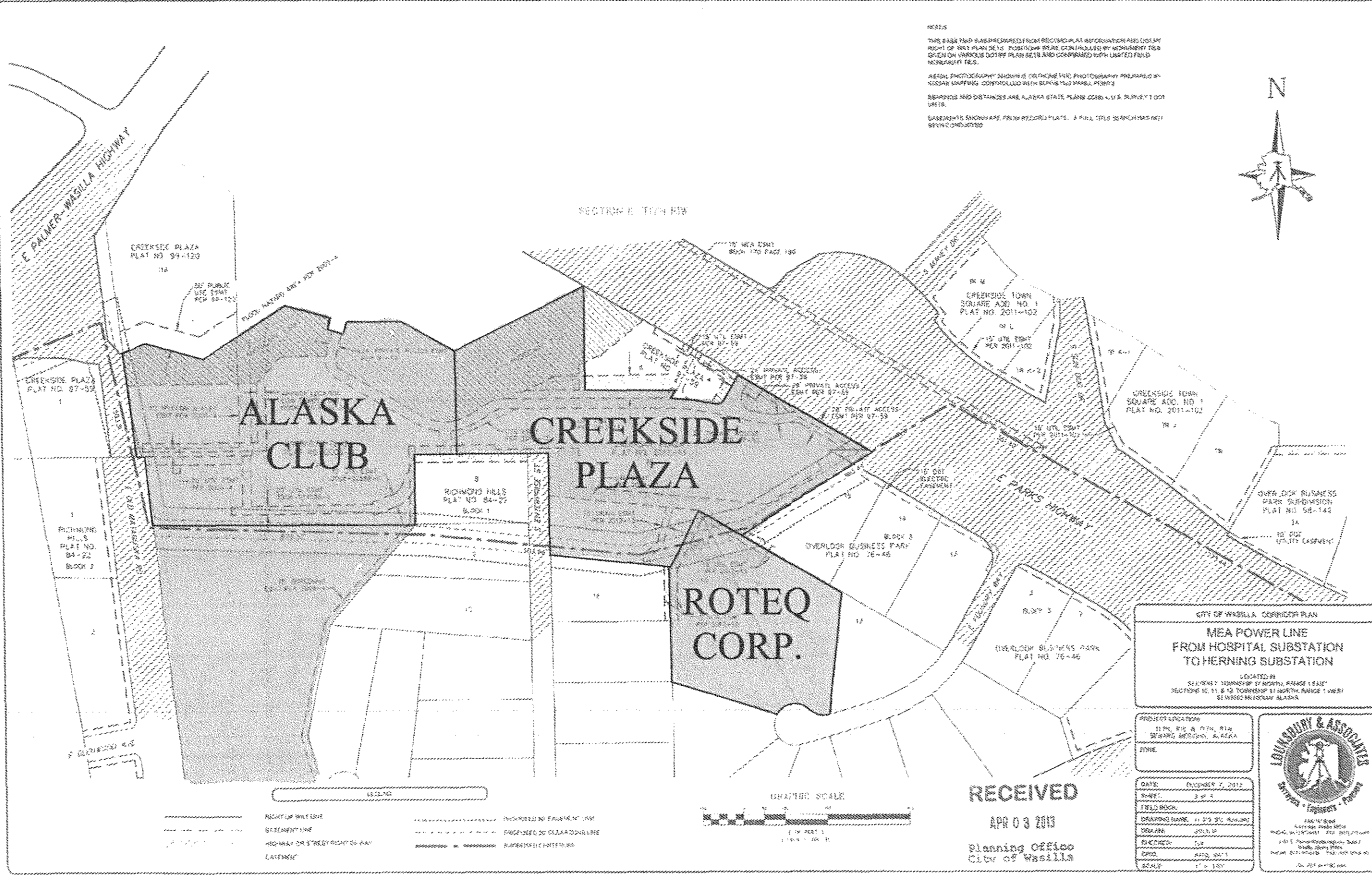
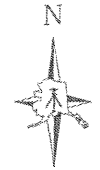
BELLA VISTA - WEST
 JYG INVESTMENT GROUP
 16653 VENTURA BLVD., SUITE 1014
 ENCINO, CA 91436

NO.	DESCRIPTION	DATE

A.01

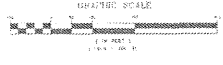
LANDSCAPE PLAN

NOTES
 THIS PLAN IS PREPARED BY THE ENGINEER AND IS SUBJECT TO THE CITY OF WASILLA'S POLICIES AND ORDINANCES. THE CITY ENGINEER'S OFFICE DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ENGINEER'S OFFICE DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON.
 ALL PHOTOGRAPHS AND SURVEY DATA MUST BE CHECKED FOR ACCURACY AND CORRECTED BEFORE BEING USED FOR ANY PURPOSE.
 SURVEY AND DISTANCES ARE SUBJECT TO THE CITY ENGINEER'S OFFICE'S REVIEW.
 EXISTING UTILITIES ARE SHOWN AS APPROXIMATE. A FIELD SURVEY SHOULD BE CONDUCTED.



CITY OF WASILLA, CONVEYER PLAN
MEA POWER LINE FROM HOSPITAL SUBSTATION TO HERNING SUBSTATION
 LOCATED IN SECTION 11, T. 13 N., R. 13 W., S. 14TH RANGE 1 WEST, WASILLA, ALASKA

PROJECT LOCATION	CITY OF WASILLA, ALASKA
DATE	NOVEMBER 2, 2012
SCALE	AS SHOWN
DESIGNED BY	LANDQUIST & ASSOCIATES
DRAWN BY	LANDQUIST & ASSOCIATES
CHECKED BY	LANDQUIST & ASSOCIATES
APPROVED BY	LANDQUIST & ASSOCIATES
SCALE	1" = 100'



RECEIVED
 APR 03 2013
 Planning Office
 City of Wasilla

--- ASHUP WATER
 --- SEWER
 --- GAS
 --- ELECTRIC
 --- FIBER OPTIC
 --- TELEPHONE
 --- CABLE TV
 --- RAILROAD
 --- HIGHWAY
 --- FENCE
 --- EASEMENT
 --- EGRESS
 --- DRIVEWAY
 --- SIDEWALK
 --- CURB
 --- GROUND SURFACE
 --- CONCRETE
 --- ASPHALT
 --- GRAVEL
 --- SAND
 --- SOIL
 --- ROCK
 --- VEGETATION
 --- TREES
 --- SHRUBS
 --- GRASS
 --- PAVEMENT
 --- DRIVEWAY
 --- SIDEWALK
 --- CURB
 --- GROUND SURFACE
 --- CONCRETE
 --- ASPHALT
 --- GRAVEL
 --- SAND
 --- SOIL
 --- ROCK
 --- VEGETATION
 --- TREES
 --- SHRUBS
 --- GRASS

**NOTIFICATION OF PUBLIC HEARING
-PLANNED UNIT DEVELOPMENT (PUD)-**

DATE: March 24, 2014

Matanuska - Susitna Borough
Development Services

CASE: PUD14-01

APPLICANT (S): JYG Investment Group, LLC

MAR 25 2014

REQUEST: Approval of a Planned Unit Development (PUD) to develop a 16-lot subdivision with one fourplex per lot (a total of 64 residential dwelling units.)

RECEIVED

A public hearing on this request is scheduled for **April 8, 2014 at 6:00 PM** in the City Council Chambers. Comments may be submitted in writing by filling in the spaces provided below and mailing to: City of Wasilla, Planning Office, 290 E. Herning Ave, Wasilla, AK 99654. If there is not enough room below please attach a separate piece of paper. Comments may also be faxed to (907) 373-9021 or emailed to planning@ci.wasilla.ak.us. Written comments on this PUD request must reach the Planning Office on or before **April 1, 2014** in order to be included in the packet. Comments received after that date will be available at the public hearing.

Anyone wishing to review the application for this case is encouraged to contact the Planning Office for additional information.

Name _____
Address _____
Lot _____ Block _____ Subdivision _____

Comments:

FIRM 8085 X Zone
No other comments *3/25/14*
[Signature]



CITY OF WASILLA
PLANNING OFFICE
290 E HERNING AVE
WASILLA, AK 99654
PHONE 373-9020 FAX 373-9021

neopost
03/24/2014
US POSTAGE \$00.48⁰
ZIP 99654
04TL11222587

MSB Chief of Code Compliance
350 E. Dahlia Ave
Palmer, AK 99645

Matanuska-Susitna Borough

MAR 25 2014

RECEIVED

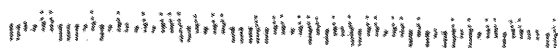
FIRST CLASS
RECEIVED

APR 02 2014

Planning Office
City of Wasilla

PUBLIC NOTICE

99645#5488 CDD1





MAYOR
Verne E. Rupright

CITY PLANNER
Tina Crawford

WASILLA PLANNING COMMISSION
Claudia Pinard, Seat A
Daniel Kelly Jr., Seat B
Jessica Dean, Seat C
Loren Means III, Seat D
Glenda Ledford, Seat E

**CITY OF WASILLA
PLANNING COMMISSION MEETING AGENDA
WASILLA CITY COUNCIL CHAMBERS**

Wasilla City Hall, 290 E. Herning Avenue, Wasilla, AK 99654 / 907-373-9020 phone

REGULAR MEETING

6 P.M.

APRIL 8, 2014

- I. CALL TO ORDER
- II. ROLL CALL
- III. PLEDGE OF ALLEGIANCE
- IV. APPROVAL OF AGENDA
- V. REPORTS
 - A. City Deputy Administrator
 - B. City Public Works Director
 - C. City Attorney
 - D. City Planner
- VI. PUBLIC PARTICIPATION (*three minutes per person, for items not scheduled for public hearing*)
- VII. CONSENT AGENDA
 - A. Minutes of March 11, 2014 regular meeting
- VIII. NEW BUSINESS (*five minutes per person*)
 - A. PUBLIC HEARINGS
 1. Item: Land Clearing Waiver #14-01 (Reso. #14-03)
Petitioner: Darin Minkler for Insurance Auto Auctions
Owner: Northern Enclosures, LLC
Request: Approval to clear up to 100% of the vegetation on Lots 1-5, which is more than the 70% clearing allowed in WMC 16.33.050(A)(2) for an auto auction business.

Total Area: 7.13 acres±

Location: 1290, 1350, 1390, 1420, and 1446 W. Mystery Avenue
Lots 1, 2, 3, 4, and 5, Block 2, Discovery Hills Subdivision Phase V
Zoning: Industrial
Future Land Use: Industrial
a. City Staff
b. Applicant
c. Private person supporting or opposing the proposal
d. Applicant

2. Item: Planned Unit Development (PUD) #14-01 (Reso. #14-04)
Petitioner: JYG Investment Group, LLC
Request: Approval of a PUD to develop a 16-lot subdivision with one fourplex per lot (a total of 64 residential dwelling units.)
Total Area: 5.825 acres±
Location: Located east of E. Old Matanuska Road
Lot 2C, Creekside Plaza RSB
Zoning: Commercial
Future Land Use: Mixed Use
a. City Staff
b. Applicant
c. Private person supporting or opposing the proposal
d. Applicant

- B. Committee of the Whole
1. Review of Comprehensive Plan Chapter 6, Community Assets.

IX. UNFINISHED BUSINESS

X. COMMUNICATIONS

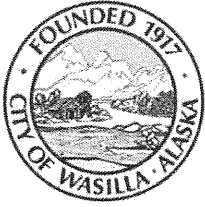
- A. Permit Information
B. Enforcement Log

XI. AUDIENCE COMMENTS (*three minutes per person*)

XII. STAFF COMMENTS

XIII. COMMISSION COMMENTS

XIV. ADJOURNMENT



Staff Report: PUD #14-01
Prepared by: Planning Staff
Meeting date: April 8, 2014

I. SUMMARY FACTS:

Agent: Alaska Rim Engineering, Inc.

Property Owner: JYG Investment Group, LLC

Request: Approval of a Planned Unit Development (PUD) to develop a 16-lot subdivision with one fourplex per lot with a total of 64 residential dwelling units.

Parcels: Lot 2C, Creekside Plaza Subdivision (Plat No. 2014-21)
(Previously the south 5.825 acres of Lot 2A, Creekside Plaza)

Location: Generally located on the east side of Old Matanuska Road just north of E. Glenwood Avenue.

Parcel size: 5.825± acres

Existing Zoning: Commercial (C)

Future Land Use: Mixed Use

Surrounding Uses: North: Vacant land, Alaska Club
South: Multi-family residential
East: Multi-family residential
West: Multi-family residential

II. STAFF RECOMMENDATION:

Based on findings of compliance with applicable criteria established in Section 16.16.050, 16.16.070, and 16.20.030 of the Wasilla Municipal Code, staff recommends approval of the request with conditions.

III. SUMMARY OF REQUEST

Public hearing notices were mailed to 80 property owners within a 1,200 foot radius and 25 review agencies on October 8, 2013 allowing an appropriate number of days to respond prior to the public hearing notice and request for comments in accordance with 16.16.040(A)(2).

IV. APPLICABLE PROVISIONS

The following requirements from WMC 16.16.050, 16.16.070, and 16.20.030 are applicable to this request for rezoning property within the City of Wasilla:

V. FINDINGS

COMPLIANCE WITH WMC 16.16.050 – GENERAL APPROVAL CRITERIA

16.16.050 *An administrative approval, use permit, elevated administrative approval, elevated use permit or conditional use may be granted if the following general approval criteria and any applicable specific approval criteria of Section 16.16.060 are complied with. The burden of proof is on the applicant to show that the proposed use meets these criteria and applicable specific criteria for approval. An approval shall include a written finding that the proposed use can occur consistent with the comprehensive plan, harmoniously with other activities allowed in the district and will not disrupt the character of the neighborhood. Such findings and conditions of approval shall be in writing and become part of the record and the case file.*

16.16.050(1)&(5) *Neighbors/Neighborhoods. Due deference has been given to the neighborhood plan or comments and recommendations from a neighborhood with an approved neighborhood plan.*

Staff Finding: This criterion is not applicable since this parcel is not part of an adopted neighborhood plan.

16.16.050(2) *Plans. The proposal is substantially consistent with the city comprehensive plan and other city adopted plans.*

Staff Finding: The proposed use is consistent with the Comprehensive Plan's Mixed Use Future Land Use Map designation and the Commercial zoning district that implements the Comprehensive Plan.

16.16.050(3) *Special Uses. The proposal is substantially consistent with the specific approval criteria of Section 16.16.060.*

Staff Finding: The specific approval criteria under 16.16.060 are not applicable since multi-family residential is not one of the special uses with additional criteria.

16.16.050(4) *Reviewing Parties. Due deference has been given to the comments and recommendations of reviewing parties.*

Staff Finding: The City mailed 109 notices to neighboring property owners within 1200', 25 review agencies that are typically provided with the opportunity to comment, and the Planning Commission and City Council. At the time of packet preparation, only one comment was received that expressed concerns regarding the availability of water/sewer to serve the development and the traffic from the

proposed 64 units. As indicated in the findings and the application packet, the development has direct access onto a major collector roadway (Old Matanuska Road) and will connect to city water and sewer services. Regarding the number of dwelling units, the Commercial zoning district has no limit on density provided that all other criteria are met.

Any comments received after distribution of the packet will be provided at the public hearing and be addressed at that time.

16.16.050(6) *Fire Safety and Emergency Access. The proposal shall not pose a fire danger as determined by the State Fire Marshal or the fire chief of the district in which the proposed use is located. Adequate access for emergency and police vehicles must be provided.*

Staff Finding: The MSB Fire Chief's office will review the construction plans for compliance with all applicable fire codes, building codes and emergency access as related to the public health, safety and welfare prior to construction. Access for emergency vehicles will be provided from Old Matanuska Road and the proposed subdivision road.

16.16.050(7) *Traffic. The proposed use shall not overload the street system with traffic or result in unsafe streets or dangers to pedestrians.*

Staff Finding: The proposed subdivision will be located at the western end of Old Matanuska Road, which is a major collector road. This multi-family development will not overload the street system or create unsafe streets or dangers to pedestrians.

16.16.050(8) *Dimensional Standards. The dimensional requirements of Section 16.24.010 are met.*

Staff Finding: The attached site plan submitted by the applicant either complies with or requests the necessary variances as part of the PUD to the minimum setbacks and maximum height requirements of §16.24.010. The applicant has provided a table outlining the setback variances needed for this development in their PUD narrative. NOTE: Although they identify the need for side setback variances for several lots, the Commercial zoning district allows a zero side setback provided that the building construction meets the State of Alaska Fire and Life Safety Regulations.

16.24.050(9) ***Parking. The parking, loading areas, and snow storage sites for the proposed development shall be adequate, safe and properly designed. The developer may be required to install acceptable lighting at pedestrian or vehicular access points.***

Staff Finding: The site plan provides the required parking and snow storage areas.

16.16.050(10) ***Utilities. The proposed use shall be adequately served by water, sewer, electricity, on-site water or sewer systems and other utilities.***

Staff Finding: The site is adequately served by water and sewer and other utilities are currently available in the area.

16.16.050(11) ***Drainage. The proposed use shall provide for the control of runoff during and after construction. All roads and parking areas shall be designed to alleviate runoff into public streets, adjoining lots and protect rivers lakes and streams from pollution. Uses may be required to provide for the conservation of natural features such as drainage basins and watersheds, and land stability.***

Staff Finding: The proposed drainage plan indicates on-site storage for runoff from the site. Additionally, in-depth review and approval of the plans will be required by the Public Works department prior to construction.

16.16.050(12) ***Large Developments. Residential development of more than four units or non-residential development of more than ten thousand (10,000) square feet gross floor area may be required to provide a site plan showing measures to be taken for the preservation of open space, sensitive areas and other natural features; provision of common signage; provision for landscaping and provisions for safe and effective circulation of vehicles, pedestrians and bicycles. Nonresidential large developments must be located with frontage on one of the following class of streets: interstate, minor arterial, major collector or commercial.***

Staff Finding: The site plan indicates sufficient open space, vehicle and pedestrian circulation, and landscaping. According to the applicant, all vegetated and grassed areas will be dedicated as common area for the development and will be maintained and managed by a homeowner's association. Fences will not be permitted so all residents will be able to utilize the open areas and a bicycle/pedestrian path will provide dedicated access from the interior lots to the path along Old Matanuska Road.

16.16.050(13) *Peak Use. The proposed use shall not result in significantly different peak use characteristics than surrounding uses or other uses allowed in the district.*

Staff Finding: There should not be different peak use characteristics than the surrounding uses or area since the surrounding area is developed with higher density residential uses.

16.16.050(14) *Off-Site Impacts. The proposal shall not significantly impact surrounding properties with excessive noise, fumes or odors, glare, smoke, light, vibration, dust, litter, or interference in any radio or television receivers off the premises, or cause significant line voltage fluctuation off the premises. Radio transmitters and any electronic communications equipment regulated by the Federal Communications Commission is specifically excluded from regulation by this section. Welding, operation of electrical appliances or power tools, or similar activities that cause off site impacts as described above are specifically regulated by this subsection. Buffering may be required to ameliorate impacts between residential and nonresidential uses. The owner of the property upon which the buffer is constructed is responsible for the maintenance of the buffer in a condition that will meet the intent of these criteria.*

Staff Finding: The proposed use should not generate any negative impacts to the surrounding properties.

16.16.050(15) *Landscaping. The proposed use shall be designed in a manner that minimizes the removal of trees and vegetative cover, and shall conform to the standards in this title concerning the provision and maintenance of landscaping, and any landscaping plan that is required for the proposed use under this title. The approval authority also may condition approval on the provision of the following:*

- a. A fenced storage area for common use, adequate to store boats, trailers, snowmobiles, recreational vehicles and similar items.*
- b. Adequately sized, located and screened trash receptacles and areas.*

Staff Finding: The applicant is requesting approval to remove all of the existing vegetation except a 15' wide strip of trees along the on the north, south, and eastern property boundaries. They propose to grass the remaining area and plant the required 36 trees and 72 shrubs throughout the development.

However, this is an area where the majority of the lots (including the condominium development to the southeast) have retained a thick, natural buffer of trees and vegetation along Old Matanuska Road. The existing multi-purpose path along the east side of Old Matanuska Road is part of the City's parks and trail system and leads to a newly acquired natural, passive recreation park along Cottonwood Creek on the west side of Old Matanuska Road.

Therefore, staff is recommending that the PUD approval be conditioned upon their preserving all of the existing vegetation in the right of way along Old Matanuska Road that abuts Lots 1 and 13 including the existing vegetation on Lots 1 and 13 between the western building edge to the multi-purpose path to preserve the natural beauty of this area. A minimal amount of clearing at the intersection of Kinzi Circle and Old Matanuska Road may be cleared for the placement of a subdivision entrance sign/feature, subject to review and approval by the City Planner or Planning Commission. In addition, they are proposing to clear the trees and natural vegetation in the right-of-way abutting Lots 14-16 to install water lines; staff is recommending that they retain the existing trees and vegetation to the greatest extent possible and then replant a minimum of a 20' wide buffer along Old Matanuska Road that screens and softens the appearance of these units from the roadway. The replanted buffer should achieve the same buffer effect as a 20' wide swath of the existing trees and vegetation.

16.16.050(16) *Walkways, Sidewalks and Bike Paths. Pedestrian walkways or bicycle paths may be required where necessary to provide reasonable circulation or access to schools, playgrounds, shopping areas, transportation or other community facilities. Improvements must be constructed to standards adopted by the engineer.*

Staff Finding: An existing multi-purpose path is located along Old Matanuska Road and the applicant is proposing to install a new bike/pedestrian path that will provide direct access to the existing path.

16.16.050(17) *Water, Sewage and Drainage Systems. If a proposed use is within five hundred (500) feet of an existing, adequate public water system, the developer may be required to construct a distribution system and the connection to the public system. A developer may be required to increase the size of existing public water, sewer or drainage lines or to install a distribution system within the development. The commission may require any or all parts of such installation to be oversized. The developer must submit to the engineer an acceptable plan that shows that if within ten (10) years an increase in capacity will be required to serve other areas how these needs will be met*

by oversized facilities. When installation of oversized facilities is required, the developer shall install such facilities at their own expense. The developer shall be reimbursed the amount determined by the engineer to be the difference in cost between the installed cost of the oversized utility lines and the installed cost of the utility lines adequate to serve both the development concerned and all other land to be served by the lines which is owned or under the control of the developer, provided the developer may not be required to install facilities unless funds for such oversizing have been appropriated for the purpose by the city and there is a sufficient unencumbered balance in the balance in the appropriation. No reimbursement may be made unless the developer has entered into such agreement with the city, including conveyances of personal property including lines, lift stations and valves and conveyances of land or rights in land, as the city determines may be necessary to ensure complete control by the city of its sewer, drainage and water lines when they are extended to serve the property of the developer. Notwithstanding the requirement that the developer construct improvements to existing systems, the commission may elect to accomplish the design or construction, or both, of improvements to be made to existing public systems. In such a case, the commission may require advance payment to the city of the estimated cost of work to be accomplished by the city. The developer shall reimburse the city for all expenses of such design or construction not paid in advance. A public system is adequate if, in the judgment of the engineer, it is feasible for the developer to make improvements to the public system which will provide the increased capacity necessary to serve the existing users and the new development at the same level as is being provided to the existing users. Prior to approval of a use for which a community water system is required, the developer must submit evidence showing that there is available a satisfactory source of water. A source of water is satisfactory only if it can be shown that the proposed source will produce water sufficient in quality and quantity to supply the development. The water system and the connection between such distribution systems and the source must be sized and constructed to meet fire flow and hydrant requirements for fire protection and that the developer has obtained or can obtain a water appropriation permit or certificate for the water from the state. The system must be built to city specifications available from the engineer.

Staff Finding:

City utilities are in the immediate area and sufficient capacity exists for the proposed use. The applicant will coordinate with the Public Works department to obtain all necessary City permits.

16.16.050(18) *Historic Resources. The proposed use shall not adversely impact any historic resource prior to the assessment of that resource by the city.*

Staff Finding: At this time there are no known historic resources on the site. However, the Matanuska-Susitna Borough Cultural Resources Office was notified of the plans to develop this site.

16.16.050(19) *Appearance. The proposed use may be required to blend in with the general neighborhood appearance and architecture. Building spacing, setbacks, lot coverage, and height must be designed to provide adequate provisions for natural light and air.*

Staff Finding: There is adequate spacing between the buildings and the proposed use will be compatible with the surrounding uses.

16.16.050(20) *Open Space and Facilities. The applicant may be required to dedicate land for open space drainage, utilities, access, parks or playgrounds. Any dedication required by the city must be based on a written finding that the area is necessary for public use or safety and the dedication is in compliance with adopted municipal plans and policy. The city finding shall conclude that a direct connection exists between the development and the need for the provision of the dedication...*

Staff Finding: According to the applicant, all vegetated and grassed areas will be dedicated as common area for the development and will be maintained and managed by a homeowner's association. Fences will not be permitted so all residents will be able to utilize the open areas and a bicycle/pedestrian path will provide dedicated access from the interior lots to the path along Old Matanuska Road.

16.16.050(21) *Winter Hassles. The proposed use shall not significantly increase the impact on the surrounding area from glaciation or drifting snow.*

Staff Finding: There are no foreseeable problems associated with winter conditions are anticipated for the proposed use and all snow storage will be accommodated on site.

COMPLIANCE WITH WMC 16.16.070 - REZONING

A. Initiation. A rezoning may be initiated by the developer, the planner, any member of the commission, a city council member, the mayor, or by a petition bearing the signatures of the owners of at least fifty-one (51) percent of the owners of property within the area proposed to be rezoned.

Staff Finding: This criterion is met since the subject rezoning was initiated by the property owner.

B. Restrictions. Rezoning of an area less than two acres shall not be considered unless the rezoning involves the contiguous expansion of an existing zone, or a planned unit development overlay district. Streets or other rights-of-way shall not be included in calculating the minimum area for a rezoning. The area to be rezoned shall be a logical, integrated area.

Staff Finding: This criterion is met since the parcel is approximately 5.8 acres.

C. Procedure. The application, acceptance notice, review and decision procedures for a rezoning shall follow the procedures set forth for a conditional use in Section 16.16.040. If the commission fails to act within twenty (20) days of the close of the hearing the rezoning request shall be considered approved and shall be forwarded to the council.

Staff Finding: All applicable application, notice, review, and decision procedures were followed consistent with Section 16.16.040.

D. Criteria. The commission shall make a recommendation to the council based on written findings that the appropriate following criteria have been addressed:

1. Due deference has been given to the neighborhood plan; or comments and recommendations from a neighborhood with an approved neighborhood plan;

Staff Finding: This criterion is not applicable since there are not any approved neighborhood plans in the area. However, notices were mailed to all property owners within 1200' to inform them of the proposed development and give them time to provide comments/concerns.

2. The proposed rezoning substantially complies with Section 16.16.050, and Section 16.20.030 in the case of the establishment or modification of a PUD overlay district;

Staff Finding: The proposed PUD substantially complies with the applicable provisions of Section 16.16.050 General Approval Criteria and the PUD requirements in WMC 16.20.030. Detailed findings regarding consistency with the PUD requirements are included in this report. Additional in-depth review for consistency with Title 16 will be done by planning staff upon receipt of permit applications for future development on these parcels.

3. The proposed rezoning is in an area with adequate services, including as appropriate; roads, parking, sidewalks, water, sewer, gas, electricity, drainage, police and fire protection, or the developer has agreed to provide all the necessary improvements or services for the area;

Staff Finding: The proposed development is in an area that has access to the services above or will provide them at time of development.

4. The comments from reviewing parties (Section 16.08.040) on the proposed rezoning have been adequately addressed;

Staff Finding: At the time of packet preparation, only one comment was received that expressed concerns regarding the availability of water/sewer to serve the development and the traffic from the proposed 64 units. As indicated in the findings and the application packet, the development has direct access onto a major collector roadway (Old Matanuska Road) and will connect to city water and sewer services. Regarding the number of dwelling units, the Commercial zoning district has no limit on density provided that all other criteria are met.

Any comments received after distribution of the packet will be provided at the public hearing and be addressed at that time.

5. There is a demonstrated need for additional land in the zoning district to accommodate uses allowed;

Staff Finding: This criterion is not applicable since the zoning designation will remain Commercial and the proposed multi-family use is consistent with the zoning. The PUD provides additional flexibility and relaxation of development standards.

6. The resulting district or expanded district will be a logical, integrated area; and

Staff Finding: The proposed PUD is consistent with the multi-family uses along Old Matanuska Road.

7. The rezoning is in conformance with the city comprehensive plan.

Staff Finding: The proposed PUD is consistent with the intent of the Mixed Use future land use designation in the Comprehensive Plan. The implementation policies of the Comprehensive Plan states that the appropriate zoning for a FLUM should be the most appropriate for the area and should take into consideration the purpose of the zoning district, the proposed rezoning site, and the zoning and/or development pattern of the surrounding area.

COMPLIANCE WITH WMC 16.20.030 – PLANNED UNIT DEVELOPMENT OVERLAY DISTRICT

- A. Purpose.** *The purpose of the PUD overlay district is to promote innovative and efficient land use and design by permitting greater flexibility in zoning requirements than this title generally permits. This flexibility should result in a more efficient and aesthetic development of the project site, allowing higher residential density or increased intensity or mix of uses than would be permitted in the underlying zoning district, while preserving harmony with uses in the surrounding area.*

Staff Finding: The relaxation of the setback and land clearing sections of the code allow a higher density that would otherwise be reached on this parcel. Developing more dense residential uses on the parcel is consistent with the other multi-family development in the area and is very close to the commercial core of the city, which provides the opportunity to walk or bike to obtain goods and services or to get to work.

- B. Application.** *A PUD overlay district may be located in any zoning district, and may be used for any residential, commercial or industrial use or combination thereof. The terms and conditions of a PUD overlay district supplement the regulations in the underlying zoning district, and modify and supersede any conflicting regulations in the underlying zoning district. A PUD overlay district may be applied only to a parcel having an area not less than two acres, unless the planner finds one or more of the following factors justifies applying a PUD overlay district to a parcel having an area less than two acres:*

- 1. Applying a PUD overlay district will permit reasonable development of the parcel while preserving an unusual physical or topographic feature of importance to the area as a whole;*
- 2. The parcel is adjacent to an existing PUD overlay district, and will be developed as an extension of, or compatibly with, that existing district;*
- 3. The project will use design features that benefit the general public and surrounding area, and that would not be permitted in the underlying zoning district;*
- 4. The project will provide a desirable mixture of uses, or meet a need for affordable residential, commercial or industrial development that would not be feasible under the regulations in the underlying zoning district; or*
- 5. The PUD overlay district will facilitate redevelopment in the downtown area as described in the comprehensive plan.*

Staff Finding: The proposed PUD meets this criterion since the parcel is approximately 5.8 acres.

C. Permitted Uses. The permitted uses in a PUD overlay district shall be specified in the ordinance establishing the district, and may include any uses permitted in the underlying zoning district by administrative approval, use permit or conditional use permit that are appropriate in furtherance of the goals of the comprehensive plan and designed to complement each other. In addition, the following uses are permitted in a PUD overlay district:

- 1. Multifamily dwellings.**
- 2. The following uses that only serve permitted residential uses within the PUD overlay district: community buildings; indoor or outdoor recreation facilities; and recreational vehicle storage.**
- 3. Retail commercial uses that serve principally the permitted residential uses within the PUD overlay district and the surrounding neighborhood.**

Staff Finding: The site plan for the proposed PUD indicates that one multi-family structure (fourplex) will be developed on each proposed lot, which is permitted in the Commercial zoning district as a Use Permit.

D. Design and Development Standards. All uses and structures in a PUD overlay district shall conform to the following design and development standards:

- 1. Buildings, parking areas, pedestrian, bicycle and vehicular ways, and utility easements shall be designed to promote public safety, minimize conflict between uses, and reasonably maintain topography and other natural features.**

Staff Finding: The proposed PUD provides adequate building separation, parking areas, pedestrian and bicycle access and interconnectivity within the site and significantly maintains the topography and other natural features.

- 2. The design shall take into account the relationship of the site to the surrounding areas and between differing uses on the site, and shall minimize adverse impacts between the project and adjacent land uses, and different types of potentially incompatible land uses. Incompatibilities to be mitigated include traffic congestion, noise, visual intrusion and hours of operation.**

Staff Finding: The proposed PUD development is consistent with the surrounding land uses and will not create negative impacts.

- 3. If existing topographical or other barriers within ten (10) feet of the perimeter of the PUD overlay district do not sufficiently mitigate incompatibilities with adjacent existing uses, one or more of the following shall be required:**

- a. **Structures located on the perimeter of the district shall be set back in accordance with the front yard setback of the underlying zoning district.**
- b. **Screening or buffering shall be provided on the perimeter of the district in accordance with Section 16.33.030(G).**

Staff Finding: The proposed PUD is compatible with the surrounding multi-family land uses and does not require any screening or buffering.

4. **Common open space shall meet the following requirements:**
 - a. **The common open space shall be for amenity or recreational purposes, and appropriate to the size and character of the district, including its residential density, expected number of residents or employees, topography, and the number and type of dwellings.**
 - b. **The common open space shall be suitably landscaped for its intended use, except that natural features worthy of preservation may be left unimproved.**
 - c. **Any buildings, structures and improvements in the common open space shall be appropriate to the uses that are authorized for the common open space.**
 - d. **Common open space shall be operated and maintained either through an association of owners of property in the PUD overlay district established under Chapter 34.08 of the Alaska Statutes, or by a public agency that has accepted a dedication of the common open space.**

Staff Finding: The site plan indicates sufficient open space, vehicle and pedestrian circulation, and landscaping. According to the applicant, all vegetated and grassed areas will be dedicated as common area for the development and will be maintained and managed by a homeowner's association. Fences will not be permitted so all residents will be able to utilize the open areas and a bicycle/pedestrian path will provide dedicated access from the interior lots to the path along Old Matanuska Road.

5. **Changes in Required Dimensions. The minimum lot and yard dimension requirements in the underlying zoning district may be waived for a PUD overlay district as necessary to achieve a better design, where compensating design or structural measures ensure adequate separation for fire protection, visual and acoustical privacy, and adequate light and air. Individual parcels in a PUD overlay district may exceed the maximum lot coverage in the underlying zoning district; provided, that the entire PUD overlay district does not exceed the maximum lot coverage. Building height in a PUD overlay district may exceed the maximum permitted in the underlying zoning district by fifty (50) percent; provided, that the design of improvements in the PUD overlay district protects uses**

and structures both inside and outside the PUD overlay district from adverse impacts on privacy, light and air.

Staff Finding: The proposed development requires waivers of the minimum setbacks, clearing requirements, and landscaping requirements, which are identified in detail in the applicant's PUD application materials and shown on the proposed site and landscaping plans.

- 6. Required Improvements. All streets, paving, curbs, sidewalks, utilities, street lighting and similar facilities must be developed according to city standards unless specifically waived upon recommendation of the public works director.**

Staff Finding: All improvements will be constructed to applicable city and borough standards.

- 7. Project Phasing. An application for initial approval of a PUD overlay zone may provide for the project to be constructed and finally approved in sequential phases.**

Staff Finding: The applicant is requesting that the PUD be approved for phased development as shown in their application materials.

VIII. RECOMMENDATION

Based on the findings above, staff recommends that the Planning Commission forward a recommendation of approval to the Wasilla City Council with the following conditions:

1. All development on the site must substantially comply with the site plan and landscape plans attached as Exhibit B. Any changes to the plans must be submitted to the City Planner for review. Minor revisions may be approved by the City Planner and all other changes must be approved as a rezoning request/amendment to the PUD.
2. The applicant must preserve all existing vegetation in the right-of-way along Old Matanuska Road that abuts Lots 1 and 13, including the existing vegetation on Lots 1 and 13 between the western building edge to the multi-purpose path, to preserve the natural beauty of this area. A minimal amount of clearing at the intersection of Kinzi Circle and Old Matanuska road may be cleared for the placement of a subdivision entrance sign/feature, subject to review and approval by the City Planner or Planning Commission.
3. The existing trees and vegetation must be retained to the greatest extent possible during installation of the water lines in front of Lots 14 – 16 and then must replant a minimum of a 20' wide buffer along Old Matanuska Road that screens and softens the appearance of these units from the roadway. The replanted buffer should achieve the same buffer effect as a 20' wide swath of the existing trees and vegetation.
4. The applicant must provide evidence of the creation of a homeowner's association and associated restrictions that prohibit the construction of

fences within the subdivision and maintains and preserves all vegetated and grassed areas and bike path as open spaces for the enjoyment of all of the residents prior to occupancy of any of the buildings on the site.

5. No activity may commence on the site until all construction and landscape guarantees have been posted with and approved by the City.
6. The applicant shall submit a final PUD overlay district plan to the City Planner within one year after the date of the approval of the preliminary PUD overlay district plan as required in WMC 16.20.030(F).
7. The applicant must obtain the required driveway and water/sewer permits from the City Public Works Department. The proposed drainage plan must be approved by the City Public Works Director prior to any construction on the site.

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**NOTIFICATION OF PUBLIC HEARING
-PLANNED UNIT DEVELOPMENT (PUD)-**

DATE: March 24, 2014 **CASE:** PUD14-01
APPLICANT (S): JYG Investment Group, LLC A
REQUEST: Approval of a Planned Unit Development (PUD) to develop a 16-lot subdivision with one fourplex per lot (a total of 64 residential dwelling units.)

A public hearing on this request is scheduled for **April 8, 2014 at 6:00 PM** in the City Council Chambers. Comments may be submitted in writing by filling in the spaces provided below and mailing to: City of Wasilla, Planning Office, 290 E. Herning Ave, Wasilla, AK 99654. If there is not enough room below please attach a separate piece of paper. Comments may also be faxed to (907) 373-9021 or emailed to planning@ci.wasilla.ak.us. Written comments on this PUD request must reach the Planning Office on or before **April 1, 2014** in order to be included in the packet. Comments received after that date will be available at the public hearing.

Anyone wishing to review the application for this case is encouraged to contact the Planning Office for additional information.

Name _____
 Address _____
 Lot _____ Block _____ Subdivision _____

Comments: The 16 lot subdivision must have MSB
planning authority approval. At this time the
pre-liminary plat has not been submitted

Paul Hulbert



CITY OF WASILLA
 PLANNING OFFICE
 290 E HERNING AVE
 WASILLA, AK 99654
 PHONE 373-9020 FAX 373-9021

RECEIVED
 MAR 25 2014
PLATTING

neopost
 03/24/2014
US POSTAGE \$00.48⁰⁰
 ZIP 99654
 041L11222587

MSB Platting Division Officer
 350 E. Dahlia Ave
 Palmer, AK 99645

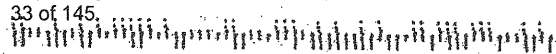
RECEIVED
 MAR 26 2014

FIRST CLASS
 Matanuska-Susitna Borough
 MAR 25 2014
RECEIVED

PUBLIC NOTICE

Planning Office
 City of Wasilla
 33 of 145

9964536488 0001



Tahirih Revet

From: nicholas mcgrath <nickjmcgrath@gmail.com>
Sent: Tuesday, March 25, 2014 3:13 PM
To: Planning
Subject: Case PUD 14-01

I have property across the street from this development and the 16 lot subdivision with 4 plexes on each lot is preposterous. Where would the water come from and how is the sewage going to be disposed of how would the traffic be handled? Where is the access going to be for these properties? This density of the units puts an unreasonable burden on all the properties around it and we all appose the approval. Please send as much information as possible so that we can prepare an opposition to this project. Frankly 16 lots with 4 units on each tiny lot should not even be considered

Nick McGrath
6022411



PROPERTY DESCRIPTION: BELLA VISTA WEST PUD

16.20.030 PLANNED UNIT DEVELOPMENT (PUD)

The Bella Vista West Development is being submitted as a PUD overlay district in order to create a more flexible mixture of building setbacks within the current "C" Commercial district with those of the "RM", Residential Multifamily district. This will help with a more efficient placement of the 4-plex residential buildings on the parcels and will assist with the development of the driveways being created.

The objectives of the Bella Vista West (BVW) development will be the full development of the 5.825 Acre Parcel from start to finish and to create a multifamily development. This development will include the subdivision of the property to create 16 lots, and will create the needed right-of-way and utility easement for the development. Each lot will be served by the city's sewer and water systems. The creation of the subdivision will include the dedication and construction of a road way into the property, and will include creating easements for the installation of utilities, and for the extension of the city's sewer and water systems. Each lot will be developed with a 4-plex residential building. The full development will house a total of 64 residential units. These units will be available as rental units and will help to add to the mix of residential units available within walking distance to the city's commercial district.

The site development will include the design and construction of a road way into the property and will include the drainage plan for the entire site. The water and sewer systems will be designed and constructed to the site and will be constructed to each of the individual units. The site development will include the installation of street lights, fire hydrants and utilities. The overall development will include the construction of each of the 16 multifamily dwellings. This will include the design and construction of the driveway and parking areas and will include the creation of snow storage areas. The project will include the construction of a pedestrian bike path. The entire site will be designed and graded to ensure proper drainage to control surface runoff. The site development will include the final landscaping with the seeding of the lawn areas and the planting of trees.

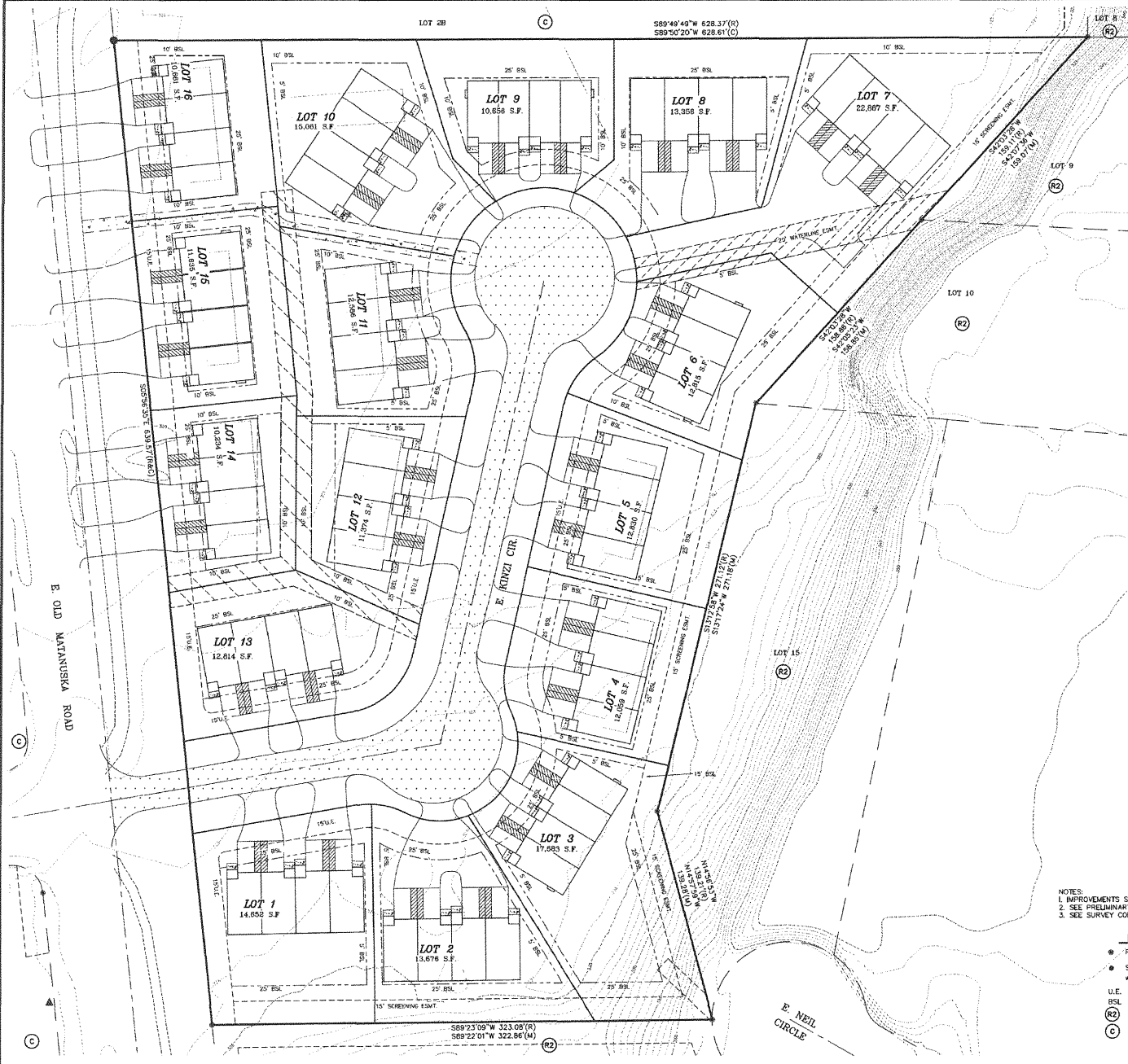
Due to the extensive amount of construction activity to be performed on this site, it is the intent of this PUD to clear a greater amount of the native vegetation from the property and replace it with newly planted trees and shrubs and to create an open space lawn area.

PAGE

INTENTIONALLY

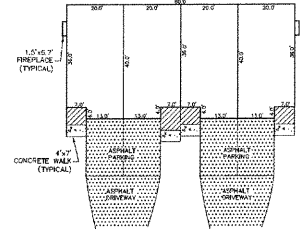
LEFT

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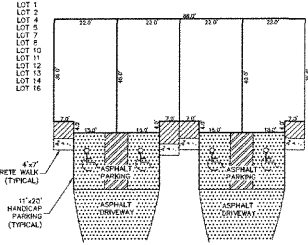


BUILDING DETAILS
NOT TO SCALE

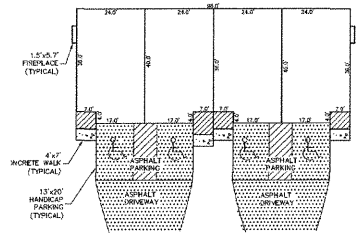
BUILDING A
LOT 3
LOT 6
LOT 9



BUILDING B



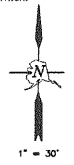
BUILDING C
LOT 15



- NOTES:
1. IMPROVEMENTS SHOWN HEREON ARE PROPOSED.
2. SEE PRELIMINARY FLAT FOR PROPOSED LOT DIMENSIONS.
3. SEE SURVEY CONTROL SHEET FOR ORIGIN OF CONTOUR INFORMATION.

LEGEND

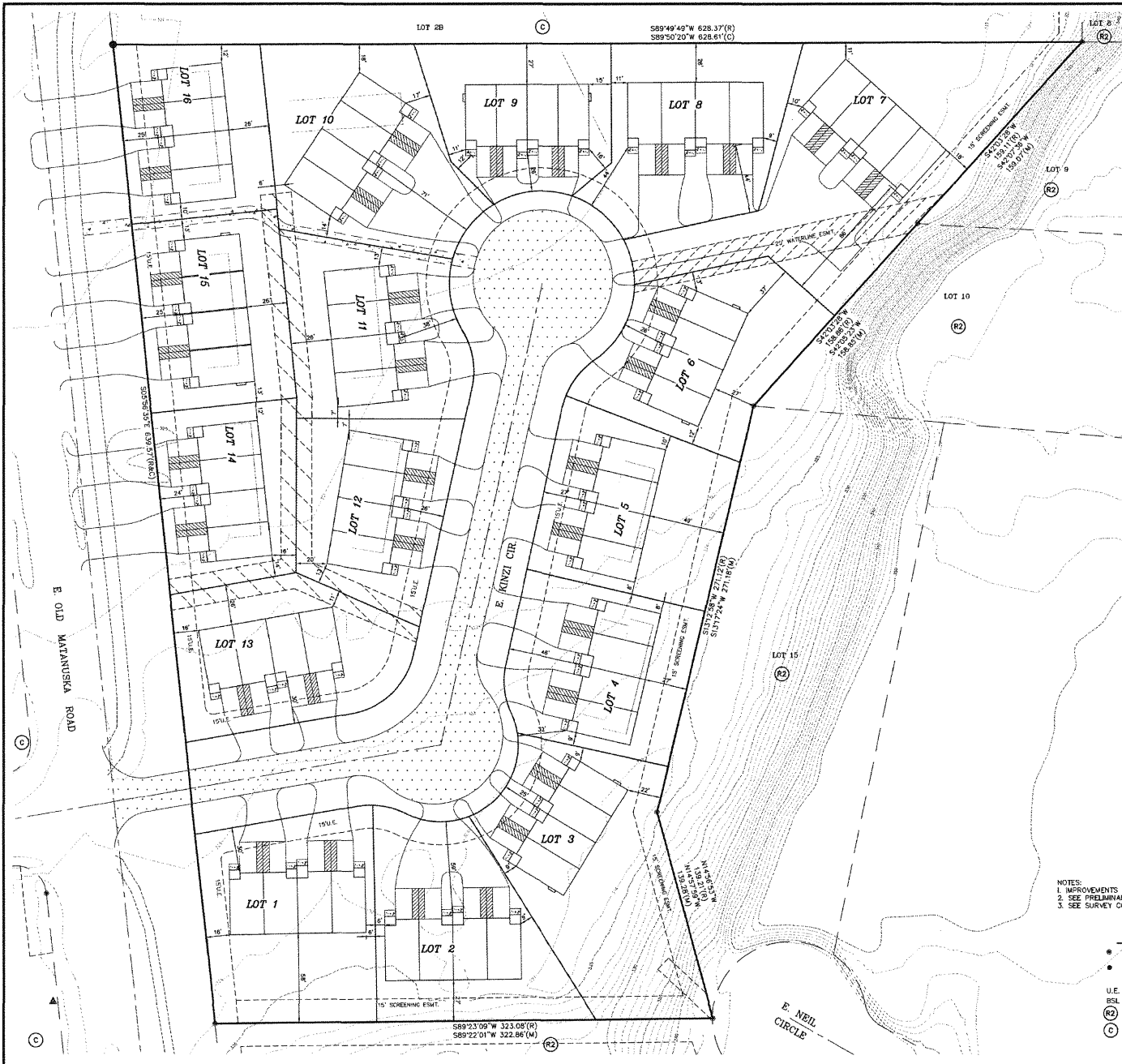
- RECOVERED 5/8" REBAR
- SET 5/8"x24" REBAR w/PLASTIC CAP MARKED AK RM 10615-S
- U.E. UTILITY EASEMENT
- BSL BUILDING SETBACK LINE
- (R2) RESIDENTIAL DISTRICT
- (C) COMMERCIAL DISTRICT



BELLA VISTA WEST PUD

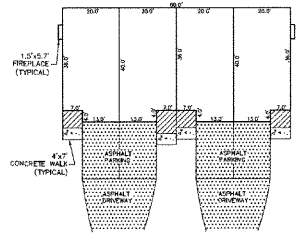
ALASKA RIM ENGINEERING, INC.
P.O. Box 2749, PALMER, AK 99545
8131 E. FRODOPE ROAD, SUITE 1
PR (907) 45-2222 FAX (907) 45-2223
E-MAIL: ALR@ALR-ENGINEERING.COM WWW.ALR-ENGINEERING.COM
W.O. 1300777 DATE: MARCH 2014
DRAWN BY: JRG SCALE: 1" = 30'
FILE: 1300777PUD SHEET 1 OF 1

3/14/14

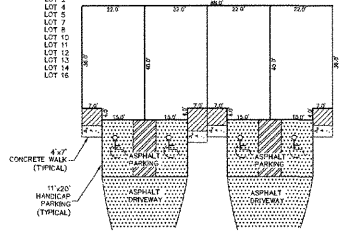


BUILDING DETAILS
NOT TO SCALE

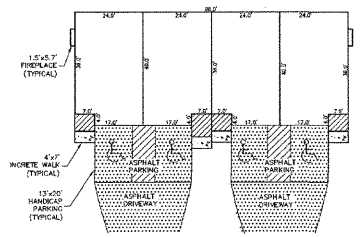
BUILDING A
LOT 3
LOT 6
LOT 9



BUILDING B
LOT 1
LOT 2
LOT 4
LOT 7
LOT 10
LOT 11
LOT 12
LOT 13
LOT 14
LOT 16



BUILDING C
LOT 15



- NOTES:**
1. IMPROVEMENTS SHOWN HEREON ARE PROPOSED.
2. SEE PRELIMINARY PLAT FOR PROPOSED LOT DIMENSIONS.
3. SEE SURVEY CONTROL SHEET FOR ORIGIN OF CONTOUR INFORMATION.

LEGEND

- RECOVERED 5/8" REBAR
- SET 5/8"x24" REBAR w/PLASTIC CAP MARKED AK RM 10615-S
- U.E. UTILITY EASEMENT
- BSL BUILDING SETBACK LINE
- (R2) RESIDENTIAL DISTRICT
- (C) COMMERCIAL DISTRICT



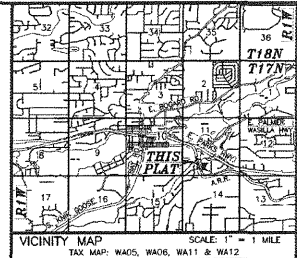
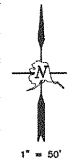
BELLA VISTA WEST
BUILDING SITE PLAN AND DETAILS

ARE
ALASKA RIM ENGINEERING, INC.
P.O. Box 2749, PALMER, AK 99645
P.O. E. FRONTAGE ROAD, SUITE 1
PR. 907745-2222 FAX. 907745-0222
1000 W. GARDNER BLVD., SUITE 100, ANCHORAGE, AK 99503
W.O. 1300777 DATE: MARCH 2014
DRAWN BY: JRG SCALE: 1" = 30'
FILE: 1300777PUD SHEET 1 OF 1



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CORD	CORD BEARING
C1	56.1'	50.00'	67°47'28"	55.77'	N46°13'19"E
C2	37.07'	50.00'	42°30'30"	36.83'	N63°22'47"W
C3	48.56'	60.00'	44°22'18"	47.28'	S57°49'51"E
C4	45.00'	60.00'	42°38'18"	43.93'	S38°50'37"W
C5	52.80'	60.00'	50°25'23"	51.12'	S63°22'18"W
C6	45.00'	60.00'	42°58'18"	43.93'	N46°45'52"W
C7	30.33'	60.00'	28°58'03"	30.01'	N15°41'41"W
C8	57.57'	60.00'	54°58'42"	55.38'	N28°10'41"E
C9	37.82'	60.00'	43°20'30"	36.93'	S35°59'47"W
C10	37.82'	60.00'	43°20'30"	36.93'	S33°59'47"W
C11	32.18'	50.00'	36°52'12"	31.42'	S06°08'34"E
C12	13.69'	50.00'	15°49'59"	13.64'	N16°42'11"W
C13	67.54'	50.00'	77°23'31"	62.52'	N28°50'47"E
C14	42.29'	50.00'	48°27'22"	41.04'	S87°42'47"E
C15	22.20'	60.00'	25°33'52"	22.11'	N75°47'08"W
C16	6.48'	50.00'	11°45'30"	6.47'	S85°46'45"W



CERTIFICATE OF OWNERSHIP
 WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED IN THIS PLAN AND THAT WE HEREBY AUTHORIZE THIS PLAN OF SUBDIVISION BY OUR FREE CONSENT.

SOMEbody DATE
 P.O. BOX SOMEPLACE
 SOMEWHERE, AK. 99617

NOTARY'S ACKNOWLEDGEMENT
 I HEREBY ACKNOWLEDGE AND SWORN TO BEFORE ME THIS ____ DAY OF _____, 20__ FOR _____

NOTARY FOR THE STATE OF ALASKA
 MY COMMISSION EXPIRES _____

NOTES

1. THERE MAY BE FEDERAL, STATE AND LOCAL REQUIREMENTS COVERING LAND USE. THE INDIVIDUAL PARCEL OWNER SHALL OBTAIN A DETERMINATION WHETHER THESE REQUIREMENTS APPLY TO THE DEVELOPMENT OF PARCELS SHOWN ON THE PLAT TO BE RECORDED.
2. THESE LOTS ARE SERVED BY CITY OF WASILLA WATER SYSTEM AND SEWAGE DISPOSAL SYSTEM. CONNECTION TO SAID SYSTEM SHALL BE LOCATED, CONSTRUCTED AND EQUIPPED IN ACCORDANCE WITH THE REQUIREMENTS, STANDARDS AND RECOMMENDATIONS OF THE STATE OF ALASKA, DEPARTMENT OF ENVIRONMENTAL CONSERVATION. RECORD DATA SHOWN HEREON IS DERIVED FROM CREEKSIDE PLAZA SUBD., PLAT No. 2014-21, PALMER RECORDING DISTRICT.
3. RESTRICTIVE COVENANTS WERE RECORDED IN THE PALMER RECORDING DISTRICT ON (MONTH & DAY), 20__ SERIAL No. _____ WHERE ANY RESTRICTION OR GRANT OF EASEMENT REQUIRED BY THE GOVERNING BODY IS SHOWN ON THE PLAT, THE RIGHT TO ENFORCE THE RESTRICTION OF EASEMENT SHALL VEST IN THE BOROUGH.

NOTES PER PLAT No. 2014-21

1. MATANUSKA ELECTRIC ASSOCIATION, INC. IN BOOK 29 PAGE 102 RECORDED FEBRUARY 17, 1990.
2. MATANUSKA ELECTRIC ASSOCIATION, INC. IN BOOK 60 PAGE 963 RECORDED APRIL 6, 1972.
3. MATANUSKA ELECTRIC ASSOCIATION, INC. IN BOOK 379 PAGE 923 RECORDED ON SEPTEMBER 19, 1984.
4. MATANUSKA ELECTRIC ASSOCIATION, INC. IN BOOK 879 PAGE 388 RECORDED JANUARY 14, 1997.
5. MATANUSKA ELECTRIC ASSOCIATION INC. IN BOOK 315 PAGE 902 RECORDED ON AUGUST 11, 1983.
6. MATANUSKA ELECTRIC ASSOCIATION INC. WITH RECEPTION No. 2008-024588-0 RECORDED ON NOVEMBER 7, 2008.
7. MATANUSKA ELECTRIC ASSOCIATION, INC. WITH RECEPTION No. 2008-011982-0 RECORDED ON MAY 22, 2008.
8. RESTRICTIVE COVENANTS WERE RECORDED IN THE PALMER RECORDING DISTRICT ON SEPTEMBER 6, 1983 IN BOOK 320 PAGE 344, AMENDED BY INSTRUMENTS RECORDED NOVEMBER 10, 2005, RECEIPTION No. 2005-032609-0 AND RECORDED AUGUST 2, 2006, RECEIPTION No. 2006-021768-0, RECORDED AUGUST 1, 1997 IN BOOK 905 PAGE 785, AMENDED JUNE 2, 2009 IN BOOK 1071 AT PAGE 325, RECORDED NOVEMBER 3, 2004 AT SERIAL No. 2004-031429-0 AND MAY 28, 2013, RECEIPTION No. 2013-011442-0.

PLANNING & LAND USE DIRECTOR'S CERTIFICATE

I CERTIFY THAT THIS SUBDIVISION PLAT HAS BEEN FOUND TO COMPLY WITH THE LAND SUBDIVISION REGULATIONS OF THE MATANUSKA-SUSTINA BOROUGH, AND THAT THE PLAT HAS BEEN APPROVED BY THE PLANNING AUTHORITY BY PLAT RESOLUTION No. _____ DATED _____, 20__ AND THAT THIS PLAT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RECORDER IN THE PALMER RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA, IN WHICH THE PLAT IS LOCATED.

PLANNING AND LAND USE DIRECTOR DATE
 ATTEST: PLANNING CLERK

CERTIFICATE OF PAYMENT OF TAXES

I HEREBY CERTIFY THAT ALL CURRENT TAXES AND SPECIAL ASSESSMENTS THROUGH _____, 20__ AGAINST THE PROPERTY INCLUDED IN THIS SUBDIVISION OR RESUBDIVISION, HEREDON HAVE BEEN PAID.

TAX COLLECTION OFFICIAL, MAT-SU BOROUGH DATE

- LEGEND**
- RECOVERED BRASS CAP MONUMENT
 - RECOVERED 5/8" REBAR
 - SET 5/8"x24" REBAR w/PLASTIC CAP MARKED AK RM 10615-5
 - (C) CALCULATED DATA
 - (M) MEASURED DATA
 - (R) CREEKSIDE PLAZA PLAT No. 2014-21
 - ⊙ WELL
 - ⊕ SEWER MANHOLE
 - ⊕ UTILITY PEDESTAL
 - ⊕ POWER POLE
 - ⊕ GUY ANCHOR
 - ⊕ BENCH MARK
 - ⊕ OVERHEAD ELECTRIC UNDERGROUND TELE-COMMUNICATION SANITARY SEWER
 - ⊕ GAS
 - ⊕ FENCE

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ALASKA AND THAT THIS PLAT REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT THE MONUMENTS SHOWN ON THE PLAT ACTUALLY EXIST AS DESCRIBED, AND THAT ALL DIMENSIONAL AND OTHER DETAILS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

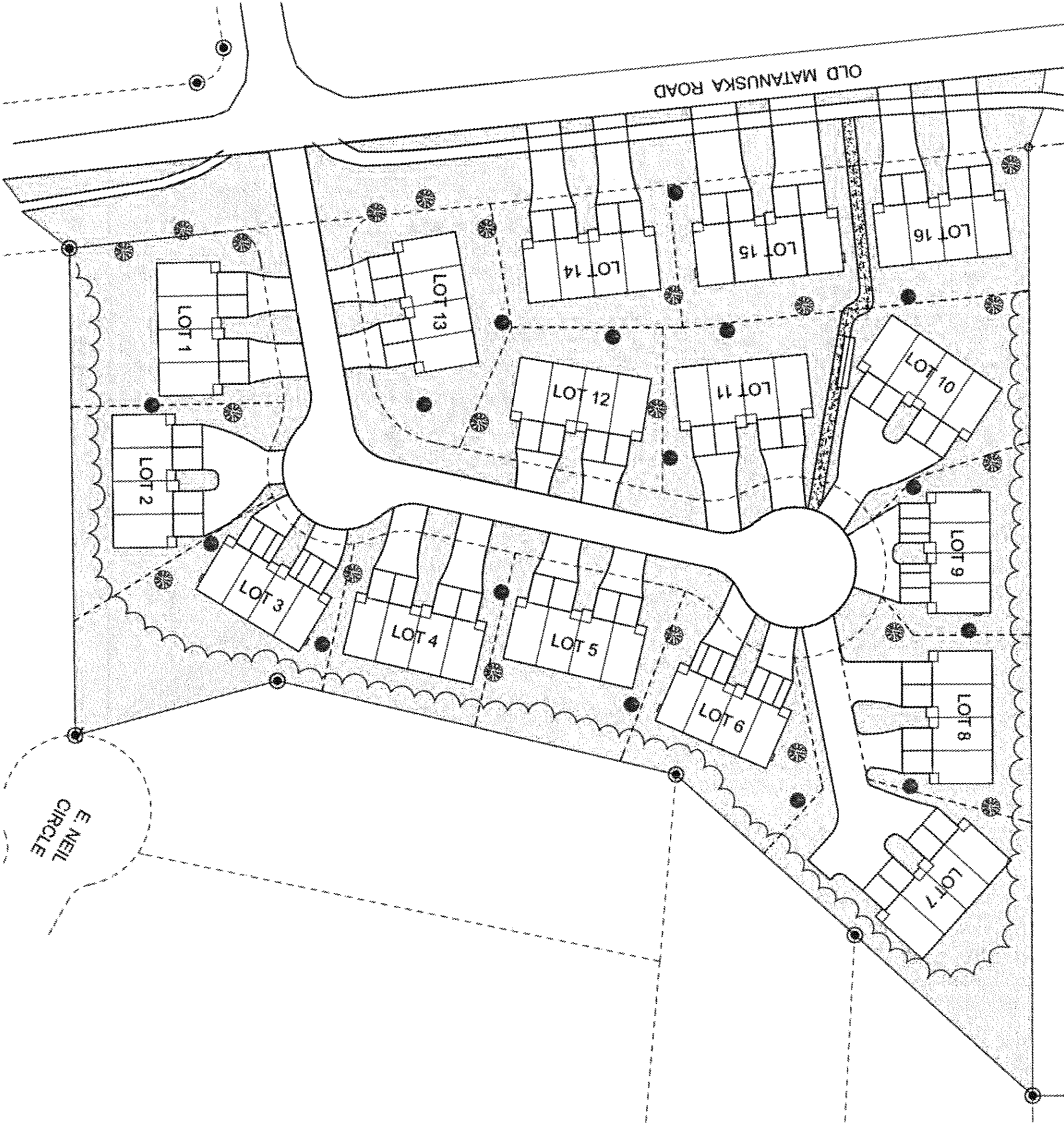


DATE _____

A PLAT OF
BELLA VISTA WEST
 A REPLAT OF
 CREEKSIDE PLAZA SUBDIVISION LOT 20
 PLAT No. 2014-21 PALMER RECORDING DISTRICT
 LOCATED WITHIN THE SE1/4SW1/4, SECTION 11, T17N, R17W, S.M., AK.
 CONTAINING 6.58 ACRES

ALASKA RIM ENGINEERING, INC.
 P.O. Box 2740, PALMER, AK 99645
 615 E. PROSPECTOR ROAD, SUITE 1
 PH: (907)745-0222 FAX: (907)745-0223
 EMAIL: info@alaskarim.com WWW: WWW.ALASKARIM.COM
 W.D. 1300777 DATE: MARCH 2014
 DRAWN BY: JRC SCALE: 1" = 50'
 FILE: 1300777.PC SHEET 1 OF 1

1
LANDSCAPE PLAN
SCALE: 1" = 20'



LANDSCAPE LEGEND:

- 6' MOUNTAINASH
- 4' BLUE SPRUCE
- GRASS
- NEW ASPHALT BIKE PATH
- EDGE OF EXISTING TREES TO REMAIN

NO.	DATE	BY	CHK'D BY	DESCRIPTION

BELLA VISTA - WEST
JYG INVESTMENT GROUP
 16633 VENTURA BLVD. SUITE 1014
 ENCINO, CA 91436

MD ARCHITECTURE
McMILLEN DESIGNS
 COMMERCIAL & RESIDENTIAL ARCHITECTURE
 2000 E. BLUE LARKIN DR. SUITE 110
 WOODLAND, CALIFORNIA 90064
 PHONE: 907.876.5783 FAX: 907.876.5785
 EMAIL: info@mcmlendesigns.com www.mcmlendesigns.com



CITY OF WASILLA

Planning Office

290 East Herning Avenue, Wasilla, Alaska 99654-7091

Telephone 907-373-9020

Date: 3-14-14

PUD # 14-01

PLANNED UNIT DEVELOPMENT (PUD) APPLICATION

PROPERTY OWNER*	OWNER'S REPRESENTATIVE (If Any)
Name: Developer: JYG Investment Group, LLC *	Name: Alaska Rim Engineering, Inc.
Mailing Address: 16633 Ventura BLVD., ste. 104 Englewood, CA 91436	Mailing Address: 9131 E. Frontage Road, Palmer AK 99645
Contact Phone: Day Night Cele: 818-825-5488	Contact Phone: Day Night (907) 745-0222
FAX:	FAX: (907)746-0222
E-mail: cjohnson@amgland.com	E-mail: norm@alaskarim.com

*Attach list of additional owners if any.

PROPERTY INFORMATION
Size of property (A minimum of 20,000 square feet is necessary before application may be accepted): <u>5.825 Acres / 253,739 sq. ft.</u>
Property tax # <u>6865000 L002A</u>
Street Address: <u>Old Matanuska Road, Wasilla, AK.</u>
Legal Description: Lot(s) <u>2C</u> Block _____ Subdivision <u>Creekside Plaza Subdivision, Plat No. 2014-21</u>
OR Parcel/Tract _____ Section _____ Township _____ Range _____
[Attach additional page if necessary.]
Current Zoning: RR Residential <input type="checkbox"/> R1 Single-family Residential <input type="checkbox"/> R2 Residential <input type="checkbox"/> RM Multi-family <input type="checkbox"/> C Commercial <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Public <input type="checkbox"/>

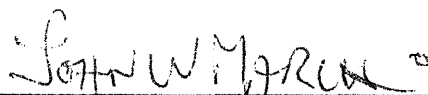
Land Use
Describe current use of property covered by this application: This Property is zoned commercial and it is currently a vacant lot. It has recently been subdivided off of a larger parcel to the north which houses the Alaska Club.
Surrounding property: (Describe how land adjacent to the property is currently being used.) North: Property to the north is zoned commercial and is home to the Alaska Club.
South: The property to the south is zoned R2 and has been developed as the Richmond Hills Condominium development.
East: The property to the east is zoned R2 and is currently a vacant lot.
West: The west boundary of the parcel is bordered by the Old Matanuska Road right-of-way which is 100 foot wide. This is a dead-end road and with a cul-de-sac. The property to the west of the ROW is zoned commercial. Lot 1 has been developed with a duplex residential building and Lot 2 is vacant.

**OWNER
AUTHORIZATION**

Alaska Club Partners, LLC ("Owner") authorizes JYG Investment Group, LLC ("Applicant"), to submit a site plan and obtain approval of a PUD Master Plan on the property listed below ("Property").

Applicant: JYG Investment Group, LLC
Owner: Alaska Club Partners, LLC
Plat: Lot 2C, Creekside Plaza, Plat No. 2014-21
Location: Old Matanuska Road, Wasilla, AK

Date: 3-7-14



**John W. Marchetti, Vice President
Alaska Club Partners, LLC**

Comprehensive Plan Information

Expected Future Land Use Map shows property as :

Generally Residential Parks Mixed Use Area Generally Commercial/Business Generally Industrial Public/Institutional **Attach a written narrative addressing the following Criteria –**

16.16.060K(5)

The Planning Commission shall make a recommendation to the council based on written findings that the appropriate following criteria have been addressed:

The major internal street(s) serving the planned unit development are directly connected to one or more public roads, maintained by the city, borough or state, providing access to the proposed PUD.

Proposed development schedule indicating the approximate dates when the development of the PUD or phases of the PUD can be expected to begin and be completed provide for logical integrated development.

The statement of objectives to be achieved by the PUD through the particular approach proposed by the applicant meets the intent of the WMC 16.16.060K. This statement should include a description of the creative approaches and character of the proposed development that will result in a more efficient, aesthetic and harmonious development with uses in the surrounding area. The applicant should describe:

- a. Why any exception from standard ordinance requirements is warranted by the design and amenities incorporated.
- b. Special project goals, such as dedication of open space, natural features or historic resources, or unique development or design concepts, if any.
- c. Why the PUD will have a beneficial effect which could not be achieved under existing zoning district.
- d. Why each phase of the development can exist as an independent unit.

Site Plan

An application for a PUD must include ten (10) copies of accurate site plans drawn to an appropriate scale, and one set of topographic maps showing present and proposed contours at intervals of not more than two feet. The maps and plans must be of standard size format and show or contain:

- a. Boundaries of the site;
- b. The name and dimensions of all streets bounding or touching the site;
- c. Conceptual design showing proposed location and horizontal and vertical dimensions of buildings proposed for the PUD;
- d. Proposed location and dimensions of any private open space or trails within the site (if any);
- e. Proposed public dedications within the site (if any);
- f. Location, dimensions and design of off-street parking facilities showing points of ingress and egress;
- g. The location, direction and bearing of any major features such as controlled intersections, public buildings and railroad tracks;
- h. Proposed grading, drainage and landscaping plans;
- i. Existing and proposed utility systems including sewers, storm drains, water, electric, gas and communication lines;
- j. A preliminary plat if a re-subdivision of the site required or proposed;
- k. Surrounding and underlying zoning and existing land uses and buildings;
- k. Architectural renderings of typical buildings and improvements.



PROPERTY DESCRIPTION: BELLA VISTA WEST PUD

ARE Project Number: 13-00777

Date: 3/14/14

Owner/Developer: JYG Investment Group, LLC

PLANNED UNIT DEVELOPMENT (PUD) Attached written narrative addressing the following Criteria

16.16.060K(5)

The Planning Commission shall make a recommendation to the council based on written findings that the appropriate following criteria have been addressed:

1. **The major internal streets serving the planned unit development are directly connected to one or more public roads, maintained by the city, borough or state, providing access to the proposed PUD.**

This property will be served by two public rights-of-way. One is the dead-end cul-de-sac for the Old Matanuska Road. This property fronts on the Old Matanuska Road. The cul-de-sac extends just north of this property. This right-of-way is 100 feet in width.

The second public right-of-way will be a proposed cul-de-sac to be constructed into the property and will be a dedicated road way created by a subdivision plat. This road will be constructed to City of Wasilla requirements. This proposed right-of-way will give access to the majority of the lots to be created. This proposed road will match up with the intersection of E. Glenwood Avenue.

2. **Proposed development schedule indicating the approximate dates when the development of the PUD or phases of the PUD can be expected to begin and be completed provided for logical integrated development.**

This property is being developed as a whole with the majority of the work being constructed within this construction season. The development schedule is as follows:

 1. March - April: Complete the conceptual design to include Street Design, Drainage Plan, Water System Design, Sewer System Design, Landscaping Plan, Street lighting plan.
 2. April: Submit the preliminary plat to the Matanuska-Susitna Borough platting board for approval.
 3. April – May: Begin Site Work
 4. April - May: Begin Construct.
 5. May – June: Begin Road Subgrade
 6. June – July: Construct Water & Sewer Main
 7. June – July: Install Service Lines
 8. May – July: Coordinate Utility Installation
 9. June – July: Installation of Street Lighting
 10. May – October: Construct First Phase of building (Bldg. #14-16)
 11. July – August: Construct Street Base
 12. September – October: Complete Final Plat for Recording
 13. September – October: Wrap up road construction for 2014 season.
 14. October – Spring 2015: Construct Second Phase of Bldg. #7-13)
 15. Spring – October 2015: Construct Third Phase of Buildings #1-6)
 16. Summer 2015: Re-grading for road and final paving
 17. Summer - 2015: Paving for driveways
 18. Summer 2015: Finish final site grading and drainage, complete final Landscaping and tree planting requirements.



The statement of objectives to be achieved by the PUD through the particular approach proposed by the applicant meets the intent of the WMC 16.16.060K. This statement should include a description of the creative approaches and character of the proposed development that will result in a more efficient, aesthetic and harmonious development with uses in the surrounding area. The applicant should describe:

The Bella Vista West Development is being submitted as a PUD overlay district in order to create an innovative and efficient land use and design by permitting a greater flexibility in zoning requirements than the title generally permits. This will help to create a more efficient and aesthetic development of the project site, allowing higher residential density and will help to promote a mix of uses than would be permitted in the underlying zoning district, while preserving harmony with uses in the surrounding area.

The objectives of the Bella Vista West (BVW) development will be the full development of the 5.825 Acre Parcel from start to finish and to create a multifamily development. This development will include the subdivision of the property to create 16 lots, and will create the needed right-of-way and utility easement for the development. Each lot will be served by the city's sewer and water systems. The creation of the subdivision will include the dedication and construction of a road way into the property, and will include creating easements for the installation of utilities, and for the extension of the city's sewer and water systems. Each lot will be developed with a 4-plex residential building. The full development will house a total of 64 residential units. These units will be available as rental units and will help to add to the mix of residential units available within walking distance to the city's commercial district.

This development is currently located within a commercial district. Under the 16.20.020 District Use Chart, Multi-Family Use is listed as needing a Use Permit within the commercial district and the Density is listed as "No Limit".

The site development will include the design and construction of a road way into the property and will include the drainage plan for the entire site. The water and sewer systems will be designed and constructed to the site and will be constructed to each of the individual units. The site development will include the installation of street lights, fire hydrants and utilities. The overall development will include the construction of each of the 16 multifamily dwellings. This will include the design and construction of the driveway and parking areas and will include the creation of snow storage areas. The project will include the construction of a pedestrian bike path which will connect the central portion of the development with the existing bike path located within the Old Matanuska Road ROW. The entire site will be designed and graded to ensure proper drainage to control surface runoff. The site development will include the final landscaping with the seeding of the lawn areas and the planting of trees.

Developing the property as a whole will help to address the specific design criteria needed for this multifamily development. The concerns such as the drainage for the entire development, building and driveway placement, and landscaping for the entire parcel will be addressed. This approach will help to ensure a more efficiently layout of the individual building and their appurtenances and will therefore creating a more efficient use of the property.

The first step of development will be to design the entire site for the most efficient use of the property, to get approval from both the City of Wasilla for the PUD and the Use Permit, and to get approval from the Mat-Su borough for the subdivision. The subdivision of the property will be needed in order to dedicate the road right-of-way and easements, and will create the individual lots for each building site.

The site development will be the second step. This will include the construction of the cul-de-sac road and the extension of the city's water and sewer systems, and will include the installation of utilities, street lighting and fire hydrants.

The third step will be to construct the buildings and develop the individual building sites.

The final step will include the finished grading and landscaping of the entire project. This concludes the entire development, from the breaking of ground to the final rental of residential units.

Before the recent subdivision of this property, this parcel was connected to the larger parcel which houses the Alaska Club. The portion of the property which now houses the Alaska Club has been divided off and has direct road access to the commercial district. The remaining portion, which will become Bella Vista West, is separated



	<p>from having direct road access to the commercial district. This remaining parcel is currently designated as Lot 2C, Creekside Plaza.</p> <p>The adjoining properties to the east and south are designated as R2, Higher Residential Density district. There currently is no development on the property to the east. The property to the south has been developed as a condominium development. This parcel fronts on the Old Matanuska Road which is located within a 100 foot wide ROW. The property located on the opposite side of the Old Matanuska Road ROW is currently designated as a commercial district. One of these lots has been developed with a multifamily development and the other lot is vacant.</p> <p>There is an existing community park within several hundred feet of this development. A bike trail runs along the front of the BVW property and gives pedestrian access to the community park and to the commercial district. A bike trail will be constructed on the BVW site to assist with the pedestrian through traffic from the end of the proposed cul-de-sac to the existing bike path.</p> <p>This application for the PUD overlay district within the Commercial District will permit a higher density development of a Multi-Family residential development within the 5.8 acre parcel. This submittal will create a PUD overlay district to help supplement the regulations in the underlying commercial zoned district.</p>
	<p>a. Why any exception from standard ordinance requirements is warranted by the design and amenities incorporated.</p>
	<p>The intent of this PUD will be to use a more flexible mixture of building setbacks within the current "C" Commercial district with those of the "RM", Residential Multifamily district. This will help to create an innovative and efficient land use and design to more efficiently develop the property. This will help with a more efficient placement of the 4-plex residential buildings on the parcels and will assist with the development of the driveways being created.</p> <p>The PUD will assist with the Open Space concept for this development. In order to develop this property properly there will be an extensive amount of construction activities performed. This will include the site work needed to construct a road into the site, to bring utilities to the site and to the individual buildings, and to extend the city's water and sewer systems to the site and to the individual units. The final site work will include paving the street, driveways and bike path. It will also include the final grading of the entire parcel and seeding the lawns and planting the trees.</p> <p>Due to the extensive amount of construction work to be performed on this site, it is the intent of this PUD to clear a greater amount of the native vegetation from the property and replace it with an open seeded lawn area.</p>
	<p>b. Special project goals, such as dedication of open space, natural features or historic resources. Or unique development or design concepts, if any.</p>
	<p>The specific project goals include the following:</p> <p>To develop the entire project as a whole. This will include the subdivision of the property, the development of the infrastructure, the construction of the multifamily dwellings, the seeding of the open lawn areas, the planting of trees, and finally the maintenance of the neighborhood.</p> <p>The unique design and development concepts for this development are as follows:</p> <p>We believe the uniqueness of this development is the fact that the property will be developed as a whole complete project. It is not just a subdivision project where the lots are created and sold and then develop separately. Rather, this development is being designed to include the whole development of the project from beginning to end. It will include the creation of lots, the sight development of the property as a whole, the construction of the multifamily residential units, the creation and maintenance of the open lawn area, and finally the renting and maintenance of the future rental units.</p> <p>When the project has been completed, it will not only be subdivided lots but it will be constructed multifamily residential units, with driveways, lawns, street lighting, and will have an open lawn areas for the neighborhood to enjoy.</p>



	<p>Bike Path: This future multifamily neighborhood is located adjacent to an existing bike trail and is located within walking distance to the Alaska Club Health Center, a community park, restaurants, retail shops and other commercial developments. A bike path has been included within the design to assist with the flow of pedestrian traffic. This bike path will allow the pedestrian traffic to flow from the end of the future cul-de-sac, through the property to an existing bike path which is constructed within the Old Matanuska Road right-of-way.</p> <p>Open Space and Facilities. This development will be created with an open space concept by creating an Open Lawn area within the entire development. A Homeowners Association will be created to maintain the future Open Lawn area, to assist with the future bike path, to assist with the maintenance of the sewer lines, and it will help with the extension of the city's water line and a shared access for Lots 7 & 8.</p> <p>Landscaping: The specific landscaping concept being brought into this project will be that of an open lawn concept. The property is currently a wooded lot with tall thin trees. The goal of this PUD will be to develop this property with an open lawn concept which will eventually be maintained by a homeowners association. The reasoning behind this concern is the concern that if the existing tall trees were to remain then they would eventually become hazards within the neighborhood.</p> <p>The reasoning behind this concern is the fact that this development will involve a lot of construction activity. The development portion of the project will include constructing a road within the project and to bring in utilities. This will initially remove the trees within the proposed right-of-way and the adjacent utility easements. This is a requirement of the construction process. The water and sewer systems will be extended to the property and then will be constructed to each of the individual buildings. A waterline and sewer utilities easements will be created within this development and will involve the excavation and installation of the utility within them. The next step will be to develop each individual building site on each of the lots. There needs to be a sufficient amount of clearing on each lot in order to construct the building, develop the driveway areas and to install the utility hook-ups. Each building site will need to be graded for proper drainage.</p> <p>It is our strong belief that leaving the existing native trees on the site would create a hazardous situation for the future residence in this neighborhood if a select group of tall trees were to remain in and around the buildings. It would be safer for the future residential neighborhood, to remove the existing tall trees, and to create an open space area with planted lawns and newly planted trees.</p> <p>There is currently a 15 foot buffer easement along the south and east boundary of this property and the trees will remain in this location. This easement currently buffers the neighboring R2 district from the Commercial district which this parcel is designated. It is also the intent of the landscaping plan to leave a swath of trees along the north boundary of the property. Leaving trees in these locations will help to define the outer boundary of the property. The remainder of the undeveloped area will be landscaped with an open lawn areas and planted with trees. The lawns will be maintained by a homeowners association. There will be restrictions against fencing this open lawn area.</p> <p>Parking: Each building unit will contain two off street parking spaces. One parking space will be an enclosed garage. There will be one enclosed garage per unit. This will assist with the parking need of this Alaskan neighborhood. The second parking space will be a wide paved parking area located directly in front of each unit. With each 4-plex building, there will be two extra wide driveway areas located directly in front of each building. Two units will share one wide parking area. Each of the wide parking areas will be wide enough to include the parking facility for one regular automobile parking and one handicap vehicle parking. This will create two handicapped vehicle parking areas per building.</p>
	<p>c. Why the PUD will have a beneficial effect which could not be achieved under existing zoning district.</p>
	<p>It will permit a higher density development of a Multi-Family residential development within the 5.8 acre parcel. This submittal will create a PUD overlay district to help supplement the regulations in the underlying commercial zoned district.</p>



The PUD will permit a reasonable development of the parcel and will help to create a blend of design features that will benefit the general public by producing multi-family homes in an area which helps to blend residential and commercial uses in this area. This property is within walking distance to shopping districts, working centers and recreational opportunities.

This general area is located at the dead-end spur of the Old Matanuska Road. This is a sleepy hollow neighborhood where a multi-family development can be nestled within other residential uses and yet be within walking distance to the commercial district.

This property sets slightly lower than the R2, Residential District located to the south and east of this property. The property to the south, which has been developed as a condominium development, sets a minimum of 6 feet higher than this property. The property to the east, which is also zoned R2, is separated by a high bluff and rises roughly 30 feet higher than this development.

Even though multifamily is allowed within the commercial district, this PUD will allow for a greater flexibility of building setbacks. This will assist with the better placement of the buildings on the lots and will help with the creation of the driveway areas.

The building setbacks to be created with this PUD are noted on the following chart:

- LOT 1
 - a. Front Building Setback: 25'
 - b. Rear Building Setback: 25'
 - c. Side building Setback: 5'
- LOT 2
 - a. Front Building Setback: 25'
 - b. Rear Building Setback: 25'
 - c. Side building Setback: 5'
- LOT 3
 - a. Front Building Setback: 25'
 - b. Rear Building Setback: 20'
 - c. Side building Setback: 5'
- LOT 4
 - a. Front Building Setback: 25'
 - b. Rear Building Setback: 25'
 - c. Side building Setback: 5'
- LOT 5
 - a. Front Building Setback: 25'
 - b. Rear Building Setback: 25'
 - c. Side building Setback: 5'
- LOT 6
 - a. Front Building Setback: 25'
 - b. Rear Building Setback: 25'
 - c. Side building Setback: 5'
- LOT 7
 - a. Front Building Setback: 25'
 - b. Rear Building Setback: 10'
 - c. Side building Setback: 5'
- LOT 8
 - a. Front Building Setback: 25'
 - b. Rear Building Setback: 25'
 - c. Side building Setback: 5'
- LOT 9
 - a. Front Building Setback: 25'
 - b. Rear Building Setback: 25'
 - c. Side building Setback: 10'



	<ul style="list-style-type: none"> • LOT 10 <ul style="list-style-type: none"> a. Front Building Setback: 25' b. Rear Building Setback: 15' c. Side building Setback: 15' • LOT 11 <ul style="list-style-type: none"> a. Front Building Setback: 25' b. Rear Building Setback: 25' c. Side building Setback: 5' • LOT 12 <ul style="list-style-type: none"> a. Front Building Setback: 25' b. Rear Building Setback: 15' c. Side building Setback: 5' • LOT 13 <ul style="list-style-type: none"> a. Front Building Setback: 25' b. Rear Building Setback: 25' c. Side building Setback: 10' • LOT 14 <ul style="list-style-type: none"> a. Front Building Setback: 25' b. Rear Building Setback: 15' c. Side building Setback: 10' • LOT 15 <ul style="list-style-type: none"> a. Front Building Setback: 25' b. Rear Building Setback: 25' c. Side building Setback: 10' • LOT 16 <ul style="list-style-type: none"> a. Front Building Setback: 25' b. Rear Building Setback: 25' c. Side building Setback: 10' <p>The second reason is to address the restriction</p>
	<p>d. Why each phase of the development can exist as an independent unit.</p>
	<p>I. Design Phase: Prepare conceptual design to include Street Design, Drainage Plan, Water System Design, Sewer system design, Landscaping Plan, Street lighting Plan.</p> <p>This phase will be the beginning portion of the project and will set the tone for the entire development.</p>
	<p>II. City and Borough Approval: Submit to the City of Wasilla for the site development approval and to the Mat-Su Borough for the preliminary plat approval.</p> <p>This second phase will need to be accomplished before any of the following phases can begin.</p>
	<p>III. Begin Site Work: After City and Borough approval the site development will begin. This will include staking the clearing limits for the road construction portion of the project.</p>
	<p>IV. Construction Phase: This phase begins the road construction portion of the project. Approval to work on the site will need to be approved before development begins.</p>
	<p>V. Beginning Road Construction: This phase will require borough and city approval and will require specific requirements and fees.</p>
	<p>VI. Water & Sewer Main Construction: This phase will be to extend the water and sewer main to the property. This portion of the project will take close coordination with the City of Wasilla and will require ADEC review and approval.</p>
	<p>VII. Installation of Service Lines: This phase will be coordinated with the ADEC.</p>
	<p>VIII. Utility Construction: This phase will require a utility design and the approval to construct.</p>
	<p>IX. Street Light Installation: The Street Lighting will be installed within the same time frame as the utility installation. Both phases will be closely monitored and inspected.</p>




	<p>X. Construct the first phase of building construction: buildings #14-16 will be the first set of buildings to be constructed. The building locations will need to be staked before the building process can begin. These three buildings will be constructed on an existing street. Water and sewer will need to be extended to these buildings. As-built Surveys of building sites will be submitted after buildings have been completed.</p>
	<p>XI. Construction of Street Base: Once the sewer and water systems have been installed and connected to the individual lots, the final road work can begin.</p>
	<p>XII. Final Plat Recordation: Before the plat can be recorded the roads will need to be constructed and approved, and the sewer and water systems will have had to be connected to each of the lots.</p>
	<p>XIII. Final Road Work for the Construction Season: This phase of the road construction will bring the road up to the final grade just before paving. This phase of the road construction will be closed down for the winter months.</p>
	<p>XIV. Second Set of Buildings to be Constructed: The second set of buildings will include buildings #7-13. The plan will be to construct this set of buildings during the winter months. As-built Surveys of building sites will be submitted after buildings have been completed.</p>
	<p>XV. Third Set of Buildings to Be Constructed: The third and final set of buildings will include buildings #1-6. The construction for this set of buildings will begin in the spring of 2015. These units will be completed in the fall of 2015.</p>
	<p>XVI. Final Road Grading: After a majority of the buildings have been constructed, the roads will be re-worked and graded to prepare for paving. The paving will include paving the street, the driveways, and the bike path. There will be close coordination with the City for any construction work to be done. Final City sign-off will be performed.</p>
	<p>XVII. Final Site Development: Once the final construction portion of the project has been completed then the final site work will bring the project to completion. This will include the final site grading and landscaping. The lawns will be seeded and the trees planted. As-built Surveys of building sites will be submitted after buildings have been completed.</p>

Application Check list:

- Applications may only be accepted if area to be rezoned is 20,000 s.f. or larger.
- Applicant has owner's authorization to submit application.
- Narrative addressing criteria is attached.
- Summary Development table is attached.
- Application fee.
- Legal description.

I hereby certify that (I am) (I am authorized to act for the) owner of the property and that I am applying for a planned unit development in conformance with Title 16 of the Wasilla Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the planned unit development.

DATE: 3-14-14

SIGNATURE: 
Managing Member

For Staff Use

Date Received: 3/14/2014

Received by: TR

Fee paid (\$500)

Receipt # 23485

Application

Site plan(s)

Property Owners Signatures

Development Table

Notice of Right to Appeal: All decisions of the City Planner are appealable per WMC Title 16.

SUMMARY DEVELOPMENT TABLE

PUE # _____

Project Area:

Gross area (including any area to be dedicated for public roads) 5.825 acres

Net area (project area less public roads) 4.95 acres

Residential Uses:				
Dwelling Units	Number	Density		
Single Family Detached	0		0	du/ac
Single Family Attached			0	du/ac
Duplex			0	du/ac
Multi Family	(16) 4-Plex buildings = 64 Units		10.99	du/ac
Total				du/ac
Area Distribution				
Building coverage	<u>1.307</u>	acres	22%	% net acres
Vehicle parking	<u>0.90</u>	acres	15%	% net acres
Roads	<u>0.88</u>	acres	15%	% net acres
Open space (net site area minus building & vehicle needs)	<u>2.73</u>	acres	47%	% net acres
Private Usable Open Space (if any)	<u>0.04</u>	acres	1%	% net acres
Common Usable Space		acres		% net acres
Parking				
Resident parking			2	spaces/unit
Guest parking			1	spaces/unit
Boat & RV parking			0	spaces/unit
Non- Residential Uses:				
Dwelling Units	Number	Density		
Single Family Detached	_____			du/ac
Single Family Attached	_____			du/ac
Duplex	_____			du/ac
Multi Family	_____			du/ac
Total				du/ac
Area Distribution				
Building coverage	_____	acres	_____	% net acres
Vehicle parking	_____	acres	_____	% net acres
Roads	_____	acres	_____	% net acres
Open space (net site area minus building & vehicle needs)	_____	acres		% net acres
Total Gross Floor Area (GFA)				
Commercial	_____	Square Feet	_____	% net acres
Office	_____	Square Feet	_____	% net acres
Restaurants/bars	_____	Square Feet	_____	% net acres
Theaters/auditoriums	_____	Square Feet	_____	% net acres
Warehouse/storage	_____	Square Feet	_____	% net acres
Parking				
Commercial	_____	spaces/300 s.f		
Office	_____	spaces/300 s.f		
Restaurants/bars	_____	spaces/ the > of 150 s.f or each 3 seats		
Theaters/auditoriums	_____	spaces/ the > of 150 s.f or each 4 seats		
Warehouse/ storage	_____	spaces/1000 s.f		



PROPERTY DESCRIPTION: BELLA VISTA WEST - USE PERMIT

ARE Project Number: 13-00777

Date: 3/14/14

Owner/Developer: JYG Investment Group, LLC

USE PERMIT APPLICATION Attached written narrative addressing the following Criteria

16.16.050

A. An administrative approval, use permit, elevated administrative approval, elevated use permit or conditional use may be granted if the following general approval criteria and any applicable specific approval criteria of Section 16.16.060 are complied with. The burden of proof is on the applicant to show that the proposed use meets these criteria and applicable specific criteria for approval. An approval shall include a written finding that the proposed use can occur consistent with the comprehensive plan, harmoniously with other activities allowed in the district and will not disrupt the character of the neighborhood. Such findings and conditions of approval shall be in writing and become part of the record and the case file.

1.	<p>Neighbors. Due deference has been given to the neighborhood plan or comments and recommendations from a neighborhood with an approved neighborhood plan.</p> <p>The adjoining properties to the east and south are designated as R2, Higher Residential Density district. There currently is no development on the property to the east. The property to the south has been developed as a condominium development. This parcel fronts on the Old Matanuska Road which is located within a 100 foot wide ROW. The property located on the opposite side of the Old Matanuska Road ROW is currently designated as a commercial district. One of these lots has been developed with a multifamily development and the other lot is vacant.</p> <p>There is an existing community park within several hundred feet of this development. A bike trail runs along the front of the BVW property and gives pedestrian access to the community park and to the commercial district. A bike trail will be constructed on the BVW site to assist with the pedestrian through traffic from the end of the proposed cul-de-sac to the existing bike path.</p>
2.	<p>Plans. The proposal is substantially consistent with the city comprehensive plan and other city adopted plans.</p> <p>The city's comprehensive plan lists this area as being in a Mixed Use Area</p>
3.	<p>Special Uses. The proposal is substantially consistent with the specific approval criteria of Section 16.16.060.</p> <p>PUD Submittal</p>
4.	<p>Reviewing Parties. Due deference has been given to the comments and recommendations of the reviewing parties.</p>
5.	<p>Neighborhoods. Due difference has been given to the neighborhood plan or comments and recommendations from a neighborhood with and approved neighborhood plan.</p> <p>This proposed project is consistent with the local neighborhood.</p>
6.	<p>Fire Safety and Emergency Access. The proposal shall not pose a fire danger as determined by the State Fire Marshal or the fire chief of the district in which the proposed use is located. Adequate access for emergency and police vehicles must be provided.</p> <p>Adequate Street access is being provided. City water is being extended to this property and fire hydrants will be installed within the development.</p>
7.	<p>Traffic. The proposed use shall not overload the street system with traffic or result in unsafe streets or dangers to pedestrians.</p> <p>A traffic impact analysis has been prepared and is attached.</p> <p>A bike path will be provided to connect the neighborhood to the existing bike path.</p>

Alaska Rim Engineering, Inc.

Engineers...Planners...Surveyors



8.	<p>Dimensional Standards. The dimensional requirements of Section 16.24.010 are met.</p> <p>Density within Commercial district = No Limit. Building Height = Less than the 35 feet maximum Building Setbacks: A PUD has been submitted to adjust the building setback requirements. All front building setbacks will be a minimum of 25 feet. Parking = 2 parking spaces have been provided residential unit (See parking below).</p>
9.	<p>Parking. The parking and snow storage sites for the proposal shall be adequate, safe and properly designed. The developer may be required to install acceptable lighting at pedestrian or vehicular access points.</p> <p>Each building unit will contain two off street parking spaces. One parking space will be an enclosed garage. There will be one enclosed garage per unit. This will assist with the parking need of this Alaskan neighborhood. The second parking space will be a wide paved parking area located directly in front of each unit. With each 4-plex building, there will be two extra wide driveway areas located directly in front of each building. Two units will share one wide parking area. Each of the wide parking areas will be wide enough to include the parking facility for one regular automobile parking and one handicap vehicle parking. This will create two handicapped vehicle parking areas per building.</p> <p>Each building will have an exterior lighting. There will be street lighting installed within this development.</p>
10.	<p>Utilities. The proposed use shall be adequately served by water, sewer, electricity, or other utilities.</p> <p>This development will include the full development of the property. City water and sewer systems will be extended to this site and each building will be connected to the system.</p> <p>Utility installation will be constructed within this development and to each unit.</p>
11.	<p>Drainage. The proposed use shall provide for the control of runoff during and after construction. All roads and parking areas shall be designed to alleviate runoff into public streets, adjoining lots and protect rivers, lakes and streams from pollution. Uses may be required to provide for the conservation of natural features such as drainage basins, water sheds, and land stability.</p> <p>A site plan is being provided and the drainage plan is being addressed.</p>
12.	<p>Large Developments. Residential developments of more than four units of more than ten thousand (10,000) Square feet gross floor area may be required to provide a sit plan showing measures to be taken for the preservation of open space, and other natural features; provisions of common signage; provision for landscaping and provisions for safe and effective circulation of vehicles, pedestrians and bicycles.</p> <p>A site plan and landscaping plan have been provided. Vehicle traffic will be provided for with the dedication and construction of a public road way. A pedestrian pike path will be provided.</p>
13.	<p>Peak Use. The proposed use shall not result in significantly different peak use characteristics than surrounding uses or other uses allowed in the district.</p> <p>A trip generation report is being provided.</p>
14.	<p>Off-Site Impacts. None</p>
15.	<p>Landscaping. The proposed use shall be designed in a manner that minimizes the removal of trees and vegetative cover, and shall conform to the standards in this title concerning the provisions and maintenance of landscaping, and any landscaping plan that is required for the proposed use under this title. The approval authority also may condition approval on the provision of the following:</p> <ul style="list-style-type: none"> a. A fenced storage area for common use, adequate to store boats, trailers, snowmobiles, recreational vehicles and similar items. b. Adequate sized, located and screened trash receptacles and areas. <p>A landscaping plan is being provided.</p>



16.	<p>Walkways, Sidewalks and Bike Paths. Pedestrian walkways or bicycle paths may be required where necessary to provide reasonable circulation or access to schools, playgrounds, shopping areas, transportation or other community facilities. Importance must be constructed to standards adopted by the engineer.</p> <p>A bike path will be provided to connect this neighborhood to the existing bike path.</p>
17.	<p>Water, Sewage and Drainage Systems.</p> <p>The City water and sewer systems will be extended to this site and each building will be connected to the system.</p>
18.	<p>Historic Resources. Proposed use shall not adversely impact any historic resource prior to the assessment of that resource by the city.</p> <p>None</p>
19.	<p>Appearance. The proposed use may be required to blend in with the general neighborhood appearance and architecture. Building spacing, setbacks, lot coverage, and height must be designed to provide adequate provisions for natural light and air.</p> <p>Building spacing, setbacks and lot coverage has been addressed within a submittal for a PUD for this development.</p>
20.	<p>Open Space and Facilities. The applicant may be required to dedicate land for open space drainage, utilities, access, parks or playgrounds. Any dedication required by the city must be based on a written finding that the area is necessary for public use or safety and the dedication is in compliance with adopted municipal plans and policy. The city finding shall conclude that a direct compliance with exists between the development and the need for the provision of the dedication. No land may be accepted by the city unless:</p> <p>This development will be created with an open space concept by creating an Open Lawn area within the entire development. A Homeowners Association will be created to maintain the future Open Lawn area, to assist with the future bike path, to assist with the maintenance of the sewer lines, and it will help with the extension of the city's water line and a shared access for Lots 7 & 8.</p>
21.	<p>Winter Hassles. The proposed use shall not significantly increase the impact on the surrounding area from glaciation or drifting snow.</p> <p>See the attached drainage plan.</p>



MEMORANDUM

TO: Project File 13-000777 **PAGES:** 1
FROM: Norman K. Gutcher
DATE: March 12, 2014
SUBJECT: Bella Vista West – Trip Generation

Pursuant to contract scope of work requirements, this office reviewed the Bella Vista Project to estimate the amount of vehicular traffic that may be expected from the project.

City of Wasilla code requires that all projects that generate 100 vehicle trips per hour (vph) or more during the peak traffic hour be subject to preparation of a Traffic Impact Study.

The Bella Vista Project is a development of 16 4-plex rental units on just under 6 acres within the city limits of Wasilla, Alaska. These units are to be rental units.

Using data from “Trip Generation” 7th Edition by the Institute of Transportation Engineers – Land Use 230 “Residential Condominium/Townhouse” estimates of vehicle trip generation were made. Copies of the calculations are attached. The results are summarized below.

Average Vehicle Trip Ends. From ITE.

Weekday average trip generation.	407 Trips.
AM Peak Hour from Bella Vista.	36 Trips.
PM Peak Hour from Bella Vista.	54 Trips.
Saturday Peak Hour from Bella Vista.	61 Trips.
Sunday Peak Hour from Bella Vista.	65 Trips.

City of Wasilla Code states that residential developments should be expected to generate 1 trip end per dwelling unit per hour. Using this rate the peak hour trips would be expected to generate a total of 64 Trips.

The Bella Vista West development will not generate 100 vph therefore a Traffic Impact Study is not warranted.

Encl: Hand Calculation Sheets are attached,

[1]

ALASKA RIM ENGINEERING, INC.

P.O. Box 2749
 PALMER, ALASKA 99645
 PH. (907) 745-0222
 FAX (907) 746-0222
 akrim@alaskarim.com

JOB 13-00777 - Traffic Generation
 SHEET NO. 1 OF _____
 CALCULATED BY NKG DATE 3/12/14
 CHECKED BY _____ DATE _____
 SCALE _____

Project includes 16 - 4-plex Rental Units

Total Number of Dwelling Units - $16 \times 4 = 64$ units

Use ITE Trip Generation 7th Edition.

Land Use 37A Rental Townhouse

Definition - Rental rather than owned with a minimum of 2 attached units per bldg.

Average Vehicle Trip Ends

on a week day - $\ln(T) = 0.85 \ln(X) + 2.55$

where $X = 64$

$\ln 64 = 4.15888$

$= (0.85)(4.15888) + 2.55$

$= 6.0850$

$T = 407$ trips / day

Morning Peak Hour
 Adjacent Street Traffic

$\ln(T) = 0.80(X) + 0.26$

$= 0.80(4.15888) + 0.25$

$= 3.5771$

$T = 36$ vph < 100 TIA
 not needed

Evening Peak Hour
 Adjacent Street Traffic

$\ln(T) = 0.82(X) + 0.32$

$= 3.7303$

$T = 42$ vph < 100

ALASKA RIM ENGINEERING, INC.

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JOB 13-00777 Trap Per Generator
SHEET NO. 2 OF _____
CALCULATED BY AKG DATE 2/2/14
CHECKED BY _____ DATE _____
SCALE _____

Morning Peak Hr of Generator

$$\begin{aligned} L_n(T) &= 0.82 \ln(X) + 0.17 \\ &= (0.82)(4.15888) + 0.17 \\ &= 3.5803 \\ T &= 36 \text{ vph} < 100 \end{aligned}$$

Evening Peak Hr of Generator

$$\begin{aligned} T &= 0.34(X) + 32.31 \\ &= 0.34(24) + 32.31 \\ &= 54 \text{ vph} < 100 \end{aligned}$$

Saturday P.M.

$$\begin{aligned} T &= 0.29(X) + 42.63 \\ &= 0.29(24) + 42.63 \\ &= 61 \text{ vph} \end{aligned}$$

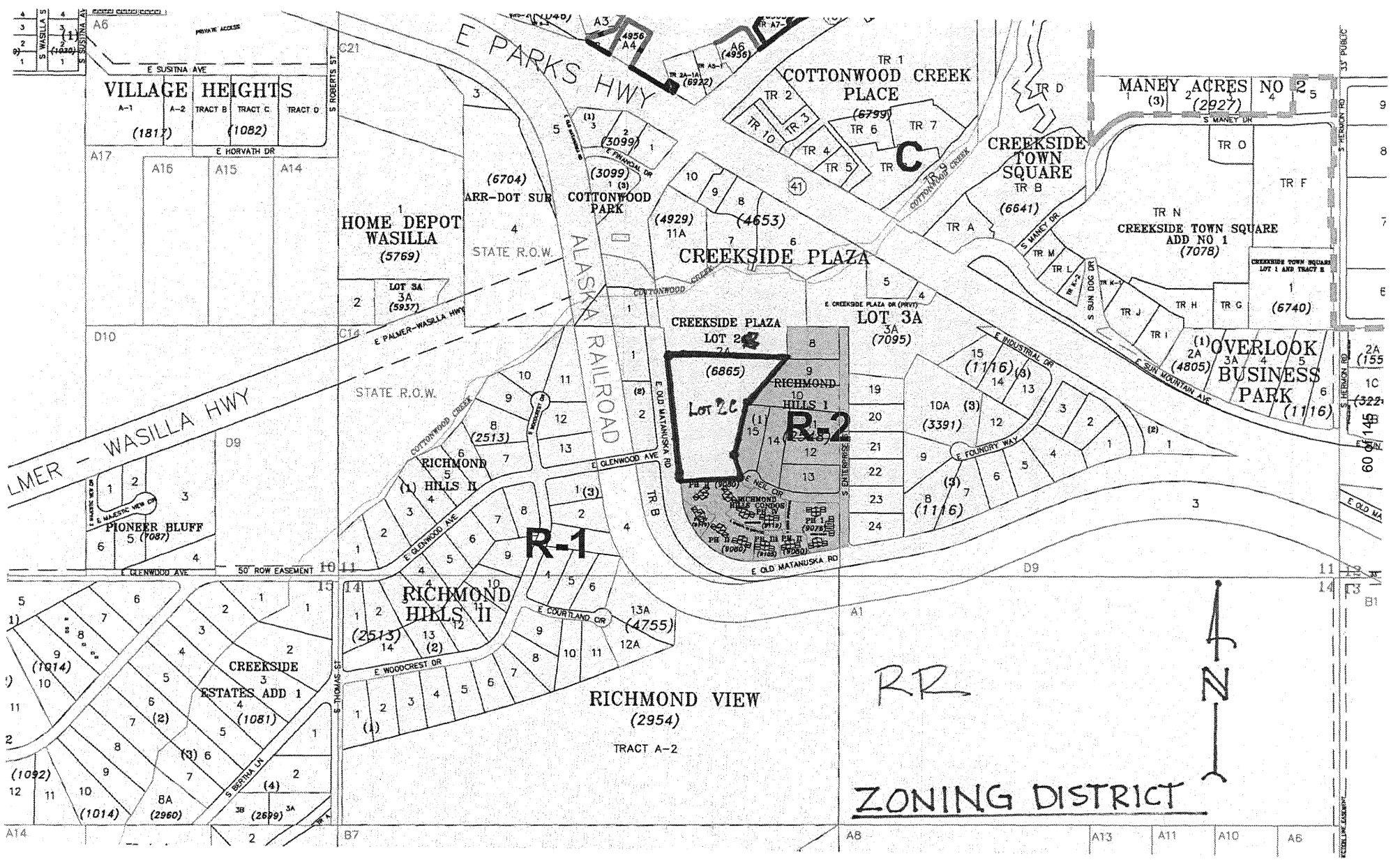
Sunday P.M.

$$\begin{aligned} T &= 0.23X + 50.01 \\ &= 65 \text{ vph} \end{aligned}$$

Using City of Wasilla Code

$$1 \text{ trap / hr / DU} = 64 \text{ vph} < 100$$

TIA not Required



VILLAGE HEIGHTS

A-1 (1817) A-2 (1082) TRACT B TRACT C TRACT D

HOME DEPOT WASILLA (5769)

CREEKSIDE PLAZA

CREEKSIDE TOWN SQUARE TR B (6641)

MANEY ACRES NO 2 (2927)

CREEKSIDE TOWN SQUARE ADD NO 1 (7078)

OVERLOOK BUSINESS PARK (1116)

CREEKSIDE PLAZA LOT 2A (6865)

LOT 2C (6865)

LOT 3A (7095)

R-2

R-1

RICHMOND HILLS II (2513)

RICHMOND VIEW (2954) TRACT A-2

CREEKSIDE ESTATES ADD 1 (1081)

RR

ZONING DISTRICT



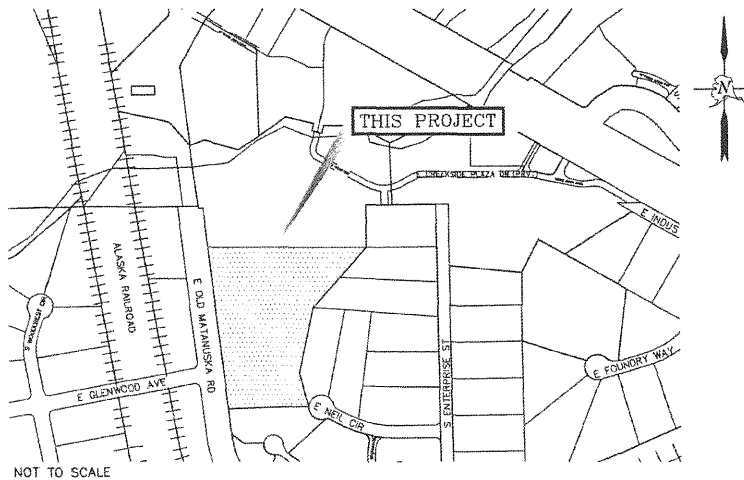
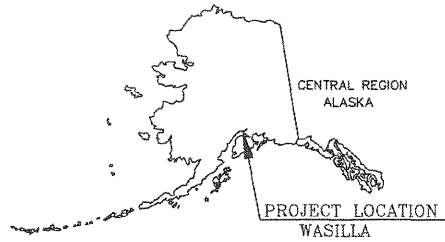
REVISIONS		
NO.	DATE	DESCRIPTION

BELLA VISTA WEST SUBDIVISION

KINZI CIRCLE

ROAD & UTILITIES DESIGN

MARCH 2014



SHEET INDEX	
SHEET NO.	DESCRIPTION
	COVER SHEET
G1.0	GENERAL NOTES, LEGEND AND ABBREVIATIONS
G1.1	SURVEY CONTROL
C1.0	PROPOSED SITE PLAN
C2.0	KINZI CIRCLE ROAD PLAN AND PROFILE
C3.0	SEWER LINES PLAN AND PROFILES
C3.1	SEWER DETAILS
C4.0	WATERLINES PLAN
C4.1	WATERLINE 1 PROFILE
C4.2	WATERLINE 2 PROFILE

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF PALMER STANDARD SPECIFICATIONS AND UNLESS OTHERWISE NOTED IN SPECIAL PROVISIONS ON THIS PLAN SET.
- CONTRACTOR IS RESPONSIBLE FOR ALL PROJECT SAFETY AND SAFETY COMPLIANCE.
- EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS SHALL BE CONSIDERED APPROXIMATE AND NOT NECESSARILY COMPLETE. THE CONTRACTOR SHALL OBTAIN UTILITY LOCATES AT LEAST 24 HOURS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO VERIFY EXACT LOCATIONS OF ALL BURIED UTILITIES. PROTECT AND RESTORE ALL UTILITIES TO THE UTILITY OWNERS SATISFACTION.
- EXISTING ELECTRIC, CABLE TELEVISION, TELEPHONE, STREET LIGHT AND GAS LINES IN THE RIGHT-OF-WAY MAY REQUIRE CONTINUOUS SUPPORT AND/OR RELOCATION DURING EXCAVATION AND BACKFILLING OPERATIONS. THE CONTRACTOR SHALL COORDINATE WORK WITH EACH UTILITY COMPANY.
- ALL EXISTING SIGNS SHALL BE PROTECTED AND RESTORED, OR REPLACED, AT THE CONTRACTORS EXPENSE, TO THE SATISFACTION OF THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS PRIOR TO DISTURBING ANY SURVEY MONUMENTS. PROPERTY CORNERS AND R.O.W. MONUMENTS DAMAGED OR LOST DUE TO THE CONSTRUCTION ACTIVITY OF THE CONTRACTOR, SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- UNCLASSIFIED UNUSABLE EXCAVATION MAY BE USED FOR SLOPE FLATTENING ON THE BACK SLOPES AND TORE SLOPES FROM BOTTOM OF THE CLASSIFIED TYPE A.
- NOT USED
- CULVERT LENGTHS, LOCATION AND SKEW ARE APPROXIMATE ONLY AND ARE SUBJECT TO MINOR REVISIONS.
- THE CONTRACTOR SHALL FIRST USE EXCESS USABLE EXCAVATION FOR SLOPE FLATTENING BEFORE USE OF UNUSABLE UNCLASSIFIED EXCAVATION.
- A TRANSITION WILL BE CONSTRUCTED AT EACH LOCATION WHERE ROADWAY ENTERS OR EXISTS A FILL/CUT CONDITION AS DIRECTED BY THE ENGINEER.

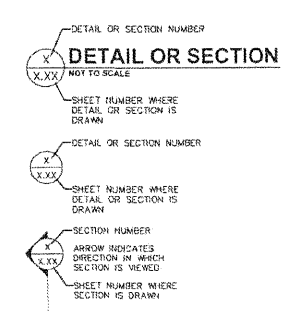
GENERAL LEGEND

DESCRIPTION	EXISTING	PROPOSED
2" ALUMINUM CAP ON 5/8" REBAR		
1 1/2" ALUMINUM MONUMENT		
2 1/2" GLO BRASS CAP		
5/8" REBAR		
5/8" REBAR w/PC		
1/2" REBAR		
ANTENNA		
BENCH MARK		
BOULDER		
BUILDING/BUILDING WITH SERVICE		
CAP		
CATCH BASIN		
CLEAN OUT		
CULVERT/CWP		
DITCH OR SWALE		
ELECTRICAL UTILITY BOX		
FENCE		
FIRE HYDRANT		
FLOW/DRAINAGE DIRECTION		
GAS LINE		
GRAVEL/PAVED ROAD OR DRIVE		
GROUND CONTOUR MAJOR		
GROUND CONTOUR MINOR		
GUY WIRE		
IRON PIPE		
LIGHT POLE		
MANHOLE (PLAN & PROFILE)		
MONITORING WELL		
MONUMENT IN CASE		
OVERHEAD ELECTRIC		
PK NAIL		
POWER POLE		
PROPERTY LINE		
RADIUS		
RETAINING WALL		
RIGHT OF WAY		
SEWER LINE (WITH GATE VALVE)		
SEWER SERVICE AND SERVICE CONNECTION		
SIGN		
SLOPE INDICATOR (CUT OR FILL)		
SPOT LOCATION AND ELEVATION		
TANK		
TELEPHONE UTILITY BOX		
REST PIT		
TRANSFORMER		
TREE OR TREE LINE		
UNDERGROUND ELECTRIC		
UNDERGROUND TELEPHONE		
WATER LEVEL		
WATER LINE (WITH GATE VALVE)		
WATER SERVICE AND SERVICE CONNECTION		
WATER WELL		

DESCRIPTION	EXISTING	PROPOSED
2" ALUMINUM CAP ON 5/8" REBAR		
1 1/2" ALUMINUM MONUMENT		
2 1/2" GLO BRASS CAP		
5/8" REBAR		
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BOULDER		
BUILDING/BUILDING WITH SERVICE		
CAP		
CATCH BASIN		
CLEAN OUT		
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FIRE HYDRANT		
FLOW/DRAINAGE DIRECTION		
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GRAVEL/PAVED ROAD OR DRIVE		
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MANHOLE (PLAN & PROFILE)		
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PK NAIL		
POWER POLE		
PROPERTY LINE		
RADIUS		
RETAINING WALL		
RIGHT OF WAY		
SEWER LINE (WITH GATE VALVE)		
SEWER SERVICE AND SERVICE CONNECTION		
SIGN		
SLOPE INDICATOR (CUT OR FILL)		
SPOT LOCATION AND ELEVATION		
TANK		
TELEPHONE UTILITY BOX		
REST PIT		
TRANSFORMER		
TREE OR TREE LINE		
UNDERGROUND ELECTRIC		
UNDERGROUND TELEPHONE		
WATER LEVEL		
WATER LINE (WITH GATE VALVE)		
WATER SERVICE AND SERVICE CONNECTION		
WATER WELL		

ABBREVIATIONS

DETAIL AND SECTION DESIGNATIONS EXAMPLE



13-00777
DATE: MARCH 2014
DRAWN BY: NKG
CHECKED BY: CWS
DESIGNED BY: NKG
DATE PLOT: 3/24/2014 1:58:02 PM
SCALE: NA
HORIZONTAL: NA
VERTICAL: NA
SHEET 10 OF 10

ALASKA REGISTERED PROFESSIONAL ENGINEER
No. 6483
Name: E. G. Galt
City: Anchorage, Alaska
Exp. Date: 12/31/2014
Professional Seal

BELLA VISTA WEST
GENERAL NOTES, LEGEND, AND ABBREVIATIONS

62 of 145

SHEET NUMBERS USED FOR THIS BASE: 1503, 1501, 1504, 1505, 1500, 1512, 1514, 1515, 2000, 2011



SURVEY CONTROL POINTS				
Point #	Row Description	Elevation	Northing	Easting
1500	5/9" REBAR	322.18	2757481.35	1743095.34
1501	5/8" REBAR	318.55	2767770.11	1743085.53
1503	BRASS CAP	317.15	2767771.17	1742899.89
1504	5/9" REBAR w/PLASTIC CAP	323.78	2767769.54	1743166.00
1505	5/8" REBAR w/PLASTIC CAP	331.23	2767765.91	1743812.84
1506	5/8" REBAR	324.26	2767597.62	1743812.88
1507	5/8" REBAR	322.89	2767479.84	1743705.98
1508	5/8" REBAR w/PLASTIC CAP	320.93	2767361.75	1743599.50
1509	5/8" REBAR w/PLASTIC CAP	325.13	2767097.84	1743537.17
1510	5/8" REBAR	343.07	2766963.28	1743573.13
1511	5/8" REBAR	323.20	2766959.71	1743250.30
1512	5/8" REBAR	322.25	2767045.01	1743015.45
1514	5/8" REBAR	322.59	2767092.50	1743117.88
1515	5/8" REBAR	324.54	2767044.89	1743140.99
2000	TM A	324.66	2766973.96	1743145.00
2011	TM C	320.87	2767225.27	1743163.22

SURVEY CONTROL:
HORIZONTAL CONTROL:
 BASIS OF BEARING: POINT 1504 NORTHWEST CORNER LOT 28
 POINT 1504 TO 1513 50°35'35"E 814.23'(R) 814.20'(M)

VERTICAL CONTROL:
 BENCH MARK: POINT 2000, TM A, ELEV. 324.66'
 SOUTH OF GLENWOOD AVE, WEST SIDE OF OLD MATANUSKA RD., RAILROAD SPIKE IN EAST FACE OF 10' COTTONWOOD TREE
 POINT 2011, TM C, ELEV. 320.87'
 WEST SIDE OF BRK PATH AND SOUTH OF THE NORTHWEST CORNER LOT 28, RAILROAD SPIKE IN SOUTH FACE OF COTTONWOOD TREE

DISTING GROUND CONTOURS DERIVED FROM MAT-SU BOROUGH LIDAR TOPOGRAFC MAPING DATED 2011, NAVD83 GEOID(09), CONTOURS ARE IN 2' INTERVALS.
 BENCH ELEVATIONS WERE DERIVED FROM A STATIC SURVEY BY THIS FIRM AND ARE BASED ON NAVD83 GEOID(12A).

NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACT TO PROTECT AND/OR REPLACE ANY AND ALL MONUMENTATION SHOWN HEREON AND TRANSFER THE TM'S TO A SAFE LOCATION PRIOR TO DISTURBANCE.

ARE
 ALASKA CIVIL ENGINEERING, INC.
 814 E. PRINCE ST., SUITE 1
 ANCHORAGE, ALASKA 99501-3202
 TEL: (907) 485-2322 FAX: (907) 485-2322
 WWW.ARE-ALASKA.COM

PROJECT NO. 13-00777

SHEET: MARCH 2014

DESIGNED: RMG

DRAWN BY: JRG

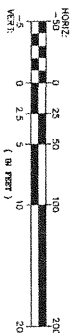
CHECKED BY: RJF

DATE PLOTTED: 03.X_SURVEY CONTROL.dwg

SCALE: 1"=50'

SHEET 611 OF 10

BELLA VISTA WEST SURVEY CONTROL



<p>BELLA VISTA WEST</p> <p>PROPOSED SITE PLAN</p>		<p>FIELD BOOKS</p> <p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION				<p>ARE</p> <p>ALASKA RIM ENGINEERING, INC.</p> <p>1313 E. BROADWAY, SUITE 1 PALMER, ALASKA 99645 PH: (907) 745-0222 FAX: (907) 745-0222 EMAIL: alskrim@alaskarim.com WEB: www.alaskarim.com</p>
NO.	DATE	DESCRIPTION							
<p>DATE: 03-07-14</p> <p>BY: JBY</p> <p>CHECKED BY: AMD</p> <p>SCALE: 1"=100'</p> <p>PROJECT: BELLA VISTA WEST</p> <p>SHEET: 10 OF 10</p>	<p>64 of 145</p>								

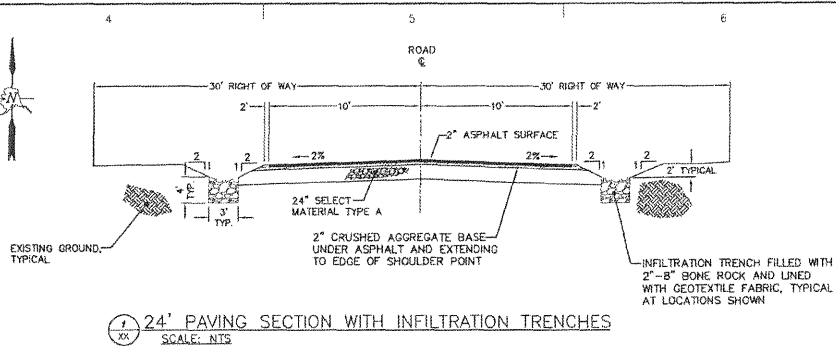
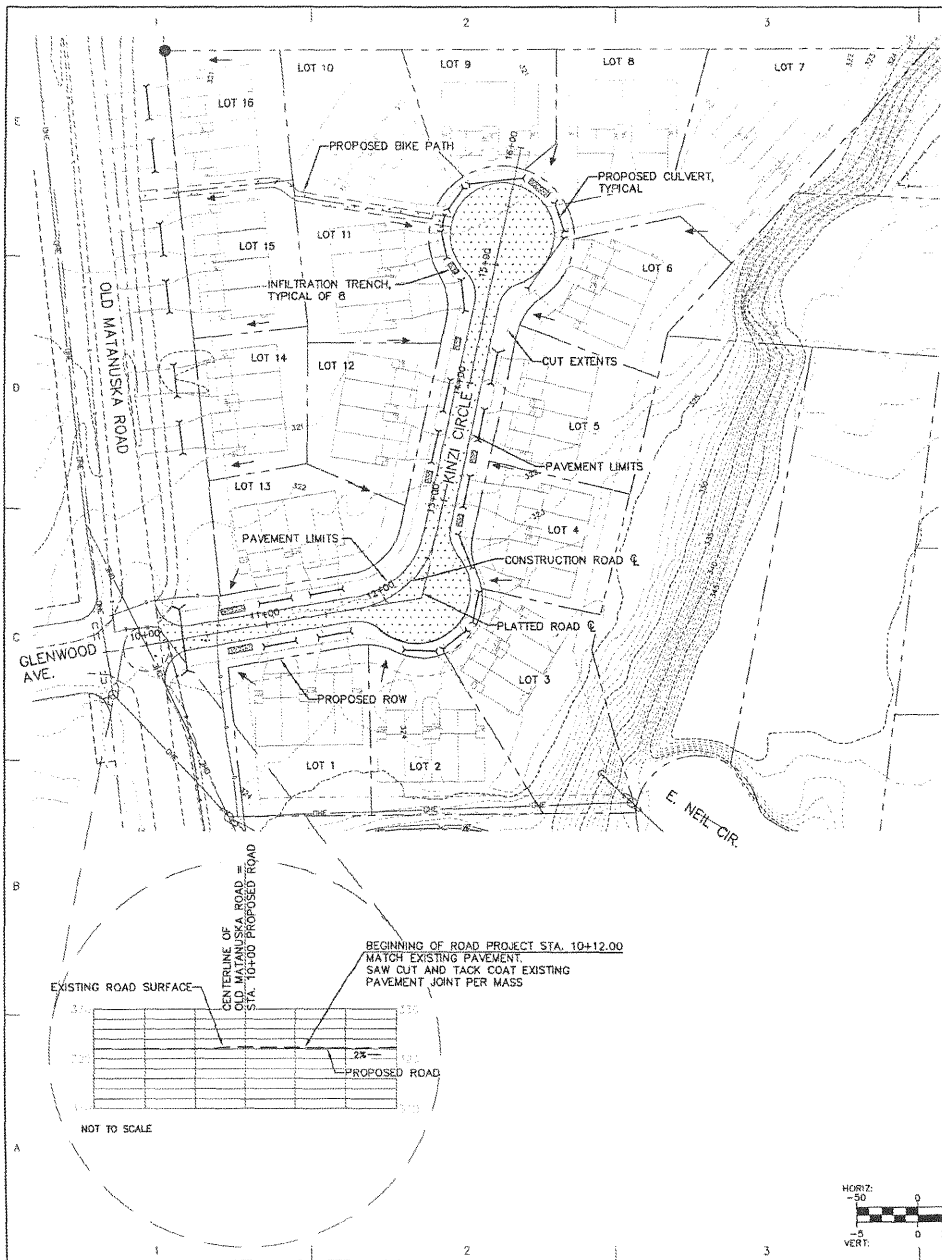
VERT: 1/4" = 10'

PLAN: 1" = 10'

DATE: 03/11/14

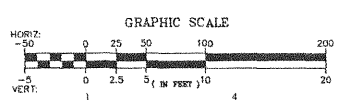
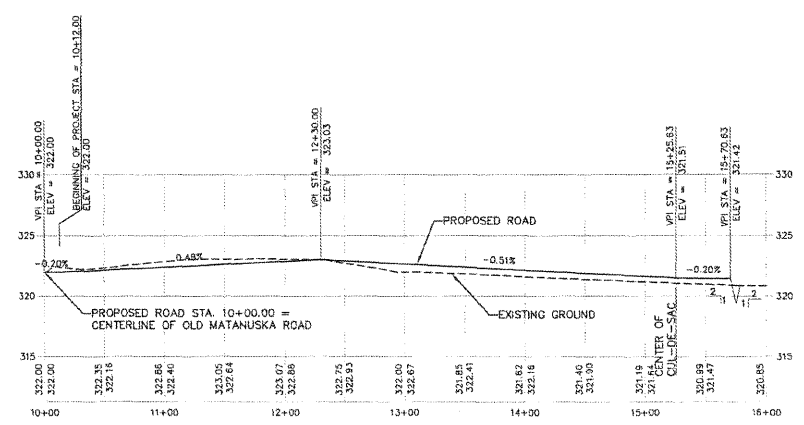
LAYER: 000 - ROAD

DRAWING NAME: C:\X\ROAD P&P.dwg



← DRAINAGE ARROW

STATIONS	OFFSET DISTANCE FROM E OF ROAD TO MIDPOINT OF TRENCH		TRENCH LENGTHS	
	LEFT	RIGHT	LEFT	RIGHT
TRENCH MIDPOINT				
10+75.10	14.0'	14.0'	20'	20'
12+87.17		14.0'		10'
13+16.77	14.0'		10'	
13+41.10		14.0'		10'
14+29.82	14.0'		10'	
14+91.87	31.8'		10'	
15+68.84		20.8		20'



NO.	DATE	DESCRIPTION
1	03/11/14	ISSUED FOR PERMITTING
2		
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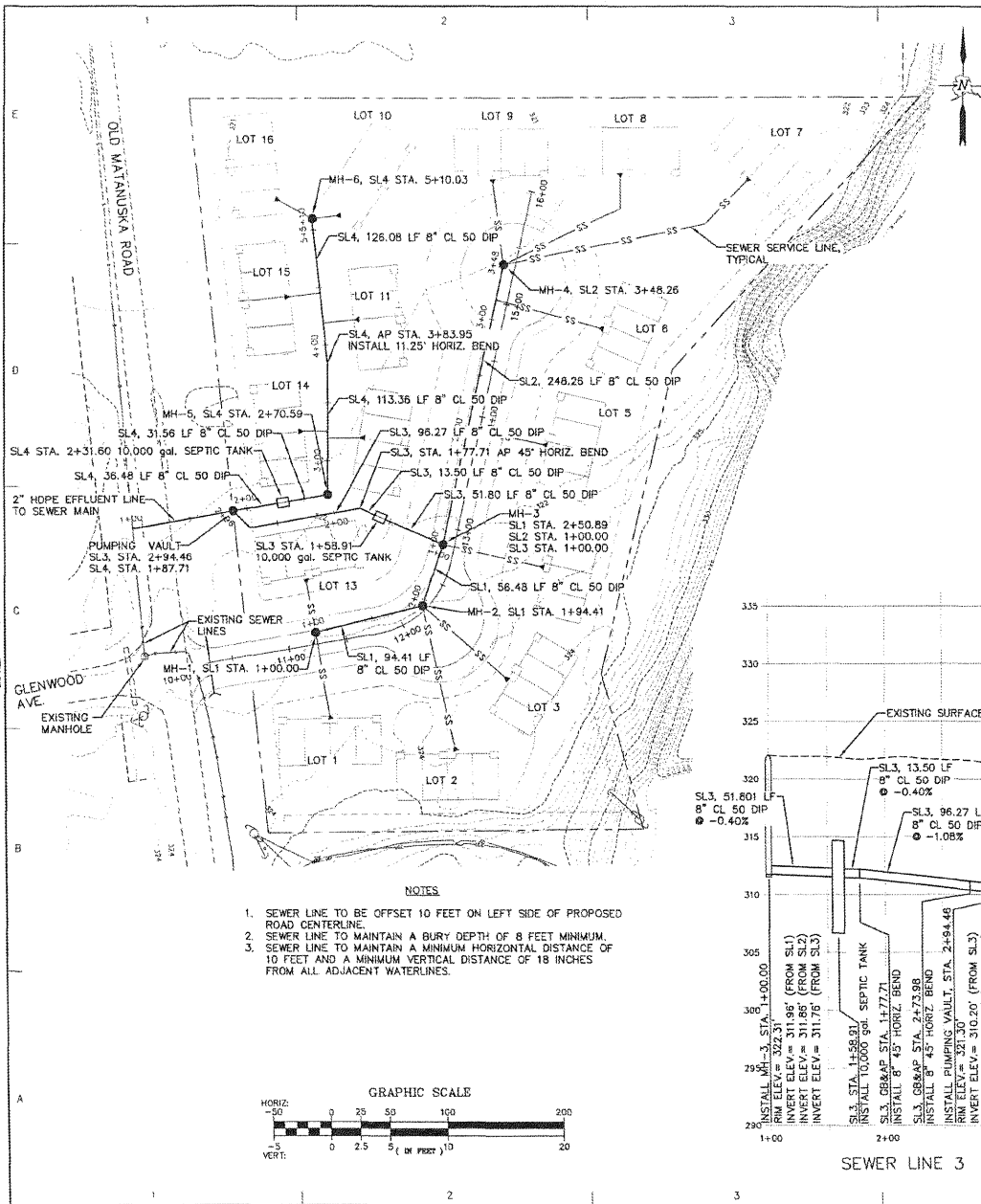
BELLA VISTA WEST
KINZI CIRCLE
ROAD PLAN AND PROFILE

PROJECT NO:	13-00777
DATE:	MARCH 2014
DESIGNER:	ARE
DRAWN BY:	CKS
CHECKED BY:	WKC
CAD FILE NAME:	C:\X\ROAD P&P.dwg
SCALE:	1" = 100'
SHEET:	C2.0
TOTAL SHEETS:	10

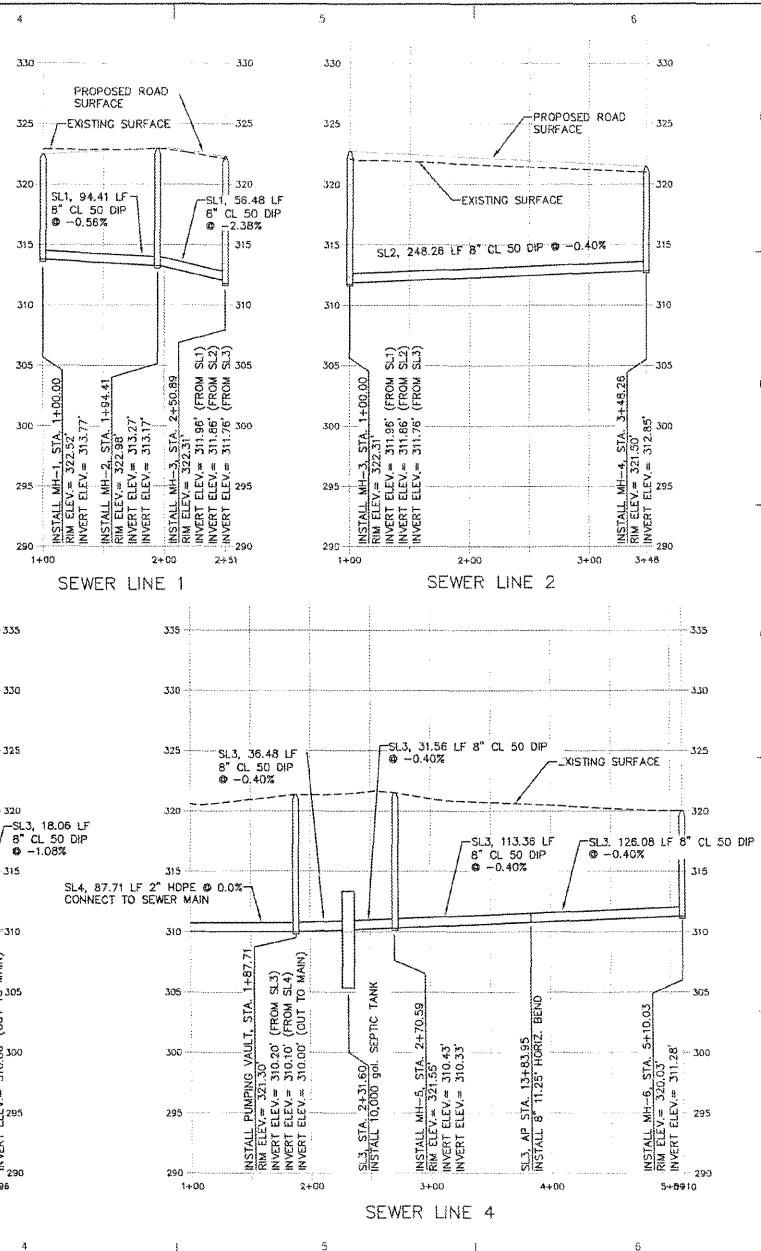
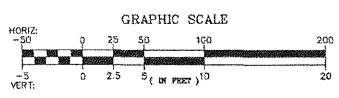
NOT DIMENSIONS USED FOR THIS DWG

DATE: 03/14/14
TIME: 12:51 PM

LAYER NAME: 140
DRAWING NAME: C:\X\SEWER\PPWP.dwg



- NOTES**
- SEWER LINE TO BE OFFSET 10 FEET ON LEFT SIDE OF PROPOSED ROAD CENTERLINE.
 - SEWER LINE TO MAINTAIN A BURY DEPTH OF 8 FEET MINIMUM.
 - SEWER LINE TO MAINTAIN A MINIMUM HORIZONTAL DISTANCE OF 10 FEET AND A MINIMUM VERTICAL DISTANCE OF 18 INCHES FROM ALL ADJACENT WATERLINES.



3164114

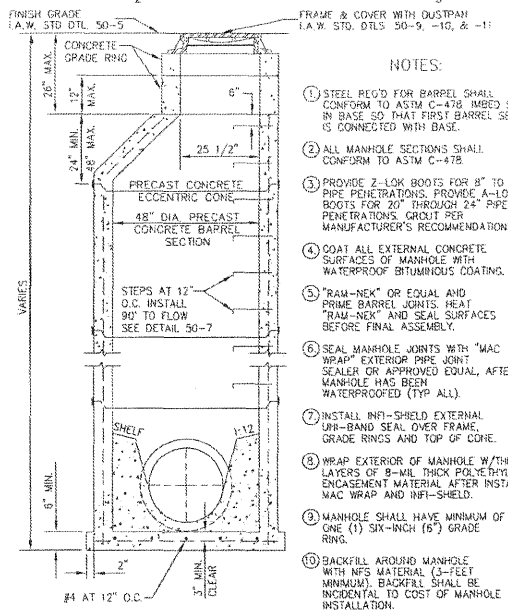
ALASKA RESIDENTIAL ENGINEERING, INC.
1131 L. BRADSHAW RD., SUITE 1
PH: (907) 425-2022 FAX: (907) 441-0222
WWW.ARE-ALASKA.COM

FIELD BOOKS	DATE	REVISIONS	VERTICAL SCALE	HORIZ. SCALE

BELLA VISTA WEST

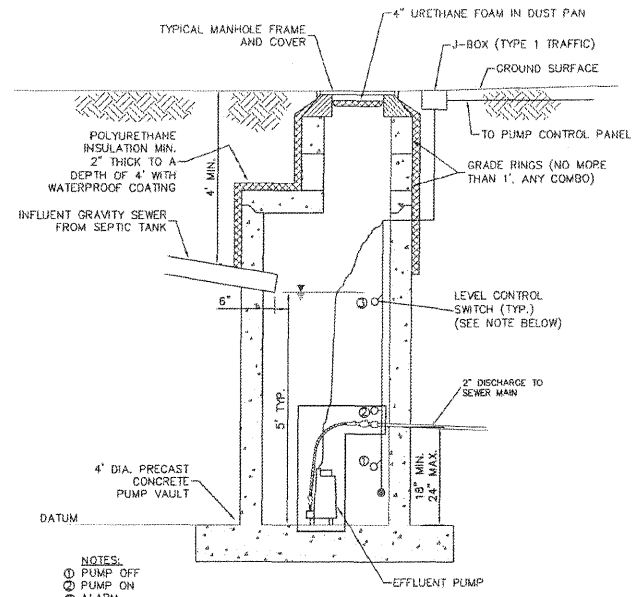
SEWER LINES PLAN AND PROFILES

PROJECT NO:	13-00777
DATE:	MARCH 2014
DESIGNED BY:	NRG
DRAWN BY:	CWS
CHECKED BY:	NRG
CAD FILE NO.:	C:\X\SEWER\PPWP.dwg
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HORIZONTAL:	1" = 100'
VERTICAL:	1" = 10'
SHEET:	C3.0 / 10



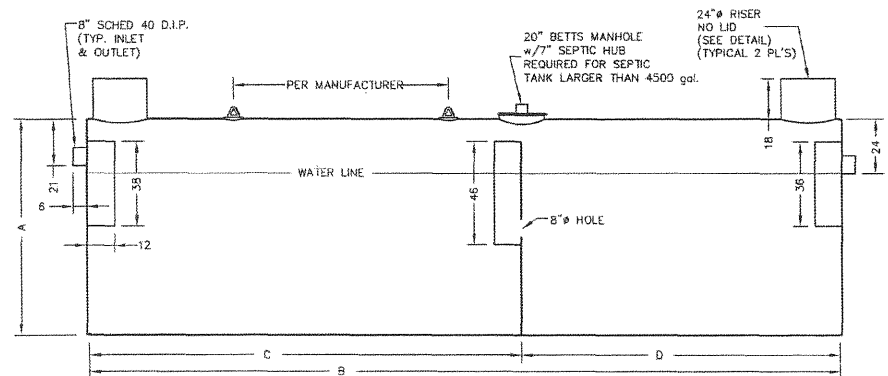
- NOTES:**
- ① STEEL REOF FOR BARREL SHALL CONFORM TO ASTM C-478 IMBED STEEL IN BASE SO THAT FIRST BARREL SECTION IS CONNECTED WITH BASE.
 - ② ALL MANHOLE SECTIONS SHALL CONFORM TO ASTM C-478
 - ③ PROVIDE 2-LOK BOOTS FOR 8" TO 18" PIPE PENETRATIONS. PROVIDE A-LOK BOOTS FOR 20" THROUGH 24" PIPE PENETRATIONS. GROUT PER MANUFACTURER'S RECOMMENDATIONS.
 - ④ COAT ALL EXTERNAL CONCRETE SURFACES OF MANHOLE WITH WATERPROOF BITUMINOUS COATING.
 - ⑤ "RAM-NEK" OR EQUAL AND PRIME BARREL JOINTS HEAT "RAM-NEK" AND SEAL SURFACES BEFORE FINAL ASSEMBLY.
 - ⑥ SEAL MANHOLE JOINTS WITH "MAC WRAP" EXTERIOR PIPE JOINT SEALER OR APPROVED EQUAL, AFTER MANHOLE HAS BEEN WATERPROOFED (TYP ALL).
 - ⑦ INSTALL INFIL-SHIELD EXTERNAL UR-BAND SEAL OVER FRAME, GRADE RINGS AND TOP OF CONE.
 - ⑧ WRAP EXTERIOR OF MANHOLE W/THREE LAYERS OF 8-MIL THICK POLYETHYLENE ENCASEMENT MATERIAL AFTER INSTALLING MAC WRAP AND INFIL-SHIELD.
 - ⑨ MANHOLE SHALL HAVE MINIMUM OF ONE (1) SIX-INCH (6") GRADE RING.
 - ⑩ BACKFILL AROUND MANHOLE WITH NPS MATERIAL (3-FOOT MINIMUM). BACKFILL SHALL BE INCIDENTAL TO COST OF MANHOLE INSTALLATION.
 - ⑪ FOUNDATION MATERIAL AS DIRECTED BY ENGINEER

① **SANITARY MANHOLE TYPE A**
SCALE: NTS



- NOTES:**
- ① PUMP OFF
 - ② PUMP ON
 - ③ ALARM

② **PUMPING VAULT**
SCALE: NTS



Approx. Gallons	Steel Gauge	Diam. (inches) (A)	Length (feet) (B)	Length Compt. 1 (C)	Length Compt. 2 (D)	Shipping Weight (LBS)	Maximum Burial Depth (feet)
10,000	1/4	96	34	22'-8"	11'-4"	11,509	

③ **SEPTIC TANK**
SCALE: NTS



FIELD BOOKS		DATE		PAGE		NO.		REVISIONS		APPROVAL	

BELLA VISTA WEST
SEWER DETAILS

PROJECT NO.	13-00777
DATE	MARCH 2014
ISSUED BY	NKG
DESIGNED BY	CWS
CHECKED BY	NKG
TITLE AND FILE NO.	CLX-SEWER DETAILS.dwg

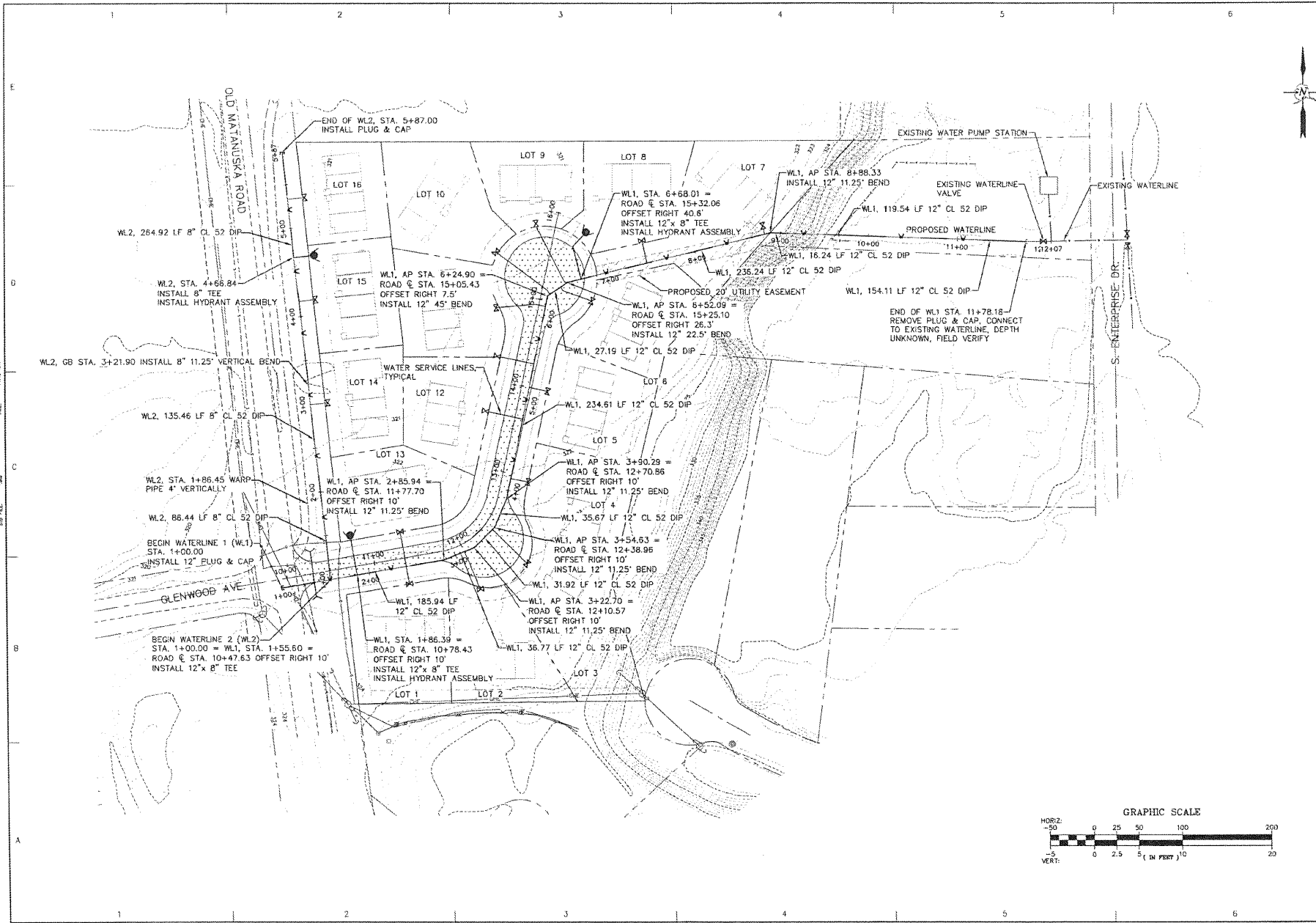
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HORIZONTAL:	NTS
VERTICAL:	NA
SHEET:	C3.1
TOTAL SHEETS:	10

800' VANGUARD USED FOR THIS DWG

REVISED: 03/17/14

LAYER NOS: "HYD" "VAL" "STD" "VAL"

DRAWING NAME: C:\X\WATER P&P.dwg



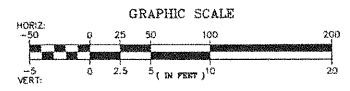
49th ALASKA PROFESSIONAL ENGINEERS BOARD
 License No. 111474
 Name: K. G. G...
 License No. 493

ARE
 ALASKA REGISTERED PROFESSIONAL ENGINEERING INC.
 214 E. PRINCE STREET, SUITE 1
 ANCHORAGE, ALASKA 99501
 PH: (907) 242-0022 FAX: (907) 446-0222
 WWW.ARE-ALASKA.COM

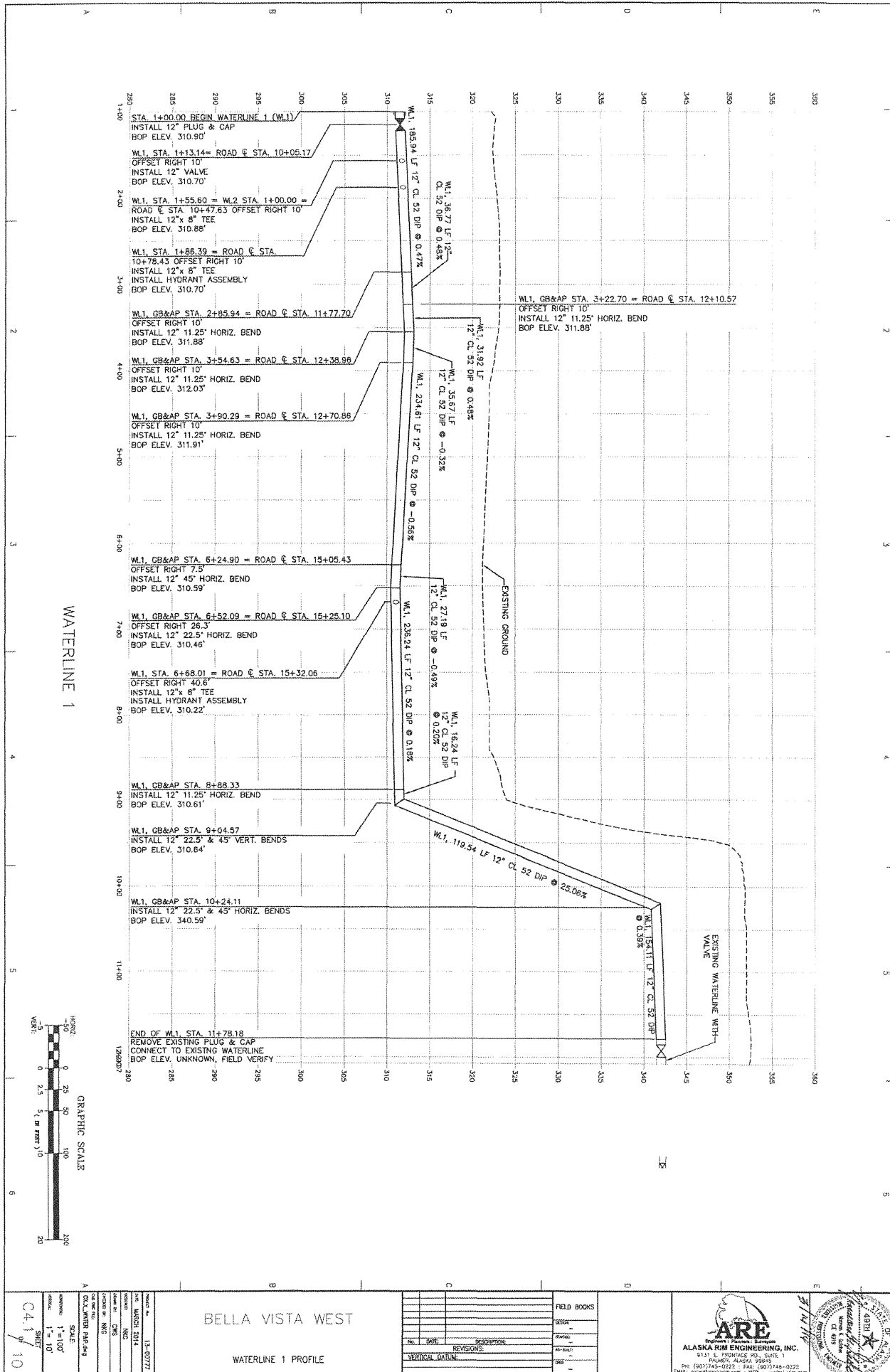
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2		REVISIONS
3		DATE
4		BY
5		CHKD
6		DATE
7		BY
8		CHKD
9		DATE
10		BY
11		CHKD
12		DATE
13		BY
14		CHKD
15		DATE
16		BY
17		CHKD
18		DATE
19		BY
20		CHKD

BELLA VISTA WEST
 WATERLINES PLAN

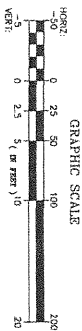
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DATE	MARCH 2014
DESIGNER	ING
DRAWN BY	CHS
CHECKED BY	ING
DATE PLOTTED	EX.X.WATER P&P.dwg
SCALE:	
HORIZONTAL	1" = 100'
VERTICAL	1" = 10'
SHEET	4.0 / 10



68 OF 145



WATERLINE 1



BELLA VISTA WEST

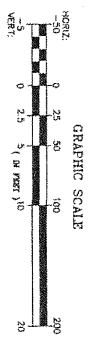
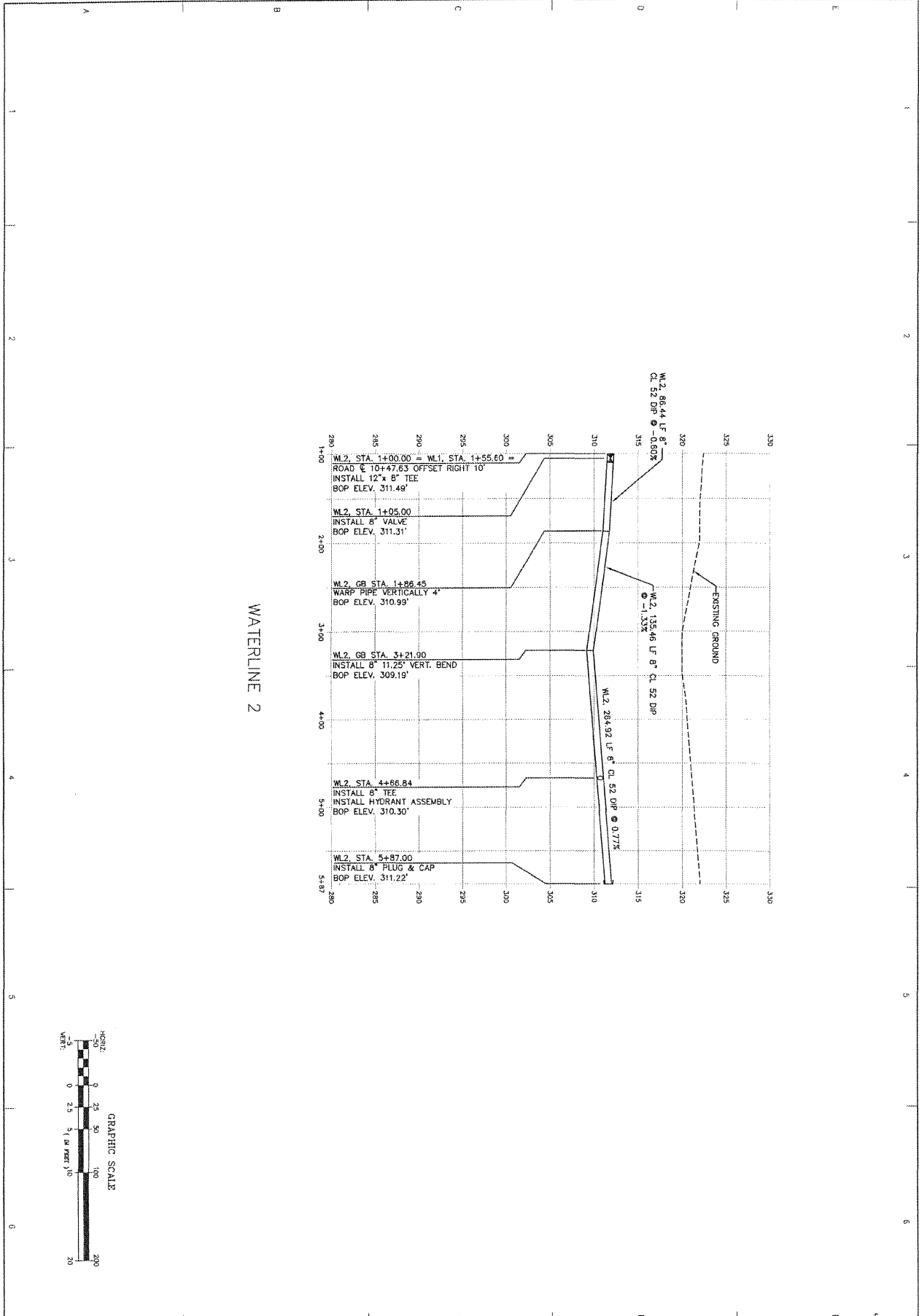
WATERLINE 1 PROFILE


FIELD BOOKS

No.	DATE	REVISIONS	DESCRIPTION

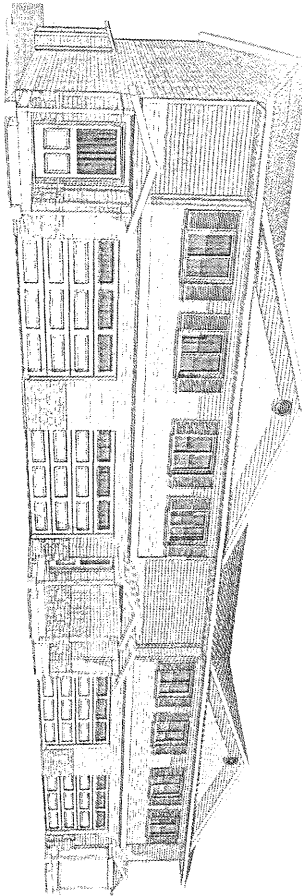
VERTICAL DATUM:

ARE
ALASKA REGISTERED ENGINEERS & SURVEYORS
Engineers & Surveyors
ALASKA RIM ENGINEERING, INC.
5141 E. FRONTAGE RD., SUITE 1
PALM BEACH, ALASKA 99645
PH: (907) 743-0222 FAX: (907) 746-0222
EMAIL: ARE@ALASKARIMENGINEERING.COM WWW.ARE-ALASKA.COM



BELLA VISTA WEST WATERLINE 2 PROFILE	<table border="1"> <tr><th>No.</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	No.	DATE	DESCRIPTION										<table border="1"> <tr><th>FIELD BOOKS</th></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </table>	FIELD BOOKS					 ALASKA RIM ENGINEERING, INC. 9131 E. FRONTAGE RD. SUITE 1 PALMCREST, ALASKA 99570 PH: (407) 745-0227 FAX: (407) 745-0222 EMAIL: GUY@ALASKARIM.COM WWW: WWW.ALASKARIM.COM
No.	DATE	DESCRIPTION																		
FIELD BOOKS																				

BELLAVISTA 4-PLEX



GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEY INFORMATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY GEOTECHNICAL INFORMATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ENVIRONMENTAL INFORMATION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY HISTORICAL INFORMATION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ARCHITECTURAL INFORMATION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ELECTRICAL INFORMATION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MECHANICAL INFORMATION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PLUMBING INFORMATION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PAINT INFORMATION.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FINISH INFORMATION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LANDSCAPE INFORMATION.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SIGNAGE INFORMATION.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FURNITURE INFORMATION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPLIANCES INFORMATION.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LIGHTING INFORMATION.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SECURITY INFORMATION.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESSIBILITY INFORMATION.

BUILDING AREA

1st FLOOR	1,100 SQ. FT.
2nd FLOOR	1,100 SQ. FT.
3rd FLOOR	1,100 SQ. FT.
4th FLOOR	1,100 SQ. FT.
TOTAL BLDG. AREA	4,400 SQ. FT.

SHEET INDEX

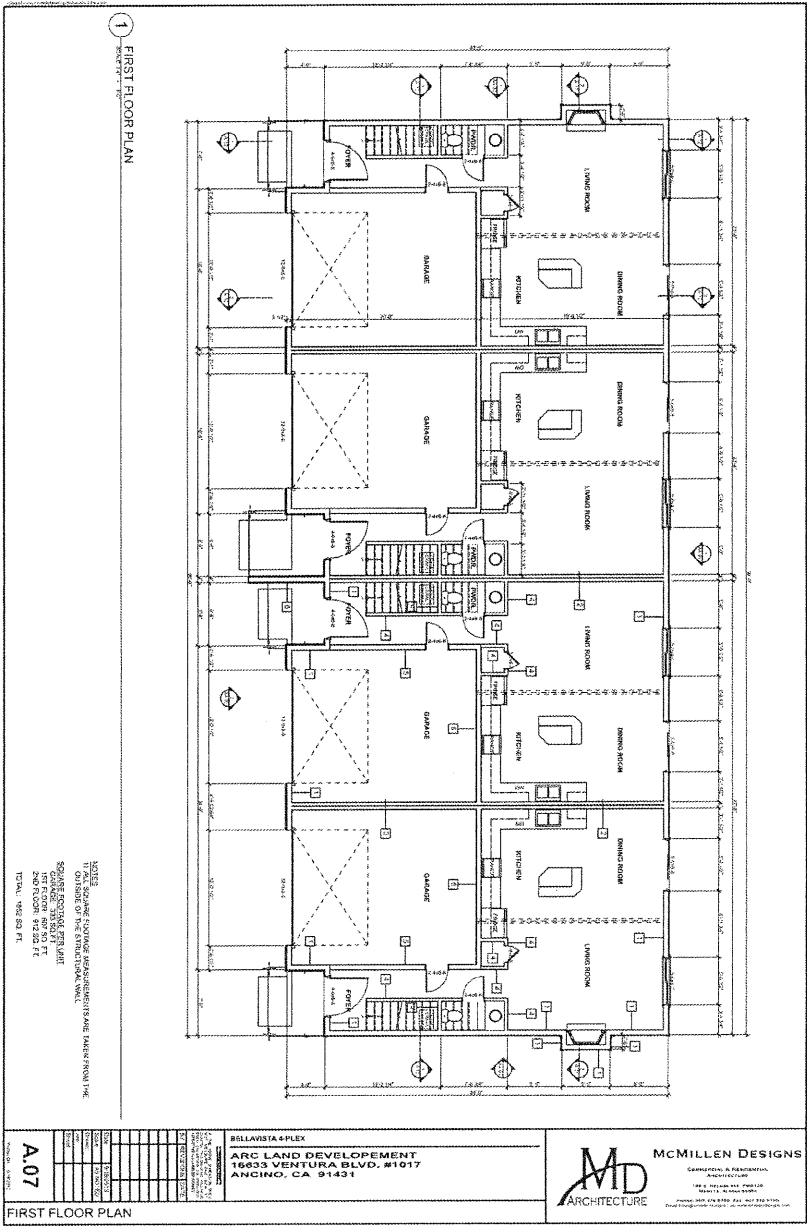
NO.	DESCRIPTION
1	TITLE SHEET / GENERAL INFO
2	FLOOR PLAN
3	ELEVATION
4	SECTION
5	DETAIL
6	MECHANICAL
7	ELECTRICAL
8	PLUMBING
9	PAINT
10	FINISH
11	LANDSCAPE
12	SIGNAGE
13	FURNITURE
14	APPLIANCES
15	LIGHTING
16	SECURITY
17	ACCESSIBILITY

BUILDING PLAN 'C'

BELLAVISTA 4-PLEX ARC LAND DEVELOPMENT 18633 VENTURA BLVD. #1017 ANCINO, CA 91431	
TITLE SHEET / GENERAL INFO A.01	SHEET NO. TOTAL SHEETS

MD
 ARCHITECTURE

McMILLEN DESIGNS
 COMMERCIAL & RESIDENTIAL
 ARCHITECTURE
 18633 VENTURA BLVD. #1017
 ANCINO, CA 91431
 PHONE: (818) 298-2997 FAX: (818) 298-1333
 WWW.MCMILLENDESIGNS.COM



1 FIRST FLOOR PLAN

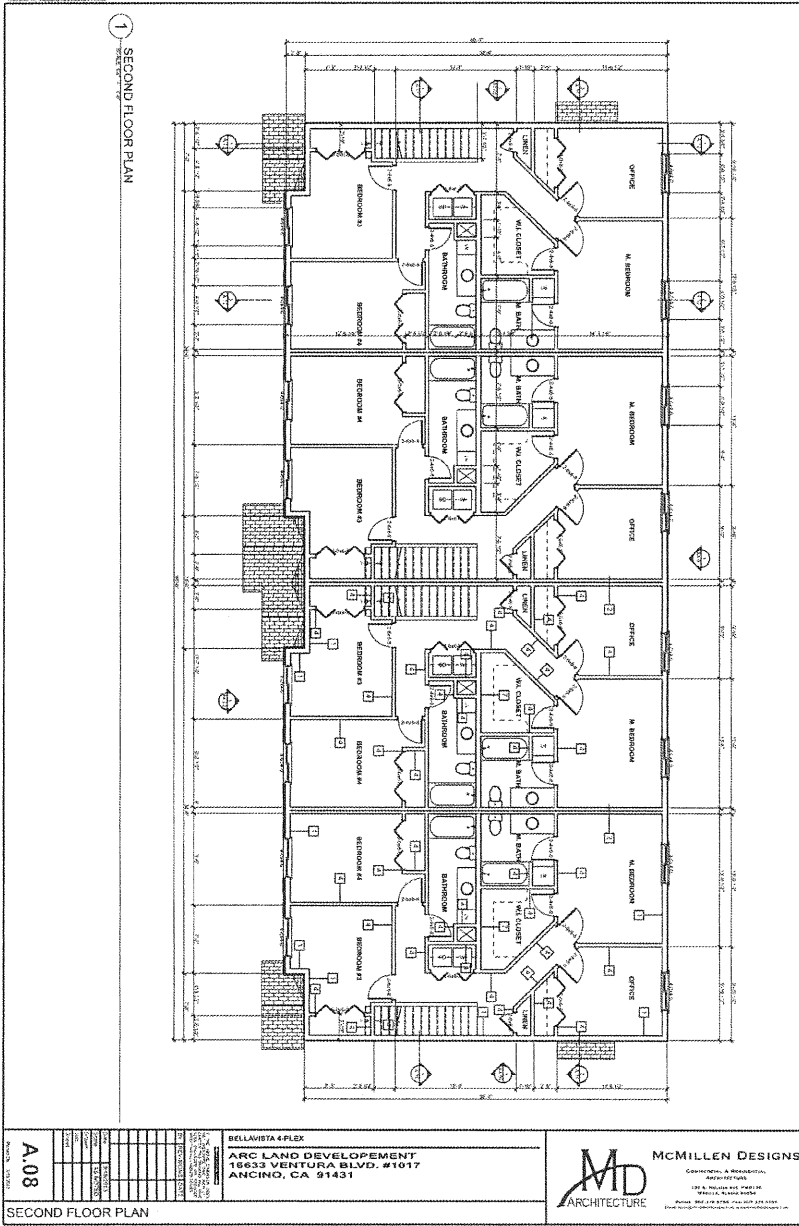
NOTE:
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 DIMENSIONS OF THE EXTERIOR WALLS.
 SQUARE FOOTAGE PER UNIT:
 UNIT 1: 1,200 SQ. FT.
 UNIT 2: 1,200 SQ. FT.
 UNIT 3: 1,200 SQ. FT.
 UNIT 4: 1,200 SQ. FT.
 TOTAL: 4,800 SQ. FT.

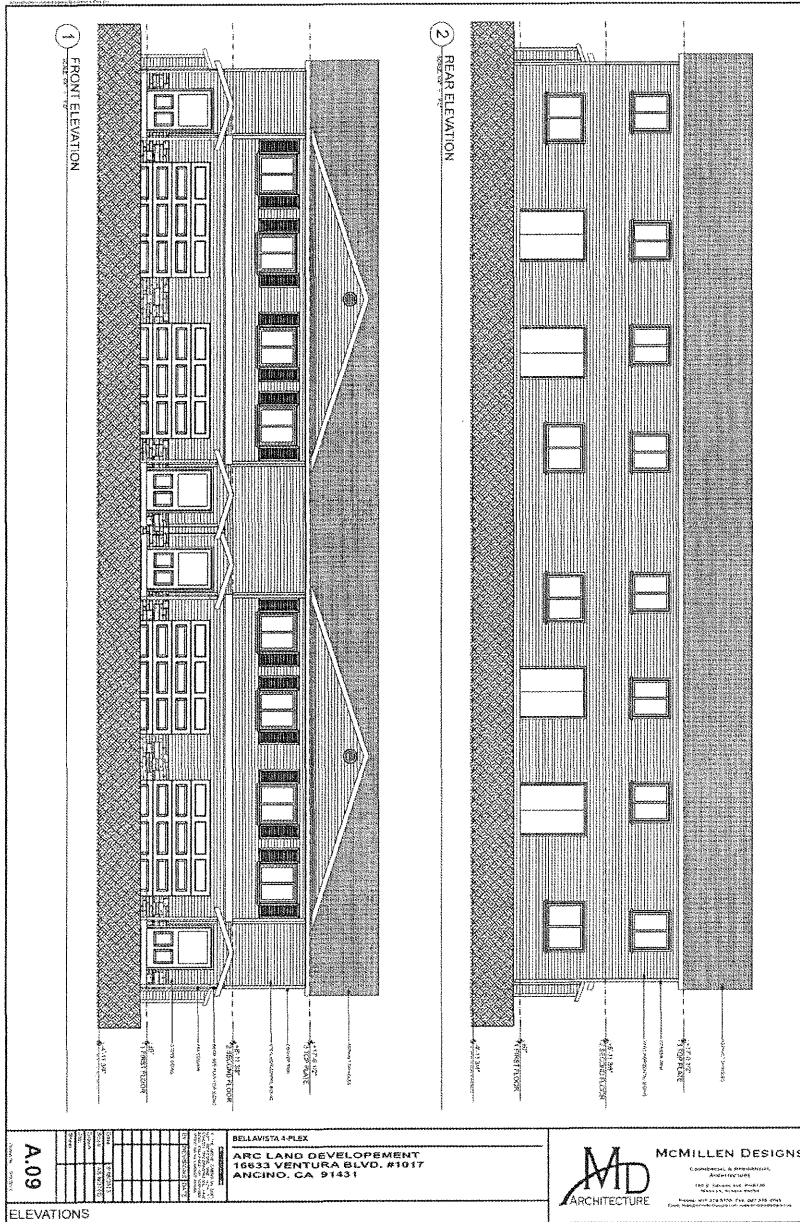
NO.	DESCRIPTION	AREA (SQ. FT.)
1	UNIT 1	1,200
2	UNIT 2	1,200
3	UNIT 3	1,200
4	UNIT 4	1,200
TOTAL		4,800

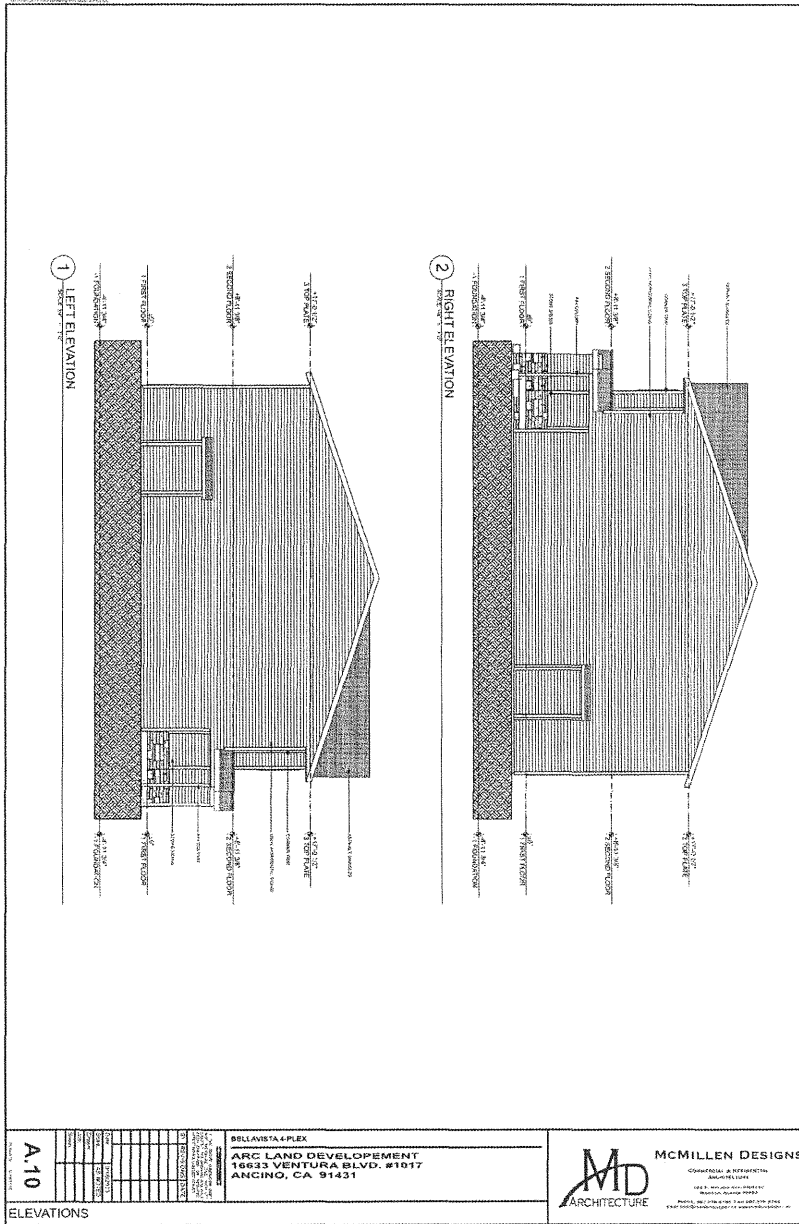
BELLAVISTA 4-FLEX
 ARC LAND DEVELOPMENT
 16635 VENTURA BLVD., #1017
 ANCIENO, CA 91431

McMILLEN DESIGNS
 COMMERCIAL & RESIDENTIAL
 ARCHITECTURE
 100 S. GARDEN ST. SUITE 100
 ANCIENO, CA 91431
 PHONE: (714) 835-8888 FAX: (714) 835-8700
 Email: info@mcmillendesigns.com

FIRST FLOOR PLAN





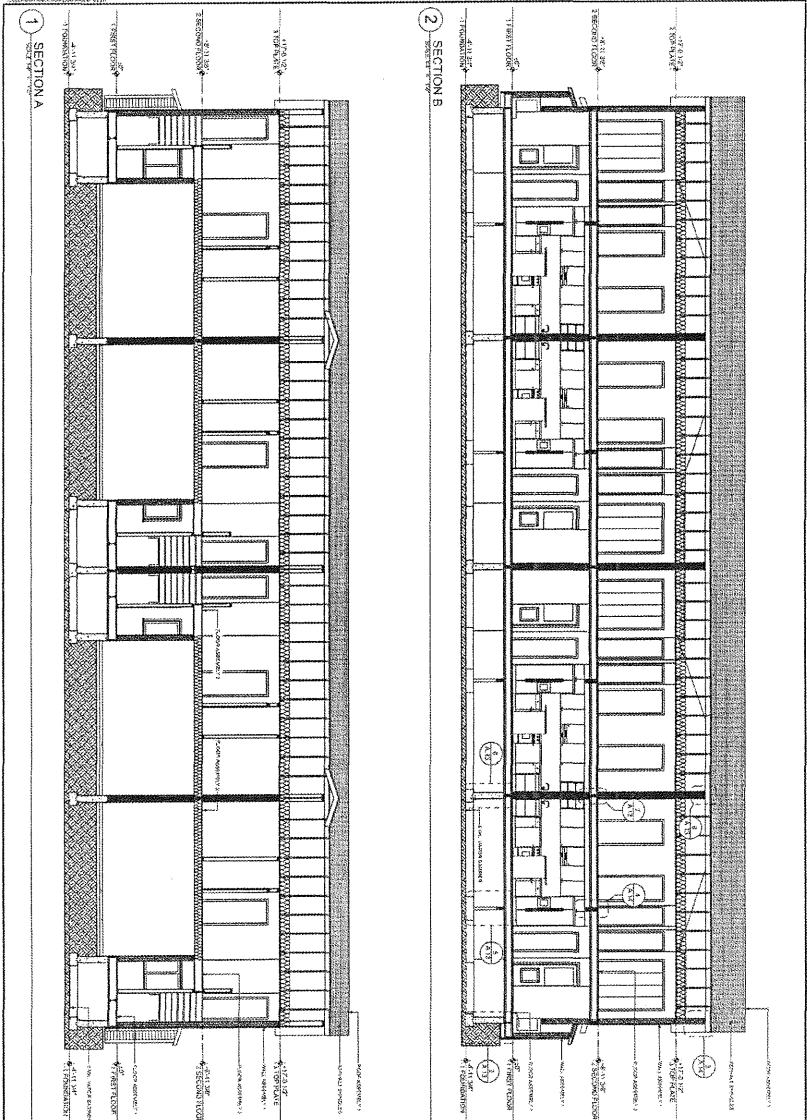


A.10

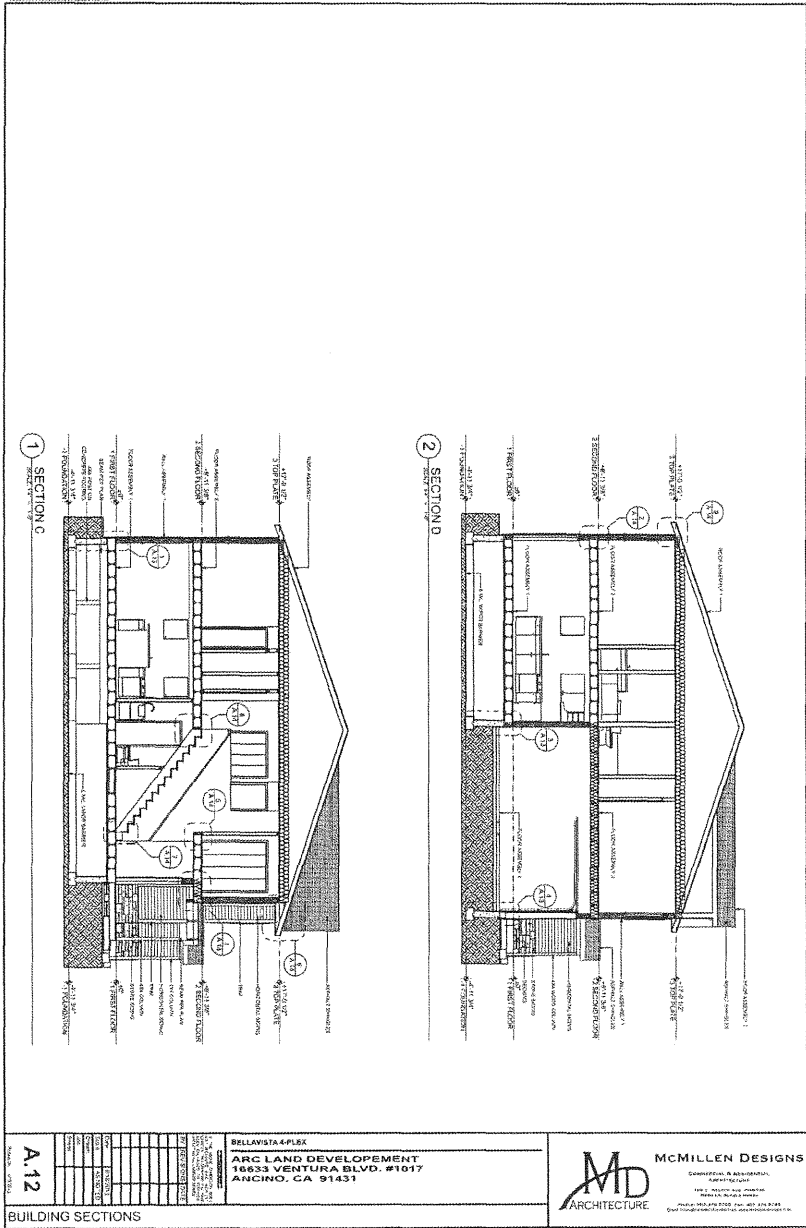
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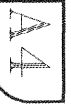
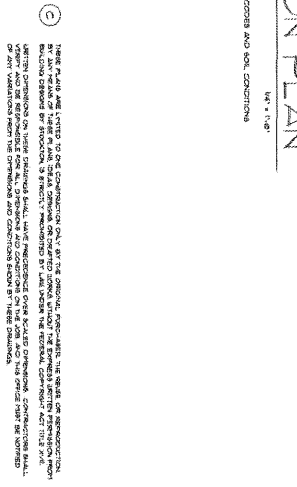
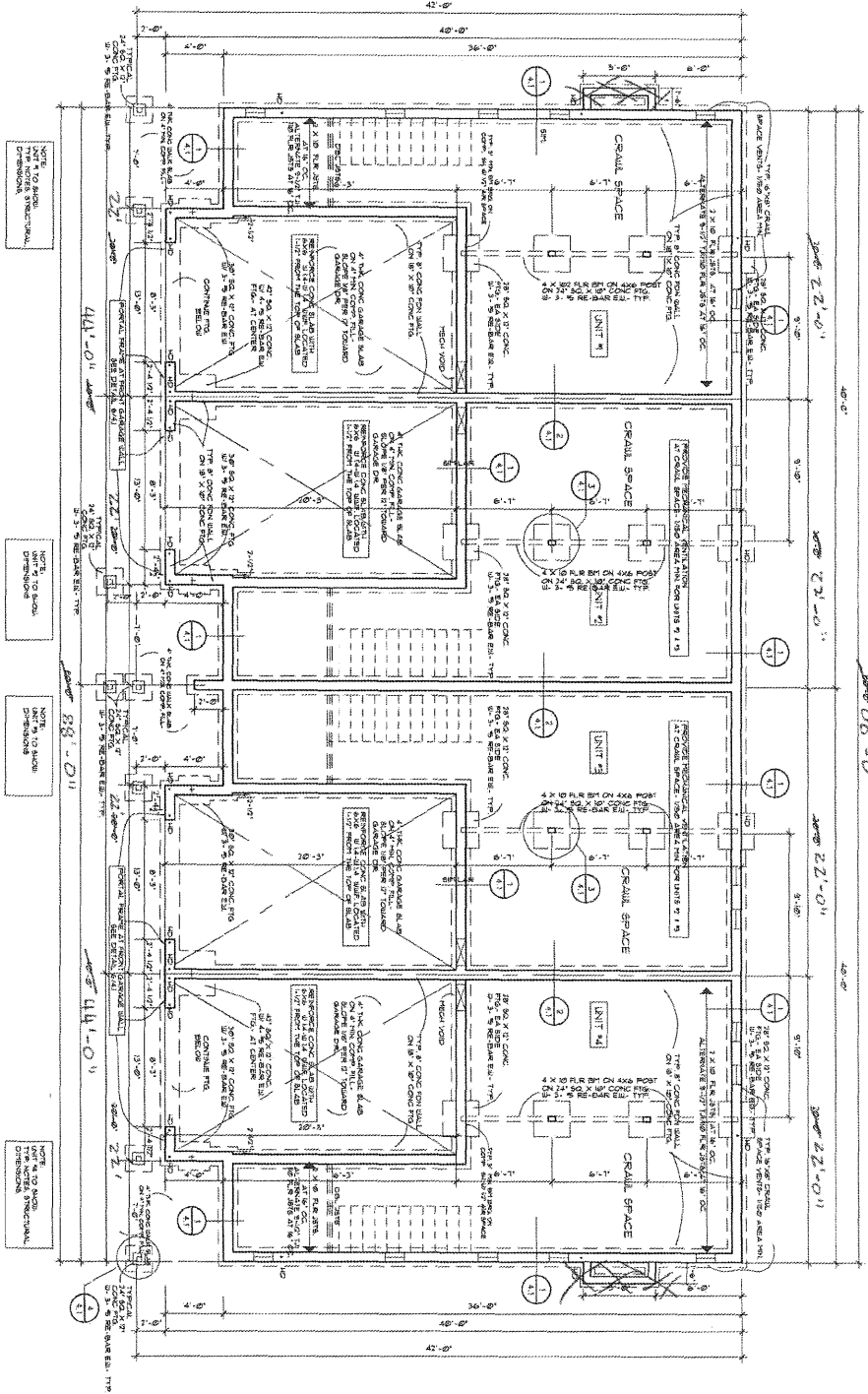
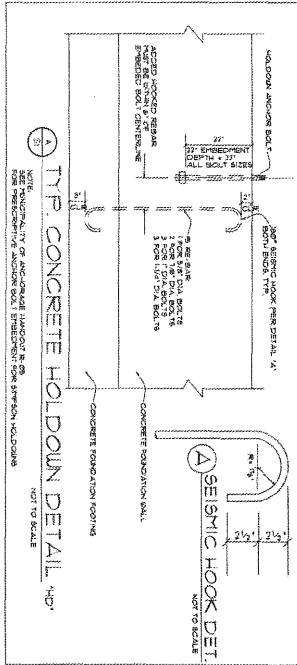
BELLEVISTA I-PLEX
 ARC LAND DEVELOPEMENT
 16633 VENTURA BLVD. #1017
 ANCIENO, CA 91431

MCD ARCHITECTURE
 COMMERCIAL & RESIDENTIAL
 1015 S. WILSON AVE. SUITE 101
 ANCIENO, CALIFORNIA 91431
 TEL: 714.261.4100 FAX: 714.261.4101
 WWW.MCDARCHITECTURE.COM



<p>A.11</p> <p>SECTION A</p> <p>SECTION B</p>	<p>RELLA/ISTA-ALTEX</p> <p>ARC LAND DEVELOPMENT</p> <p>16633 VENTURA BLVD. #1017</p> <p>ANCINO, CA 91431</p>	<p>McMILLEN DESIGNS</p> <p>CONSTRUCTION & RENOVATION</p> <p>ARCHITECTURE</p> <p>1000 S. GARDEN ST. SUITE 100</p> <p>WESTLAKE, CALIFORNIA 91371</p> <p>PHONE: 818.351.8888 FAX: 818.351.8888</p> <p>WWW.MCMILLENDESIGNS.COM</p>
	<p>BUILDING SECTIONS</p>	





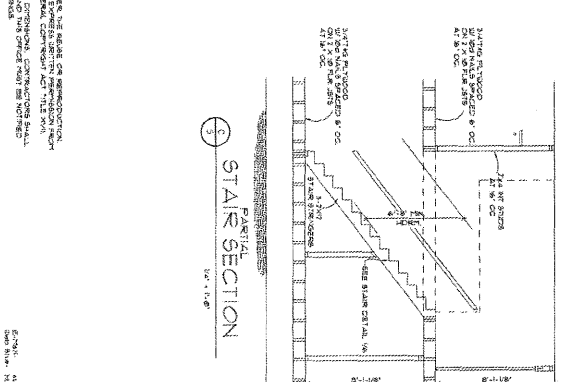
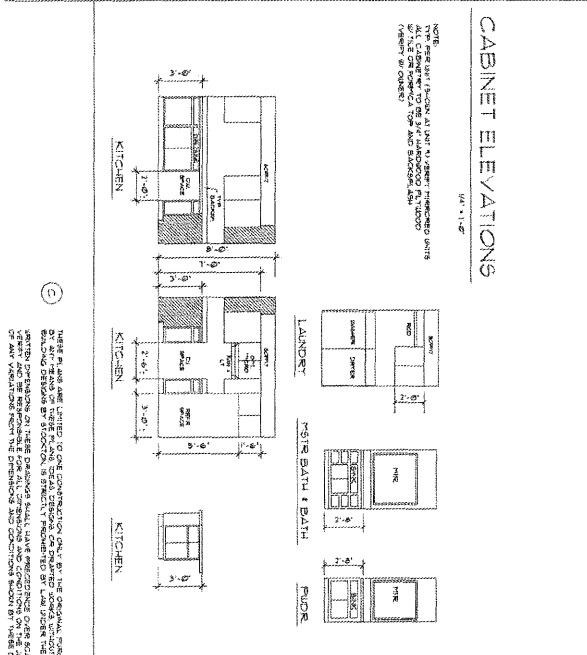
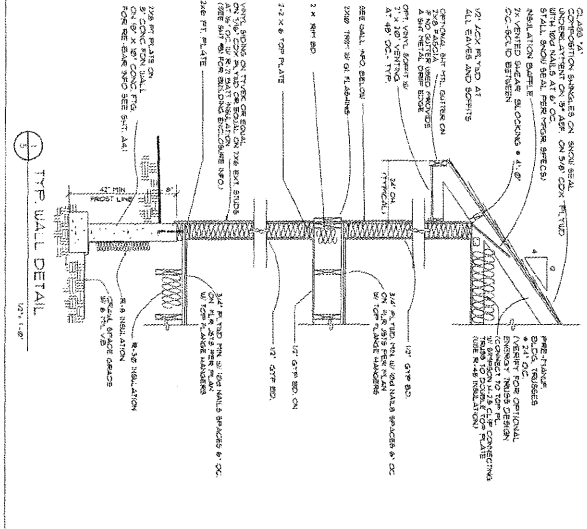
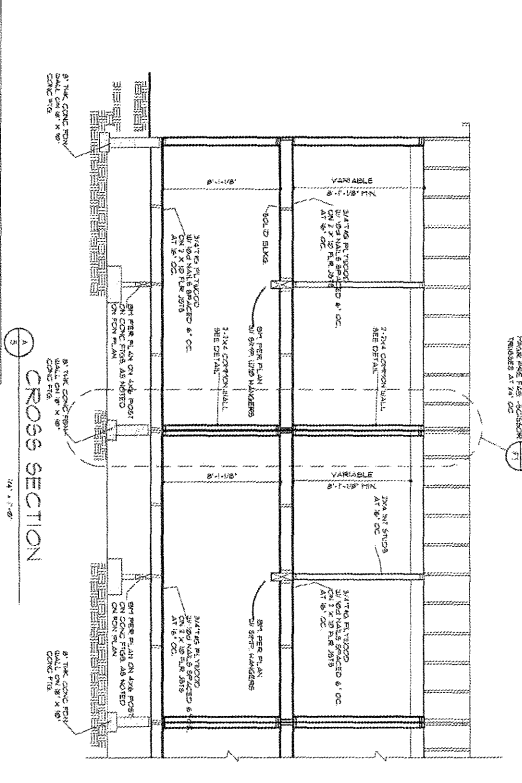
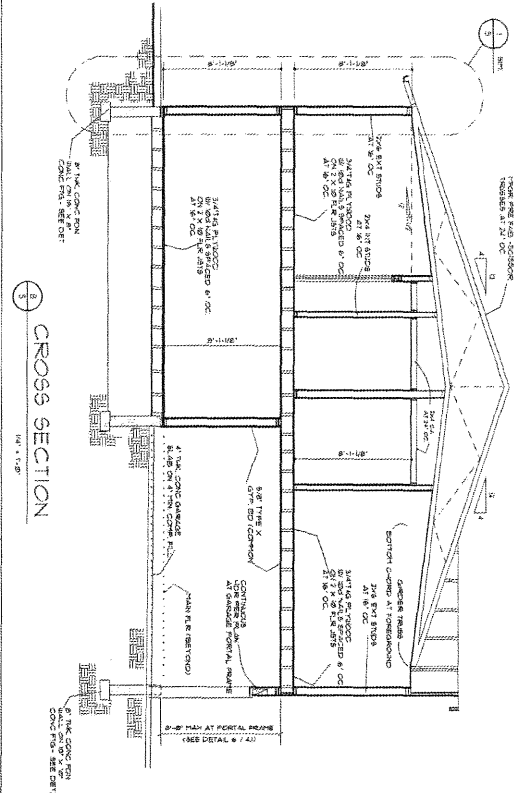
4-2851-3
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 4-UNIT RESS.
 4-UNIT RESS.



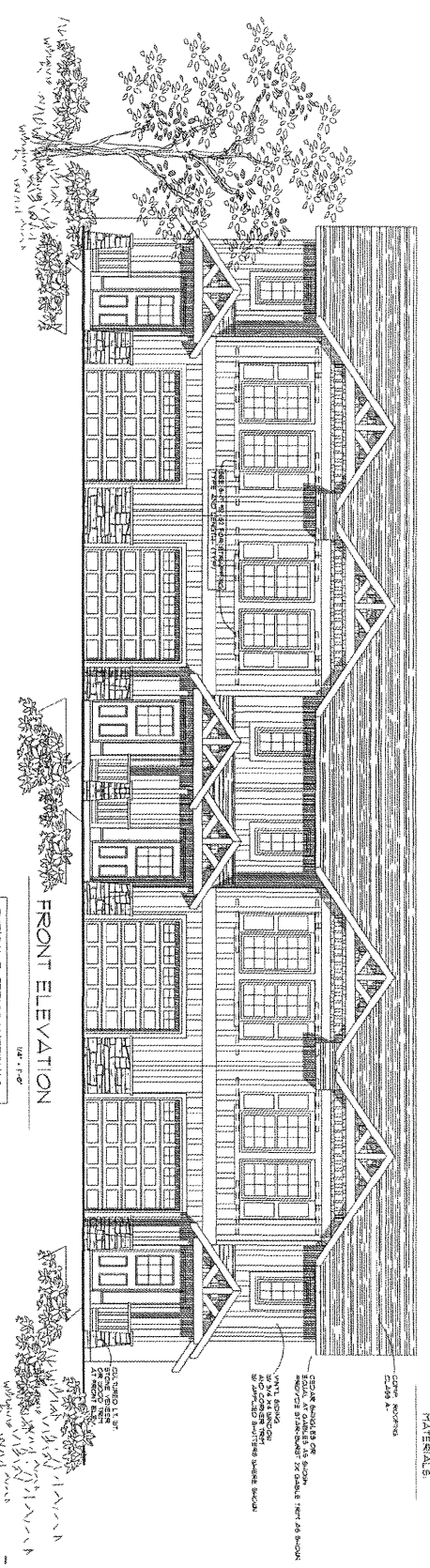
Building Designs
 By
Stockton LLC. A.L.B.D.
 OFFICE# 1-800-368-0821

THE DESIGN, IDEAS, AND CONCEPTS SET FORTH IN THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF BUILDING DESIGNS BY STOCKTON. ANY USE OF SAID DRAWINGS OR ANY PART THEREOF WITHOUT THE WRITTEN CONSENT OF BUILDING DESIGNS BY STOCKTON IS STRICTLY PROHIBITED BY LAW. THESE CONCEPTS, DRAWINGS, AND ANY PART THEREOF, MAY NOT BE COPIED, DISTRIBUTED, OR SOLD WITHOUT WRITTEN PERMISSION FROM BUILDING DESIGNS BY STOCKTON. CONTRACTOR SHALL VERIFY AND CONFIRM ALL CONDITIONS AND BUILDINGS PRIOR TO START OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THIS OFFICE FOR CORRECTION PRIOR TO START OF WORK.

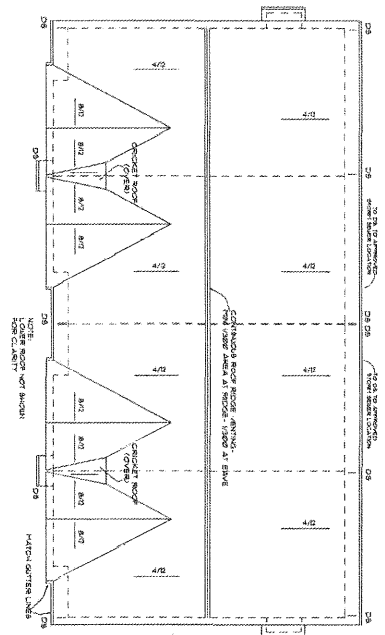
REV: 0/0
 0/0



	Building Designs By Stockton A.I.R.D.	THE DESIGN IDEAS AND CONCEPTS SET FORTH IN THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF BUILDING DESIGNS BY STOCKTON. ANY USE OF SAID DRAWINGS AND/OR THEIR CONTENTS WITHOUT THE WRITTEN CONSENT OF BUILDING DESIGNS BY STOCKTON IS STRICTLY PROHIBITED BY LAW. THESE CONCEPTS AND DRAWINGS ARE NOT TO BE COPIED, REPRODUCED, OR SOLD WITHOUT WRITTEN PERMISSION FROM BUILDING DESIGNS BY STOCKTON. CONTRACTOR SHALL VERIFY AND CONFIRM ALL CONDITIONS AND DIMENSIONS PRIOR TO START OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THIS OFFICE FOR CORRECTION PRIOR TO START OF WORK.	REV. NO. 1 DATE: 11/11/10
	PLAN/ 4-3921-3 4-UNIT BSS	DATE: 11/11/10 BY: [Signature]	A5

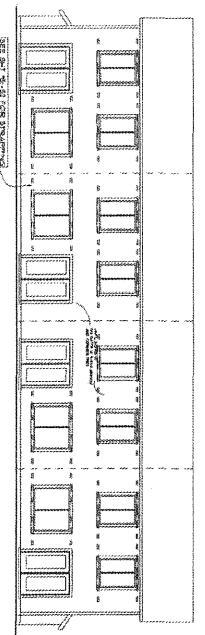


FRONT ELEVATION
1/4" = 1'-0"

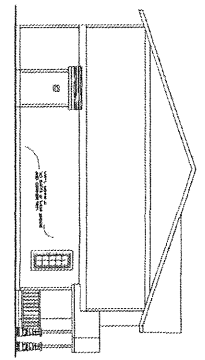


ROOF PLAN
1/8" = 1'-0"

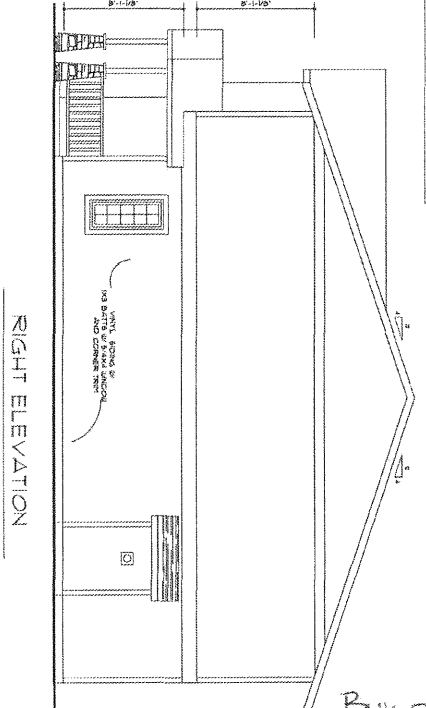
NOTES:
1. THIS ROOF AREA - 40' x 100'
2. EXISTING ROOF - 40' x 100'
3. THE ROOF - 40' x 100'
(PLEASE REFER TO DRAWING)



REAR ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"




RIGHT ELEVATION
1/4" = 1'-0"

THESE PLANS ARE LIMITED TO ONE CONSTRUCTION ONLY. THE ORIGINAL CONTRACTOR HAS THE RIGHT TO RECONSTRUCT OR RECONSTRUCT THE BUILDING ON THE SAME SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

Web Site: <http://www.stocktondesign.com>
E-Mail: stockton@stocktondesign.com

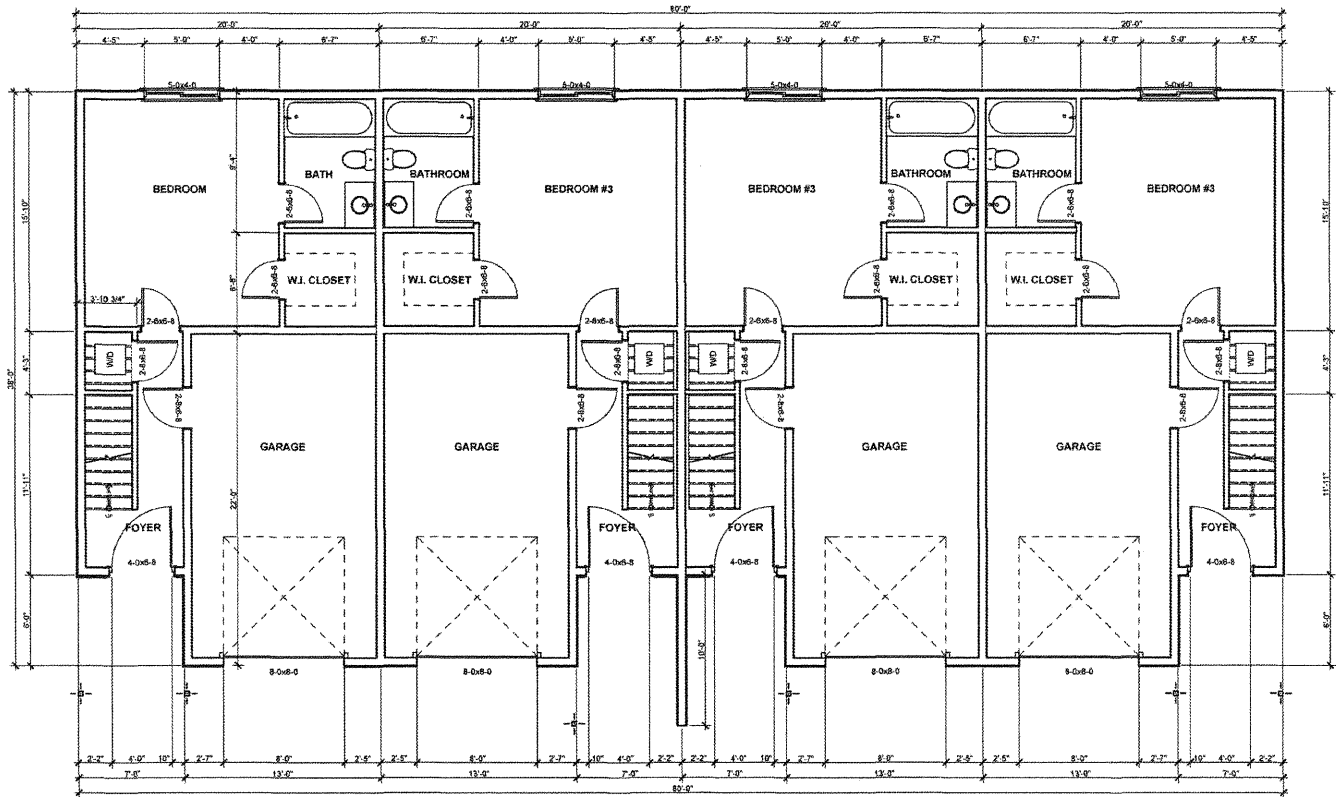
Building Plans 'A'
Building Designs
By
Stockton A.I.B.D.
Office - #1-800-368-0821

THE DESIGN IDEAS AND CONCEPTS SET FORTH IN THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF BUILDING DESIGNS BY STOCKTON. ANY USE OF SAID DRAWINGS AND/OR THEIR CONTENTS WITHOUT THE WRITTEN CONSENT OF BUILDING DESIGNS BY STOCKTON IS STRICTLY PROHIBITED BY LAW. THESE COPYRIGHTED DRAWINGS ALSO MAY NOT BE COPIED, DISTRIBUTED, OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION FROM BUILDING DESIGNS BY STOCKTON. CONTRACTOR SHALL VERIFY AND CONFIRM ALL CONDITIONS AND DIMENSIONS PRIOR TO START OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR CORRECTION PRIOR TO START OF WORK.



Thomas A. I. B. D.
No. 10000
State of California
License No. 45678

Stockton A.I.B.D.
1-800-368-0821
www.stocktondesign.com



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN BUILDING 'A'

NOTES

1) ALL SQUARE FOOTAGE MEASUREMENTS ARE TAKEN FROM THE OUTSIDE OF THE STRUCTURAL WALL

SQUARE FOOTAGE PER UNIT

1ST FLOOR: 433 SQ. FT.
2ND FLOOR: 732 SQ. FT.
LIVING TOTAL: 1,165 SQ. FT.

GARAGE: 285 SQ. FT.
UNIT TOTAL: 1,450 SQ. FT.

McMILLEN DESIGNS
COMMERCIAL & RESIDENTIAL
ARCHITECTURE
105 E. NICHOLS AVE. P.O. BOX 140
PUEBLO, CO 81002-0140
Phone: 303.733.2700 Fax: 303.733.2706
Email: hmc@millennidesigns.com www.millennidesigns.com



BELLAVISTA 4-PLEX
ARC LAND DEVELOPMENT
16633 VENTURA BLVD. #1017
ANCINO, CA 91431

BY: [Signature] DATE: [Blank]

NO.	REVISIONS	DATE

Date: 09/2014
Scale: AS NOTED
Drawn: [Blank]
Job: [Blank]
Sheet: [Blank]

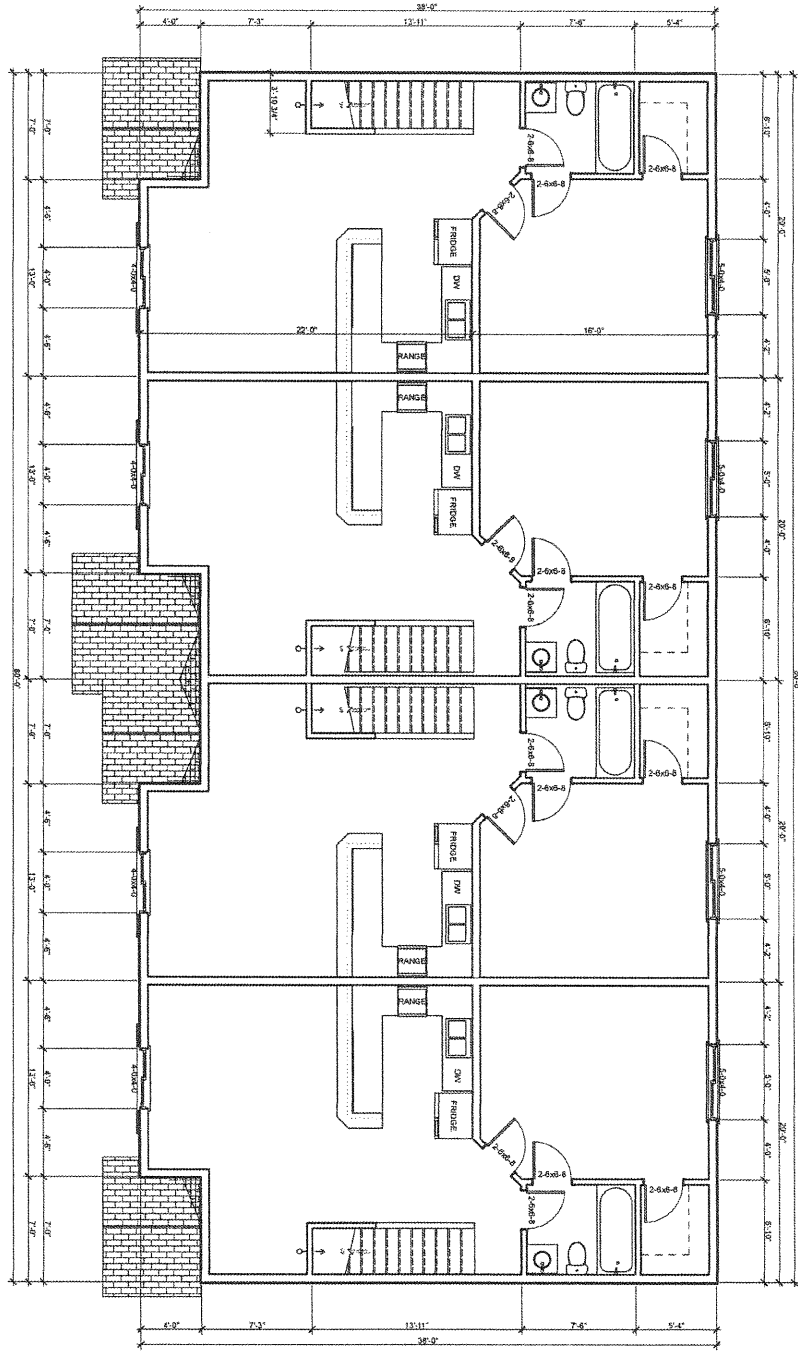
A.07

Revised On: 3/27/2014

FIRST FLOOR PLAN

84 of 145

1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



A.08	DATE	3/6/2014
	SCALE	AS NOTED
REV	DATE	
	DESCRIPTION	
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. 2. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED. 3. ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED. 4. ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED. 5. ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED. 6. ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED. 7. ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED. 8. ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED. 9. ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED. 10. ALL DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.		

BELLAVISTA 4-PLEX
ARC LAND DEVELOPMENT
16633 VENTURA BLVD. #1017
ANCINO, CA 91431

MCMILLEN DESIGNS
 COMMERCIAL & RESIDENTIAL ARCHITECTURE
 169 E. HAYDON AVENUE, PMB 140
 WASHILLA, ALASKA 99581
 PHONE: 907.376.5725 FAX: 907.376.8785
 Email: mcmil@mcmlendesigns.com www.mcmilendesigns.com

PAGE

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CERTIFICATE OF SERVICE

- 1. I am the Planning Clerk for the City of Wasilla.
- 2. I certify on this 24th day of March, 2014, I mailed 139 notices of: Public for PU014-01 via first class U.S. Mail and by hand delivery regarding the following:

Land Use Permit # PU014-01.

Residents within 1,200'	<u>109</u>
Review Agencies	<u>25</u>
Planning Commissioners & City Council Members	<u>12</u>
Total	<u>146</u>

DATED at Wasilla, Alaska, March 24, 2014.

CITY OF WASILLA

Tahirih Revet

TAHIRIH REVET
Planning Clerk

Attest:

Tina Crawford

TINA CRAWFORD
City Planner

6865000L002A
ALASKA CLUB PARTNERS LLC
5201 E TUDOR RD
ANCHORAGE, AK 99507

6704000T00A
ALASKA RAILROAD CORP
PO BOX 107500
ANCHORAGE, AK 99501-7500

3391B03L010A
ALASKA ROTEQ CORP
2051 E FOUNDRY WAY
WASILLA, AK 99654

17N01W11C014
ALASKA STATE OF
DEPT OF TRANS & PUB FAC
PO BOX 196900
ANCHORAGE, AK 99519-6900

9997000U0179
AT&T MOBILITY
909 CHESTNUT ST
C/O AT&T PROPERTY TAX DEPT RM
36-M-1
ST LOUIS, MO 63101-3004

2513B01L012
BAKER DAVID L SR & TINA A
2301 W SILVER HILLS CIR
WASILLA, AK 99654-5335

9080000U1782-3
BALDWIN JANE
11141 LIPSCOMB ST
ANCHORAGE, AK 99516-1512

6799000T003
BDC WASILLA L P
1556 PARKSIDE DR
WALNUT CREEK, CA 94596

2548B01L008
BERNTSEN KEITH C
4125 E RUTH DR
WASILLA, AK 99654

2513B01L010
BEST HELEN M
PO BOX 671282
CHUGIAK, AK 99567-1282

9076000U1796-4
BRENT DEBRA A
2521 E MT VILLAGE DR
STE B PMB 733
WASILLA, AK 99654

3099B01L002
BURGER KING CORPORATION
5505 BLUE LAGOON DR
MIAMI, FL 33126

9119000U1786-2
CAN/AM INVESTMENT GROUP LLC
PO BOX 112544
ANCHORAGE, AK 99511-2544

2513B01L013
CAPELLINI KARLA
1001 S WOODCREST CIR
WASILLA, AK 99654-8213

2513B03L003
CHAVEZ DENNIS E & MARIA A
1360 E WOODCREST DR
WASILLA, AK 99654

4755B01L012A
CLARK PATRICK J & KATHERINE
1500 E COURTLAND CIR
WASILLA, AK 99654

2513B02L008
CLEVELAND RANDY J
PO BOX 870434
WASILLA, AK 99687-0434

2513B02L009
COLLINS JASON ROBERT
281 SKWENTNA DR
ANCHORAGE, AK 99504-4887

9997000U0221
CONOCO PHILLIPS AK INC
KUPARUK WASILLA INVENTORY
PO BOX 100360
ATTN: TAX DEPT ATO 2100
ANCHORAGE, AK 99510-0360

1116B03L014
COOK TYLER & CHERI L
44152 STERLING HWY
SOLDOTNA, AK 99669-8031

9080000U1784-3
CORNELIUS BARRY
JUST-CORNELIUS GAIL
PO BOX 1124
WILLOW, AK 99688-1124

1116B03L006
CORPORATE WAY PROPERTIES LLC
PO BOX 1318
EUGENE, OR 97440-1318

9076000U1798-2
CULBERTSON WILLIAM P
LACHER RANDY K
1175 E SNOW HILL AVE
WASILLA, AK 99654-5751

6799000T001
DBC LLC
PO BOX 9456
% PROPERTY TAX DEPT T-2339
MINNEAPOLIS, MN 55440-9456

2548B01L013
DEARBORN JAYSON N
980 S TRUNK RD
PALMER, AK 99645-8941

2548B02L002
DEMENKO SERGEY
PO BOX 874896
WASILLA, AK 99687-4896

9080000U1782-4
DEMMERT EMMA J
1782 E NEIL CIR
APT 4
WASILLA, AK 99654-8224

4653000L010
DENALI FOODS INC
3301 DENALI ST
STE 200
ANCHORAGE, AK 99503

2513B01L008
DIDRICKSON DEANNA
960 S WOODCREST CIR
WASILLA, AK 99654

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DONALDSON ROBERT B
1784 E NEIL CIR
APT 4
WASILLA, AK 99654-8239

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DONNELLY CHRISTINA A
PO BOX 874141
WASILLA, AK 99687-4141

1116B03L019
EDGE FITNESS LLC
PO BOX 873720
WASILLA, AK 99687-3720

1116B03L023
ENTERPRISE PROPERTIES LLC
22750 MCMANUS DR
CHUGIAK, AK 99567-5446

9076000U1800-4
ENTRUST RETIREMENT SERV INC FBO
NEW MICHAEL C IRA #12501-21
17171 PARK ROW
STE 100
HOUSTON, TX 77084-4935

4653000L007
FALCONER & LENTFER PRTNR
8400 SKYHILLS DR
ANCHORAGE, AK 99502-3982

7078000T00M
FIRST NAT'L BANK ALASKA
PO BOX 100720
ANCHORAGE, AK 99510-0720

9076000U1800-2
FLORES JESSE D & MARIA E J
1800 E NEIL CIR
2
WASILLA, AK 99654

9080000U1784-2
FOLGER GARY & PATRICIA L
1784 E NEIL CIR
2
WASILLA, AK 99654

9080000U1782-2
FORRESTER CHRISTOPHER
1782 E NEIL CIR
APT 2
WASILLA, AK 99654-8224

9080000U1790-2
FORRESTER VIVIAN C
1790 E NEIL CIR
2
WASILLA, AK 99654

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FRED MEYER STORES INC
WEST VALLEY PROP LLC
% THE KROGER COMPANY
PROPERTY TAX - 7TH FLOOR
1014 VINE ST
CINCINNATI, OH 45202-1100
4653000L005
GOLDRUSH-WASILLA LLC
1771 S VICTORIA AVE
VENTURA, CA 93003

9119000U1780-1
G & L INVESTMENTS LLC
9350 AUTUMN DR
ANCHORAGE, AK 99507

6641000T00B
G & M WASILLA LLC
855 BROAD ST
STE 300
BOISE, ID 83704

1116B03L012
GREEN INVESTMENTS LLC
GREEN DONNA E
1501 E COURTLAND CIR
WASILLA, AK 99654

4755B01L013A
GREEN WILLIAM J & DONNA E
PO BOX 875470
WASILLA, AK 99687-5470

9080000U1788-2
HAHN RANDAL N
PO BOX 876206
WASILLA, AK 99687-6206

2513B01L006
HANCOCK HOWARD W III & DAWN R S
PO BOX 242143
ANCHORAGE, AK 99524-2143

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HAYES HEATHER MAY R
% HEATHER SWEETSER
PO BOX 4014
PALMER, AK 99645-4014

5769000L001
HD DEV OF MARYLAND INC
PO BOX 105842
% PROPERTY TAX DEPT # 1304
ATLANTA, GA 30348-5842

2513B02L005
HERMON JESSE R & KRISTEN M
1300 E GLENWOOD AVE
WASILLA, AK 99654

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HILL STEVE S
HATT JEFFREY E
1960 E FOUNDRY WAY
WASILLA, AK 99654

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HUDSON MICHAEL A&SANDRA J
2900 S SAINDON ST
WASILLA, AK 99654

2513B01L009
JACKSON MOLLY P
930 S WOODCREST CIR
WASILLA, AK 99654

2513B02L011
JENSEN GRACE A
1301 E WOODCREST DR
WASILLA, AK 99654

1116B03L022
JENSON DWAYNE & LISA
1061 S ENTERPRISE ST
WASILLA, AK 99654-8253

4929000L011A
JMJ PROPERTIES WASILLA LLC
200 W 34TH AVE
PMB 1172
ANCHORAGE, AK 99503

9076000U1796-1
JOSWIAK CHARLES
1796 E NEIL CIR
WASILLA, AK 99654

3099B01L003
K & S ENT LTD
110 E HERNING AVE
WASILLA, AK 99654-7029

9076000U1798-3
KIM YOO YIN
YANG SUN JA
910 S FELTON ST
PALMER, AK 99645-6552

4956000T00A6
KINN FOLK LLC
9900 HILLHAVEN
ANCHORAGE, AK 99507

9076000U1796-2
KURKA DONNA
1796 E NEIL CIR
2
WASILLA, AK 99654

1116B03L021
KUZMIN ILIA N & IRINA F
PO BOX 3433
HOMER, AK 99603-3433

2954B01L009
LACKEY MARK E & RHONDA M
1330 E WOODCREST DR
WASILLA, AK 99654

9080000U1794-1
LAWTON ARTHUR S JR
1794 E NEIL CIR
1
WASILLA, AK 99654

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LEWIS RICHARD J
1796 E NEIL CIR
3
WASILLA, AK 99654

2513B03L006
LOLIE LINDA A
1441 COURTLAND CIR
WASILLA, AK 99654

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LOWE NOLA G
PO BOX 874973
WASILLA, AK 99687-4973

1116B03L024
MAHONEY TIMOTHY
14607 TERRACE LN
EAGLE RIVER, AK 99577-9276

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MARCINIAK GARY S & EVELYN E
PO BOX 111261
ANCHORAGE, AK 99511-1261

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MCGRATH FAMILY TR
MCGRATH NICHOLAS J & JANET E TRES
3191 S SKY RANCH LOOP
PALMER, AK 99645-9006

1116B03L008
MOFFITT TRACY A & KATHY A
PO BOX 3337
PALMER, AK 99645-3337

2954B01L010
MURCHIE PHILLIP A JR
PO BOX 112515
ANCHORAGE, AK 99511-2515

9080000U1788-4
NEW MICHAEL C
6 MUREX ST
BAY CITY, TX 77414-2774

2954B01L011
NIMMO ERIC & LEA JEAN LVG TR
1480 E COURTLAND CIR
WASILLA, AK 99654

9105000U1792-1
NORTH STATE INDUSTRIES INC
PO BOX O
SANDPOINT, ID 83864

2548B01L012
PACKA JEREMIAH D & JESSICA D
PO BOX 4371
PALMER, AK 99645-4371

4653000L009
PALMER TOWER LLC
PO BOX 2444
PALMER, AK 99645-2444

3099B03L001
PARAMOUNT INV LLC
774 FISCHER AVE
ANCHORAGE, AK 99518

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PAVLUS VASILIIY & VALENTYNA
PO BOX 875322
WASILLA, AK 99687-5322

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PEDERSEN FAM LTD PRTNRSHP
PO BOX 871
% FLOYD PEDERSEN
MARYSVILLE, CA 95901-0871

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PENA M ELIJAH & JESSICA A
PO BOX 141116
ANCHORAGE, AK 99514-1116

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PETERS CHAS R II & LESLIE
PO BOX 870651
WASILLA, AK 99687-0651

2548B01L010
PIONEER PEAK ASPHALT SERVICES LLC
PO BOX 876584
WASILLA, AK 99687-6584

4956000T00A4
QUAKE REAL ESTATE LLC
2706 W COLFAX AVE
DENVER, CO 80204-2346

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RICE STEPHEN R
1790 E NEIL CIR
3
WASILLA, AK 99654

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ROGERS WILLIAM R & ROSEMARY G
308 N TIFFANY DR
PALMER, AK 99645-7739

17N01W14A001
SHAW DAN'L K & SHIRLEY A
PO BOX 871117
WASILLA, AK 99687-1117

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SMITH DAVID F
PO BOX 870110
WASILLA, AK 99687-0110

2513B03L002
SNYDER CHLOE M
1370 E WOODCREST DR
WASILLA, AK 99654-8215

9076000U1800-3
ST JOHN DONNA M
1800 E NEIL CIR
3
WASILLA, AK 99654

2548B01L014
SUH SUNG H
3811 MINNESOTA DR
ANCHORAGE, AK 99503-5645

2954000T00A-2
SUMNER RICHARD C&C YVONNE
PO BOX 872992
WASILLA, AK 99687-2992

6922000T002A-1A
SUSITNA INVESTMENTS LLC
13340 RIDGEWOOD CIR
ANCHORAGE, AK 99516

9076000U1798-1
SWETT ALLEN J
MCGOWEN DENISE
PO BOX 871993
WASILLA, AK 99687-1993

2954B01L008
THORN CRAIG A & DEBRA K
PO BOX 3214
PALMER, AK 99645-3214

9105000U1792-2
TORRES CRISTINA
10137 CHICKALOON ST
EAGLE RIVER, AK 99577-7220

9080000U1794-2
VAN SCIVER MINSUN
PO BOX 773464
EAGLE RIVER, AK 99577-3464

2513B03L005
VANNI EUGENE L
1421 COURTLAND CIR
WASILLA, AK 99654

2548B01L015
WADDELL WILIAM & DIXIE LVG TR
WADDELL WILLIAM & DIXIE TRES
18915 OLD GLENN HWY
CHUGIAK, AK 99567

2513B02L007
WALLING REX R
PO BOX 3084
PALMER, AK 99645-3084

9080000U1790-1
WANN HELEN J
4450 E NEIL CIR
1
WASILLA, AK 99654

6641000T00A
WASILLA DEVELOPMENT CO LLC
4450 CORDOVA ST
STE 100
ANCHORAGE, AK 99503-7273

5937000L003A
WASILLA PLACE LLC
11833 268TH DR SE
DUVALL, WA 98019

6799000T010
WELLS FARGO BANK N A
333 MARKET ST
11TH FLR
SAN FRANCISCO, CA 94105

9080000U1788-1
WELLS SAMANTHA K
5930 E ALDER CIR
WASILLA, AK 99654-4255

6905000T00A7-1
WEST VALLEY PROP LLC
FRED MEYER STORES INC
PO BOX 110938
% ROBERT CARLE
ANCHORAGE, AK 99511-0938

9076000U1800-1
WHITE PAUL R
PO BOX 13137
TRAPPER CREEK, AK 99683-3137

4653000L008
ZAN INC
PO BOX 2009
KENAI, AK 99611-2009

Tom Brooks
Alaska Railroad Corp
PO Box 107500
Anchorage, AK 99501

Corps of Engineers
Regulatory Branch
PO Box 6898
Elmendorf AFB, AK 99506-0898

Richard Boothby
EMS/Central Mat-Su Fire Dept
Fire Code Official Captain
101 W. Swanson Ave
Wasilla, AK 99654

ENSTAR
PO Box 190288
Anchorage, AK 99519-0288

FAA
Airport Division
222 W. 7th Ave
#14
Anchorage, AK 99513

Kathy Wells
Friends of Mat-Su
PO Box 116
Palmer, AK 99645

Troy Scheuner
GCI
501 N. Main St
Suite 130
Wasilla, AK 99654

MEA
PO Box 2929
Palmer, AK 99645

MSB Chief of Code Compliance
350 E. Dahlia Ave
Palmer, AK 99645

MSB Cultural Resources Specialist
350 E. Dahlia Ave
Palmer, AK 99645

MSB Fire Chief
101 S. Swanson Ave
Wasilla, AK 99654

MSB Planning Director
350 E. Dahlia Ave
Palmer, AK 99645

MSB Platting Division Officer
350 E. Dahlia Ave
Palmer, AK 99645

MSB Public Works Director
350 E. Dahlia Ave
Palmer, AK 99645

MTA
Real Estate Department
PO Box 3550
Palmer, AK 99645

NRCS
Soil & Water Conservation
1700 E. Bogard Rd
#203
Wasilla, AK 99654

Oran Wooley
SOA/DEC
Waste Water RVW
1700 E. Bogard Rd
Bldg B, #103
Wasilla, AK 99654

Roy Robertson
SOA/DEC
Waste Water RVW
1700 E. Bogard Rd
Bldg B, #103
Wasilla, AK 99654

SOA/DNR
Commissioner's Office
550 W. 7th Ave
Suite 1400
Anchorage, AK 99501

SOA/DNR
WATER Resources
550 W. 7th Ave
Suite 1020
Anchorage, AK 99501

SOA/DFG/Habitat
1800 Glenn Hwy
Suite 6
Palmer, AK 99645

SOA/DNR
Technical Services
550 W. 7th Ave
Suite 650
Anchorage, AK 99510-3577

SOA/DOTPF
Mat-Su Area Planner
PO Box 196900
Anchorage, AK 99519-6900

Superintendent
SOA/DOTPF
289 Inner Springer Loop
Palmer, AK 99645

Daniel Kelly, Jr
581 Briar Dr
Wasilla, AK 99654

Glenda Ledford
960 S. Century Drive
Wasilla, AK 99654

Jessica Dean
209 S. Vix Way
Wasilla, AK 99654

Loren Means III
1668 Pittman Road
Wasilla, AK 99687

Claudia Pinard
646 Peck Street
Wasilla, AK 99654

COW Public Works Director
Archie Giddings

City Council
Leone Harris

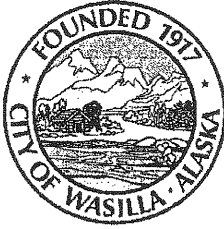
City Council
Gretchen O'Barr

City Council
Collen Sullivan-Leonard

City Council
Clark Buswell

City Council
Brandon Wall

City Council
David Wilson



CITY OF WASILLA

290 E HERNING AVENUE
WASILLA AK 99654-9050
PHONE: (907) 373-9050
FAX: (907) 373-9092

NOTICE

OF APPLICATION FOR PLANNED UNIT DEVELOPMNET

APPLICANT/OWNER: JYG Investment Group, LLC

LOCATION: Lot 2C, Creekside Plaza Subdivision

FILE NO: PUD 14-01

PROJECT: Planned Unit Development to develop a 16-lot subdivision with one fourplex per lot (a total of 64 residential dwelling units.), generally located south of the Alaska Club and east of E. Old Matanuska Road.

A public hearing will be held on April 8, 2014 at 7:00 PM in the City of Wasilla, Council Chambers.

Comments may be submitted in writing on or before April 1, 2014 to be included in the packet. Comments received after that date will be available at the public hearing. Please submit comments or requests for more information to:

CITY OF WASILLA
PLANNING OFFICE
290 EAST HERNING AVE
WASILLA, AK 99654

TELEPHONE: 373-9020
FAX: 373-9021
EMAIL: planning@ci.wasilla.ak.us

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NOTIFICATION OF PUBLIC HEARING
-PLANNED UNIT DEVELOPMENT (PUD)-

DATE: March 24, 2014

CASE: PUD14-01

APPLICANT (S): JYG Investment Group, LLC

REQUEST: Approval of a Planned Unit Development (PUD) to develop a 16-lot subdivision with one fourplex per lot (a total of 64 residential dwelling units.)

A public hearing on this request is scheduled for **April 8, 2014 at 6:00 PM** in the City Council Chambers. Comments may be submitted in writing by filling in the spaces provided below and mailing to: City of Wasilla, Planning Office, 290 E. Herning Ave, Wasilla, AK 99654. If there is not enough room below please attach a separate piece of paper. Comments may also be faxed to (907) 373-9021 or emailed to planning@ci.wasilla.ak.us. Written comments on this PUD request must reach the Planning Office on or before April 1, 2014 in order to be included in the packet. Comments received after that date will be available at the public hearing.

Anyone wishing to review the application for this case is encouraged to contact the Planning Office for additional information.

Name _____

Address _____

Lot _____ Block _____ Subdivision _____

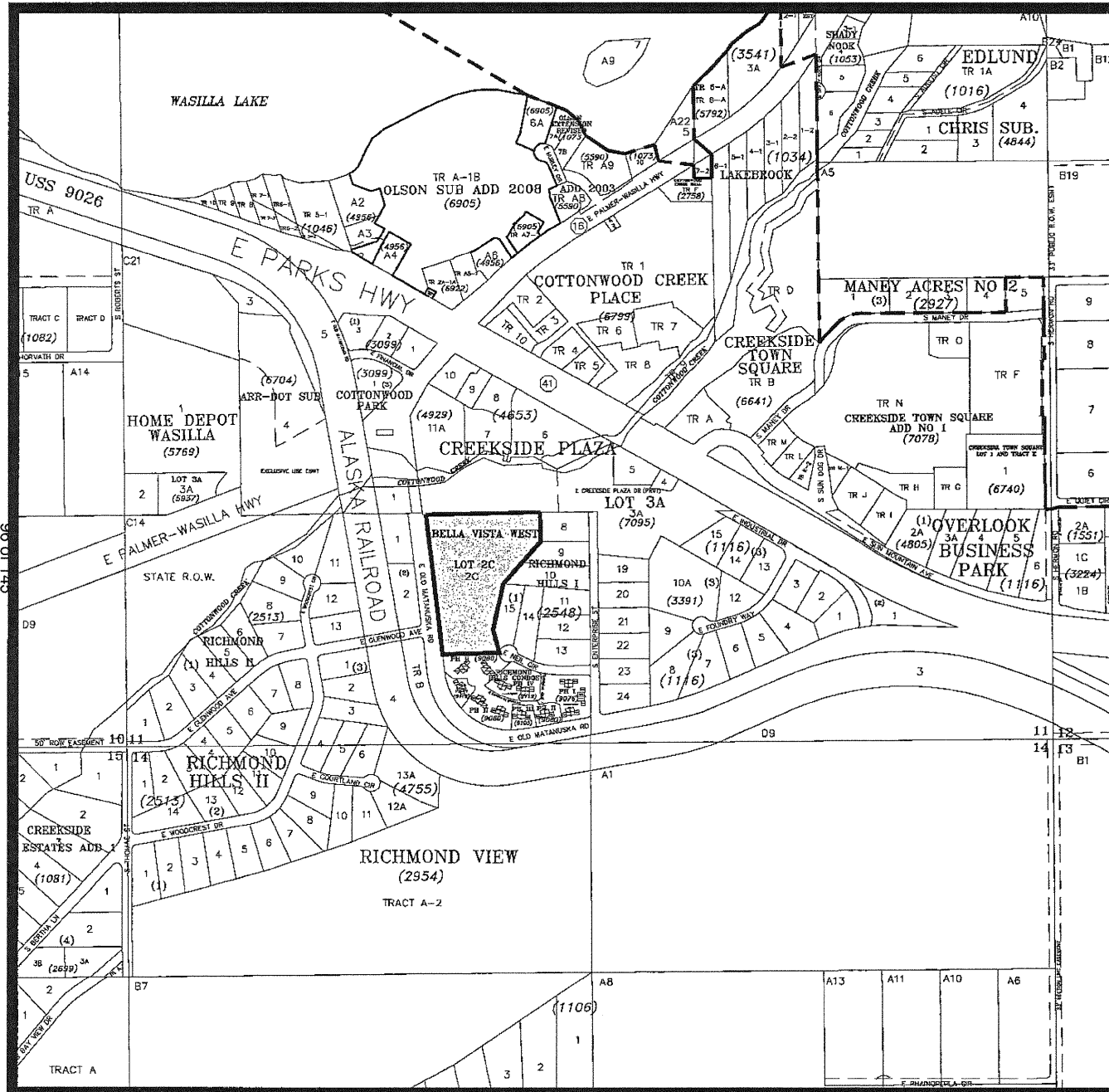
Comments:



CITY OF WASILLA
PLANNING OFFICE
290 E HERNING AVE
WASILLA, AK 99654
PHONE 373-9020 FAX 373-9021

FIRST CLASS


PUBLIC NOTICE



PUD 14-01

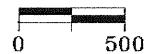
Approval of a Planned Unit Development (PUD) to develop a 16-lot subdivision with one fourplex per lot (a total of 64 residential dwelling units.)

Applicant:
JYG Investment Group, LLC

 SUBJECT PROPERTIES

 CITY OF WASILLA BOUNDARY

SCALE IN FEET



By: Planning
Public Hearing: 04/08/14
Adopted:

**WASILLA PLANNING COMMISSION
RESOLUTION SERIAL NO. 14-04**

A RESOLUTION OF THE WASILLA PLANNING COMMISSION RECOMMENDING APPROVAL OF A PLANNED UNIT DEVELOPMENT (PUD) TO DEVELOP A 16-LOT SUBDIVISION WITH ONE FOURPLEX PER LOT (A TOTAL OF 64 RESIDENTIAL DWELLING UNITS.)

WHEREAS, Alaska Rim Engineering, Inc., agent for JYG Investment Group, LLC, submitted an application on March 14,2014 for approval of a PUD to develop a 5.82 acre parcel into a 16-lot subdivision with 64 residential dwelling units (one fourplex per lot); and

WHEREAS, the subject property on the eastern side of Old Matanuska Road just north of E. Glenwood Avenue and is located on Lot 2C, Creekside Plaza Subdivision (Plat No. 2014-21 – recently subdivided from Lot 2A, Creekside Plaza Subdivision); and

WHEREAS, WMC 16.16.070 states that a PUD is approved as rezoning overlay district; and

WHEREAS, the Planning Commission is required to make a recommendation with written findings to the City Council for all rezoning/PUD request; and

WHEREAS, the Wasilla Planning Office mailed notices of the request to 109 property owners within 1,200 radial feet of the proposed development; and

WHEREAS, the public hearing date and time was publicly advertised; and

WHEREAS, the Wasilla Planning Commission deliberated on this request taking into account the information submitted by the applicant, the evaluation and recommendations of staff contained in the staff report, public testimony - both written

and verbal comments, the applicable provisions of the Wasilla Comprehensive Plan, and other pertinent information brought before them; and

WHEREAS, the Wasilla Planning Commission has developed Findings of Fact to summarize the basic facts and reasoning of the commission; and

WHEREAS, after due consideration, the Planning Commission hereby determines that this application meets all applicable provisions of Wasilla Municipal Code.

NOW, THEREFORE BE IT RESOLVED, that the Wasilla Planning Commission recommends that the City Council approve this PUD application with the Findings of Fact attached as Exhibit A and incorporated herein and with the following conditions:

1. All development on the site must substantially comply with the site plan and landscape plans attached as Exhibit B. Any changes to the plans must be submitted to the City Planner for review. Minor revisions may be approved by the City Planner and all other changes must be approved as a rezoning request/amendment to the PUD.
2. The applicant must preserve all existing vegetation in the right-of-way along Old Matanuska Road that abuts Lots 1 and 13, including the existing vegetation on Lots 1 and 13 between the western building edge to the multi-purpose path, to preserve the natural beauty of this area. A minimal amount of clearing at the intersection of Kinzi Circle and Old Matanuska road may be cleared for the placement of a subdivision entrance sign/feature, subject to review and approval by the City Planner or Planning Commission.
3. The existing trees and vegetation must be retained to the greatest extent possible during installation of the water lines in front of Lots 14 – 16 and then must replant a minimum of a 20' wide buffer along Old Matanuska Road that screens and softens the appearance of these units from the roadway. The replanted buffer should achieve the same buffer effect as a 20' wide swath of the existing trees and vegetation.

4. The applicant must provide evidence of the creation of a homeowner's association and associated restrictions that prohibit the construction of fences within the subdivision and maintains and preserves all vegetated and grassed areas and bike path as open spaces for the enjoyment of all of the residents prior to occupancy of any of the buildings on the site.
5. No activity may commence on the site until all construction and landscape guarantees have been posted with and approved by the City.
6. The applicant shall submit a final PUD overlay district plan to the City Planner within one year after the date of the approval of the preliminary PUD overlay district plan as required in WMC 16.20.030(F).
7. The applicant must obtain the required driveway and water/sewer permits from the City Public Works Department. The proposed drainage plan must be approved by the City Public Works Director prior to any construction on the site.

ADOPTED by the Wasilla Planning Commission on -, 2014.

APPROVED:

 Glenda Ledford, Chairman Date

ATTEST:

 Tina Crawford, AICP, City Planner

EXHIBIT A
Wasilla Planning Commission Resolution 14-04
FINDINGS OF FACT

COMPLIANCE WITH WMC 16.16.050 – GENERAL APPROVAL CRITERIA

16.16.050 *An administrative approval, use permit, elevated administrative approval, elevated use permit or conditional use may be granted if the following general approval criteria and any applicable specific approval criteria of Section 16.16.060 are complied with. The burden of proof is on the applicant to show that the proposed use meets these criteria and applicable specific criteria for approval. An approval shall include a written finding that the proposed use can occur consistent with the comprehensive plan, harmoniously with other activities allowed in the district and will not disrupt the character of the neighborhood. Such findings and conditions of approval shall be in writing and become part of the record and the case file.*

16.16.050(1)&(5) *Neighbors/Neighborhoods. Due deference has been given to the neighborhood plan or comments and recommendations from a neighborhood with an approved neighborhood plan.*

Finding: This criterion is not applicable since this parcel is not part of an adopted neighborhood plan.

16.16.050(2) *Plans. The proposal is substantially consistent with the city comprehensive plan and other city adopted plans.*

Finding: The proposed use is consistent with the Comprehensive Plan’s Mixed Use Future Land Use Map designation and the Commercial zoning district that implements the Comprehensive Plan.

16.16.050(3) *Special Uses. The proposal is substantially consistent with the specific approval criteria of Section 16.16.060.*

Finding: The specific approval criteria under 16.16.060 are not applicable since multi-family residential is not one of the special uses with additional criteria.

16.16.050(4) *Reviewing Parties. Due deference has been given to the comments and recommendations of reviewing parties.*

Finding: The City mailed 109 notices to neighboring property owners within 1200', 25 review agencies that are typically provided with the opportunity to comment, and the Planning Commission and City Council. At the time of packet preparation, only one comment was received that expressed concerns regarding the availability of water/sewer to serve the development and the traffic from the proposed 64 units. As indicated in the findings and the application packet, the development has direct access onto a major collector roadway (Old Matanuska Road) and will connect to city water and sewer services. Regarding the number of dwelling units, the Commercial zoning district has no limit on density provided that all other criteria are met.

Any comments received after distribution of the packet will be provided at the public hearing and be addressed at that time.

16.16.050(6) *Fire Safety and Emergency Access. The proposal shall not pose a fire danger as determined by the State Fire Marshal or the fire chief of the district in which the proposed use is located. Adequate access for emergency and police vehicles must be provided.*

Finding: The MSB Fire Chief's office will review the construction plans for compliance with all applicable fire codes, building codes and emergency access as related to the public health, safety and welfare prior to construction. Access for emergency vehicles will be provided from Old Matanuska Road and the proposed subdivision road.

16.16.050(7) *Traffic. The proposed use shall not overload the street system with traffic or result in unsafe streets or dangers to pedestrians.*

Finding: The proposed subdivision will be located at the western end of Old Matanuska Road, which is a major collector road. This multi-family development will not overload the street system or create unsafe streets or dangers to pedestrians.

16.16.050(8) *Dimensional Standards. The dimensional requirements of Section 16.24.010 are met.*

Finding: The attached site plan submitted by the applicant either complies with or requests the necessary variances as part of the PUD to the minimum setbacks and maximum height requirements of §16.24.010. The applicant has provided a table outlining the setback variances needed for this development in their PUD narrative. NOTE: Although they identify the need for side setback

variances for several lots, the Commercial zoning district allows a zero side setback provided that the building construction meets the State of Alaska Fire and Life Safety Regulations.

16.24.050(9) ***Parking. The parking, loading areas, and snow storage sites for the proposed development shall be adequate, safe and properly designed. The developer may be required to install acceptable lighting at pedestrian or vehicular access points.***

Finding: The site plan provides the required parking and snow storage areas.

16.16.050(10) ***Utilities. The proposed use shall be adequately served by water, sewer, electricity, on-site water or sewer systems and other utilities.***

Finding: The site is adequately served by water and sewer and other utilities are currently available in the area.

16.16.050(11) ***Drainage. The proposed use shall provide for the control of runoff during and after construction. All roads and parking areas shall be designed to alleviate runoff into public streets, adjoining lots and protect rivers lakes and streams from pollution. Uses may be required to provide for the conservation of natural features such as drainage basins and watersheds, and land stability.***

Finding: The proposed drainage plan indicates on-site storage for runoff from the site. Additionally, in-depth review and approval of the plans will be required by the Public Works department prior to construction.

16.16.050(12) ***Large Developments. Residential development of more than four units or non-residential development of more than ten thousand (10,000) square feet gross floor area may be required to provide a site plan showing measures to be taken for the preservation of open space, sensitive areas and other natural features; provision of common signage; provision for landscaping and provisions for safe and effective circulation of vehicles, pedestrians and bicycles. Nonresidential large developments must be located with frontage on one of the following class of streets: interstate, minor arterial, major collector or commercial.***

Finding: The site plan indicates sufficient open space, vehicle and pedestrian circulation, and landscaping. According to the applicant, all vegetated and grassed areas will be dedicated as common area for the development and will be maintained and managed by a homeowner's association. Fences will not be permitted so all residents will be able to utilize the open areas and a bicycle/pedestrian path will provide dedicated access from the interior lots to the path along Old Matanuska Road.

16.16.050(13) *Peak Use. The proposed use shall not result in significantly different peak use characteristics than surrounding uses or other uses allowed in the district.*

Finding: There should not be different peak use characteristics than the surrounding uses or area since the surrounding area is developed with higher density residential uses.

16.16.050(14) *Off-Site Impacts. The proposal shall not significantly impact surrounding properties with excessive noise, fumes or odors, glare, smoke, light, vibration, dust, litter, or interference in any radio or television receivers off the premises, or cause significant line voltage fluctuation off the premises. Radio transmitters and any electronic communications equipment regulated by the Federal Communications Commission is specifically excluded from regulation by this section. Welding, operation of electrical appliances or power tools, or similar activities that cause off site impacts as described above are specifically regulated by this subsection. Buffering may be required to ameliorate impacts between residential and nonresidential uses. The owner of the property upon which the buffer is constructed is responsible for the maintenance of the buffer in a condition that will meet the intent of these criteria.*

Finding: The proposed use should not generate any negative impacts to the surrounding properties.

16.16.050(15) *Landscaping. The proposed use shall be designed in a manner that minimizes the removal of trees and vegetative cover, and shall conform to the standards in this title concerning the provision and maintenance of landscaping, and any landscaping plan that is required for the proposed use under this title. The approval authority also may condition approval on the provision of the following:*

a. *A fenced storage area for common use, adequate to store boats, trailers, snowmobiles, recreational vehicles and similar items.*

b. Adequately sized, located and screened trash receptacles and areas.

Finding:

The applicant is requesting approval to remove all of the existing vegetation except a 15' wide strip of trees along the on the north, south, and eastern property boundaries. They propose to grass the remaining area and plant the required 36 trees and 72 shrubs throughout the development.

However, this is an area where the majority of the lots (including the condominium development to the southeast have retained a thick, natural buffer of trees and vegetation along Old Matanuska Road. The existing multi-purpose path along the east side of Old Matanuska Road is part of the City's parks and trail system and leads to a newly acquired natural, passive recreation park along Cottonwood Creek on the west side of Old Matanuska Road.

Therefore, staff is recommending that the PUD approval be conditioned upon them preserving all of the existing vegetation in the right of way along Old Matanuska Road that abuts Lots 1 and 13 including the existing vegetation on Lots 1 and 13 between the western building edge to the multi-purpose path to preserve the natural beauty of this area. A minimal amount of clearing at the intersection of Kinzi Circle and Old Matanuska road may be cleared for the placement of a subdivision entrance sign/feature, subject to review and approval by the City Planner or Planning Commission. In addition, they are proposing the clear the trees and natural vegetation in the right-of-way abutting Lots 14-16 to install water lines, staff is recommending that they be retain the existing trees and vegetation to the greatest extent possible and then replant a minimum of a 20' wide buffer along Old Matanuska Road that screens and softens the appearance of these units from the roadway. The replanted buffer should achieve the same buffer effect as a 20' wide swath of the existing trees and vegetation.

16.16.050(16)

Walkways, Sidewalks and Bike Paths. Pedestrian walkways or bicycle paths may be required where necessary to provide reasonable circulation or access to schools, playgrounds, shopping areas, transportation or other community facilities. Improvements must be constructed to standards adopted by the engineer.

Finding:

An existing multi-purpose path is located along Old Matanuska Road and the applicant is proposing to install a new bike/pedestrian path that will provide direct access to the existing path.

16.16.050(17)

Water, Sewage and Drainage Systems. If a proposed use is within five hundred (500) feet of an existing, adequate public water system, the developer may be required to construct a distribution system and the connection to the public system. A developer may be required to increase the size of existing public water, sewer or drainage lines or to install a distribution system within the development. The commission may require any or all parts of such installation to be oversized. The developer must submit to the engineer an acceptable plan that shows that if within ten (10) years an increase in capacity will be required to serve other areas how these needs will be met by oversized facilities. When installation of oversized facilities is required, the developer shall install such facilities at their own expense. The developer shall be reimbursed the amount determined by the engineer to be the difference in cost between the installed cost of the oversized utility lines and the installed cost of the utility lines adequate to serve both the development concerned and all other land to be served by the lines which is owned or under the control of the developer, provided the developer may not be required to install facilities unless funds for such oversizing have been appropriated for the purpose by the city and there is a sufficient unencumbered balance in the balance in the appropriation. No reimbursement may be made unless the developer has entered into such agreement with the city, including conveyances of personal property including lines, lift stations and valves and conveyances of land or rights in land, as the city determines may be necessary to ensure complete control by the city of its sewer, drainage and water lines when they are extended to serve the property of the developer. Notwithstanding the requirement that the developer construct improvements to existing systems, the commission may elect to accomplish the design or construction, or both, of improvements to be made to existing public systems. In such a case, the commission may require advance payment to the city of the estimated cost of work to be accomplished by the city. The developer shall reimburse the city for all expenses of such design or construction not paid in advance. A public system is adequate if, in the judgment of the engineer, it is feasible for the developer to make improvements to the public system which will provide the increased capacity necessary to serve the existing users and the new development at the same level as is being provided to the existing users. Prior to approval of a use for which a community water system is required, the developer must submit evidence showing that there is available a satisfactory source of water. A source of water is satisfactory only if it can be shown that the proposed source

will produce water sufficient in quality and quantity to supply the development. The water system and the connection between such distribution systems and the source must be sized and constructed to meet fire flow and hydrant requirements for fire protection and that the developer has obtained or can obtain a water appropriation permit or certificate for the water from the state. The system must be built to city specifications available from the engineer.

Finding: City utilities are in the immediate area and sufficient capacity exists for the proposed use. The applicant will coordinate with the Public Works department to obtain all necessary City permits.

16.16.050(18) ***Historic Resources. The proposed use shall not adversely impact any historic resource prior to the assessment of that resource by the city.***

Finding: At this time there are no known historic resources on the site. However, the Matanuska-Susitna Borough Cultural Resources Office was notified of the plans to develop this site.

16.16.050(19) ***Appearance. The proposed use may be required to blend in with the general neighborhood appearance and architecture. Building spacing, setbacks, lot coverage, and height must be designed to provide adequate provisions for natural light and air.***

Finding: There is adequate spacing between the buildings and the proposed use will be compatible with the surrounding uses.

16.16.050(20) ***Open Space and Facilities. The applicant may be required to dedicate land for open space drainage, utilities, access, parks or playgrounds. Any dedication required by the city must be based on a written finding that the area is necessary for public use or safety and the dedication is in compliance with adopted municipal plans and policy. The city finding shall conclude that a direct connection exists between the development and the need for the provision of the dedication...***

Finding: According to the applicant, all vegetated and grassed areas will be dedicated as common area for the development and will be maintained and managed by a homeowner's association. Fences will not be permitted so all residents will be able to utilize the open areas and a bicycle/pedestrian path will provide dedicated access from the interior lots to the path along Old Matanuska Road.

16.16.050(21) Winter Hassles. The proposed use shall not significantly increase the impact on the surrounding area from glaciation or drifting snow.

Finding: There are no foreseeable problems associated with winter conditions are anticipated for the proposed use and all snow storage will be accommodated on site.

COMPLIANCE WITH WMC 16.16.070 - REZONING

A. Initiation. A rezoning may be initiated by the developer, the planner, any member of the commission, a city council member, the mayor, or by a petition bearing the signatures of the owners of at least fifty-one (51) percent of the owners of property within the area proposed to be rezoned.

Finding: This criterion is met since the subject rezoning was initiated by the property owner.

B. Restrictions. Rezoning of an area less than two acres shall not be considered unless the rezoning involves the contiguous expansion of an existing zone, or a planned unit development overlay district. Streets or other rights-of-way shall not be included in calculating the minimum area for a rezoning. The area to be rezoned shall be a logical, integrated area.

Finding: This criterion is met since the parcel is approximately 5.8 acres.

C. Procedure. The application, acceptance notice, review and decision procedures for a rezoning shall follow the procedures set forth for a conditional use in Section 16.16.040. If the commission fails to act within twenty (20) days of the close of the hearing the rezoning request shall be considered approved and shall be forwarded to the council.

Finding: All applicable application, notice, review, and decision procedures were followed consistent with Section 16.16.040.

D. Criteria. The commission shall make a recommendation to the council based on written findings that the appropriate following criteria have been addressed:

1. Due deference has been given to the neighborhood plan; or comments and recommendations from a neighborhood with an approved neighborhood plan;

Finding: This criterion is not applicable since there are not any approved neighborhood plans in the area. However, notices were mailed to all property owners within 1200' to inform them of the proposed development and give them time to provide comments/concerns.

2. The proposed rezoning substantially complies with Section 16.16.050, and Section 16.20.030 in the case of the establishment or modification of a PUD overlay district;

Finding: The proposed PUD substantially complies with the applicable provisions of Section 16.16.050 General Approval Criteria and the PUD requirements in WMC 16.20.030. Detailed findings regarding consistency with the PUD requirements are included in this report. Additional in-depth review for consistency with Title 16 will be done by planning staff upon receipt of permit applications for future development on these parcels.

3. The proposed rezoning is in an area with adequate services, including as appropriate; roads, parking, sidewalks, water, sewer, gas, electricity, drainage, police and fire protection, or the developer has agreed to provide all the necessary improvements or services for the area;

Finding: The proposed development is in an area that has access to the services above or will provide them at time of development.

4. The comments from reviewing parties (Section 16.08.040) on the proposed rezoning have been adequately addressed;

Finding: At the time of packet preparation, only one comment was received that expressed concerns regarding the availability of water/sewer to serve the development and the traffic from the proposed 64 units. As indicated in the findings and the application packet, the development has direct access onto a major collector roadway (Old Matanuska Road) and will connect to city water and sewer services. Regarding the number of dwelling units, the Commercial zoning district has no limit on density provided that all other criteria are met.

Any comments received after distribution of the packet will be provided at the public hearing and be addressed at that time.

5. There is a demonstrated need for additional land in the zoning district to accommodate uses allowed;

Finding: This criterion is not applicable since the zoning designation will remain Commercial and the proposed multi-family use is consistent with the zoning. The PUD provides additional flexibility and relaxation of development standards.

6. The resulting district or expanded district will be a logical, integrated area; and

Finding: The proposed PUD is consistent with the multi-family uses along Old Matanuska Road.

7. The rezoning is in conformance with the city comprehensive plan.

FINDING: The proposed PUD is consistent with the intent of the Mixed Use future land use designation in the Comprehensive Plan. The implementation policies of the Comprehensive Plan states that the appropriate zoning for a FLUM should be the most appropriate for the area and should take into consideration the purpose of the zoning district, the proposed rezoning site, and the zoning and/or development pattern of the surrounding area.

COMPLIANCE WITH WMC 16.20.030 – PLANNED UNIT DEVELOPMENT OVERLAY DISTRICT

A. Purpose. The purpose of the PUD overlay district is to promote innovative and efficient land use and design by permitting greater flexibility in zoning requirements than this title generally permits. This flexibility should result in a more efficient and aesthetic development of the project site, allowing higher residential density or increased intensity or mix of uses than would be permitted in the underlying zoning district, while preserving harmony with uses in the surrounding area.

Finding: The relaxation of the setback and land clearing sections of the code allow a higher density that would otherwise be reached on this parcel. Developing more dense residential uses on the parcel is consistent with the other multi-family development in the area and is very close to the commercial core of the city, which provides the opportunity to walk or bike to obtain goods and services or to get to work.

B. Application. A PUD overlay district may be located in any zoning district, and may be used for any residential, commercial or industrial use or combination thereof. The terms and conditions of a PUD overlay district supplement the regulations in the underlying zoning district, and modify and supersede any conflicting regulations in the underlying zoning district. A PUD overlay district may be applied only to a parcel having an area not less than two acres, unless the planner finds one or more of the following factors justifies applying a PUD overlay district to a parcel having an area less than two acres:

- 1. Applying a PUD overlay district will permit reasonable development of the parcel while preserving an unusual physical or topographic feature of importance to the area as a whole;**

2. ***The parcel is adjacent to an existing PUD overlay district, and will be developed as an extension of, or compatibly with, that existing district;***
3. ***The project will use design features that benefit the general public and surrounding area, and that would not be permitted in the underlying zoning district;***
4. ***The project will provide a desirable mixture of uses, or meet a need for affordable residential, commercial or industrial development that would not be feasible under the regulations in the underlying zoning district; or***
5. ***The PUD overlay district will facilitate redevelopment in the downtown area as described in the comprehensive plan.***

Finding: The proposed PUD meets this criterion since the parcel is approximately 5.8 acres.

C. Permitted Uses. The permitted uses in a PUD overlay district shall be specified in the ordinance establishing the district, and may include any uses permitted in the underlying zoning district by administrative approval, use permit or conditional use permit that are appropriate in furtherance of the goals of the comprehensive plan and designed to complement each other. In addition, the following uses are permitted in a PUD overlay district:

1. ***Multifamily dwellings.***
2. ***The following uses that only serve permitted residential uses within the PUD overlay district: community buildings; indoor or outdoor recreation facilities; and recreational vehicle storage.***
3. ***Retail commercial uses that serve principally the permitted residential uses within the PUD overlay district and the surrounding neighborhood.***

Finding: The site plan for the proposed PUD indicates that one multi-family structure (fourplex) will be developed on each proposed lot, which is permitted in the Commercial zoning district as a Use Permit.

D. Design and Development Standards. All uses and structures in a PUD overlay district shall conform to the following design and development standards:

1. ***Buildings, parking areas, pedestrian, bicycle and vehicular ways, and utility easements shall be designed to promote public safety, minimize conflict between uses, and reasonably maintain topography and other natural features.***

Finding: The proposed PUD provides adequate building separation, parking areas, pedestrian and bicycle access and interconnectivity within

the site and significantly maintains the topography and other natural features.

2. ***The design shall take into account the relationship of the site to the surrounding areas and between differing uses on the site, and shall minimize adverse impacts between the project and adjacent land uses, and different types of potentially incompatible land uses. Incompatibilities to be mitigated include traffic congestion, noise, visual intrusion and hours of operation.***

Finding: The proposed PUD development is consistent with the surrounding land uses and will not create negative impacts.

3. ***If existing topographical or other barriers within ten (10) feet of the perimeter of the PUD overlay district do not sufficiently mitigate incompatibilities with adjacent existing uses, one or more of the following shall be required:***
 - a. ***Structures located on the perimeter of the district shall be set back in accordance with the front yard setback of the underlying zoning district.***
 - b. ***Screening or buffering shall be provided on the perimeter of the district in accordance with Section 16.33.030(G).***

Finding: The proposed PUD is compatible with the surrounding multi-family land uses and does not require any screening or buffering.

4. ***Common open space shall meet the following requirements:***
 - a. ***The common open space shall be for amenity or recreational purposes, and appropriate to the size and character of the district, including its residential density, expected number of residents or employees, topography, and the number and type of dwellings.***
 - b. ***The common open space shall be suitably landscaped for its intended use, except that natural features worthy of preservation may be left unimproved.***
 - c. ***Any buildings, structures and improvements in the common open space shall be appropriate to the uses that are authorized for the common open space.***
 - d. ***Common open space shall be operated and maintained either through an association of owners of property in the PUD overlay district established under Chapter 34.08 of the Alaska Statutes, or by a public agency that has accepted a dedication of the common open space.***

Finding: The site plan indicates sufficient open space, vehicle and pedestrian circulation, and landscaping. According to the applicant, all vegetated and grassed areas will be dedicated as common area

for the development and will be maintained and managed by a homeowner's association. Fences will not be permitted so all residents will be able to utilize the open areas and a bicycle/pedestrian path will provide dedicated access from the interior lots to the path along Old Matanuska Road.

5. ***Changes in Required Dimensions. The minimum lot and yard dimension requirements in the underlying zoning district may be waived for a PUD overlay district as necessary to achieve a better design, where compensating design or structural measures ensure adequate separation for fire protection, visual and acoustical privacy, and adequate light and air. Individual parcels in a PUD overlay district may exceed the maximum lot coverage in the underlying zoning district; provided, that the entire PUD overlay district does not exceed the maximum lot coverage. Building height in a PUD overlay district may exceed the maximum permitted in the underlying zoning district by fifty (50) percent; provided, that the design of improvements in the PUD overlay district protects uses and structures both inside and outside the PUD overlay district from adverse impacts on privacy, light and air.***

Finding: The proposed development requires waivers of the minimum setbacks, clearing requirements, and landscaping requirements, which are identified in detail in the applicant's PUD application materials and shown on the proposed site and landscaping plans.

6. ***Required Improvements. All streets, paving, curbs, sidewalks, utilities, street lighting and similar facilities must be developed according to city standards unless specifically waived upon recommendation of the public works director.***

Finding: All improvements will be constructed to applicable city and borough standards.

7. ***Project Phasing. An application for initial approval of a PUD overlay zone may provide for the project to be constructed and finally approved in sequential phases.***

Finding: The applicant is requesting that the PUD be approved for phased development as shown in their application materials.



OWNER'S TABLE

LOT	OWNER	ADDRESS	PHONE
1
2
3
4
5
6
7
8
9
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11
12
13
14
15
16

NOTICE

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY THE ARCHITECT AND ENGINEER AND THE LAND SURVEYOR AND THE ENGINEER AND ARCHITECT HAVE BEEN REGISTERED IN THE STATE OF ALABAMA AND ARE LICENSED TO PRACTICE IN THE STATE OF ALABAMA. THE ARCHITECT AND ENGINEER HAVE BEEN REGISTERED IN THE STATE OF ALABAMA AND ARE LICENSED TO PRACTICE IN THE STATE OF ALABAMA. THE LAND SURVEYOR HAS BEEN REGISTERED IN THE STATE OF ALABAMA AND IS LICENSED TO PRACTICE IN THE STATE OF ALABAMA. THE ENGINEER AND ARCHITECT HAVE BEEN REGISTERED IN THE STATE OF ALABAMA AND ARE LICENSED TO PRACTICE IN THE STATE OF ALABAMA.

SUBMITTER'S CERTIFICATE

I, the undersigned, hereby certify that the plans and specifications herein are true and correct copies of the original plans and specifications as submitted to the City of Birmingham, Alabama, for the purpose of obtaining a license to construct the same. I further certify that the same conform to the requirements of the City of Birmingham, Alabama, and that I am a duly licensed architect and engineer in the State of Alabama.

DATE: _____

BELLA VISTA WEST

RESIDENTIAL DEVELOPMENT

4.50 ACRES

16 LOTS

1/2" = 1' SCALE

APR 1988

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BIRMINGHAM, ALABAMA, ORDINANCES AND SPECIFICATIONS.

2. THE SUBMITTER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LICENSES FROM THE CITY OF BIRMINGHAM, ALABAMA.

3. THE SUBMITTER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EASEMENTS AND RIGHTS-OF-WAY FROM THE ADJACENT PROPERTY OWNERS.

4. THE SUBMITTER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES AND SERVICES FROM THE CITY OF BIRMINGHAM, ALABAMA.

5. THE SUBMITTER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING FROM THE CITY OF BIRMINGHAM, ALABAMA.

PLANNING & LAND USE DIRECTOR'S CERTIFICATE

I, the undersigned, hereby certify that the plans and specifications herein are true and correct copies of the original plans and specifications as submitted to the City of Birmingham, Alabama, for the purpose of obtaining a license to construct the same. I further certify that the same conform to the requirements of the City of Birmingham, Alabama, and that I am a duly licensed planning and land use director in the State of Alabama.

DATE: _____

NOTARY'S ACKNOWLEDGEMENT

I, the undersigned, hereby certify that the plans and specifications herein are true and correct copies of the original plans and specifications as submitted to the City of Birmingham, Alabama, for the purpose of obtaining a license to construct the same. I further certify that the same conform to the requirements of the City of Birmingham, Alabama, and that I am a duly licensed notary public in the State of Alabama.

DATE: _____

GENERAL NOTE OF AMENDMENTS

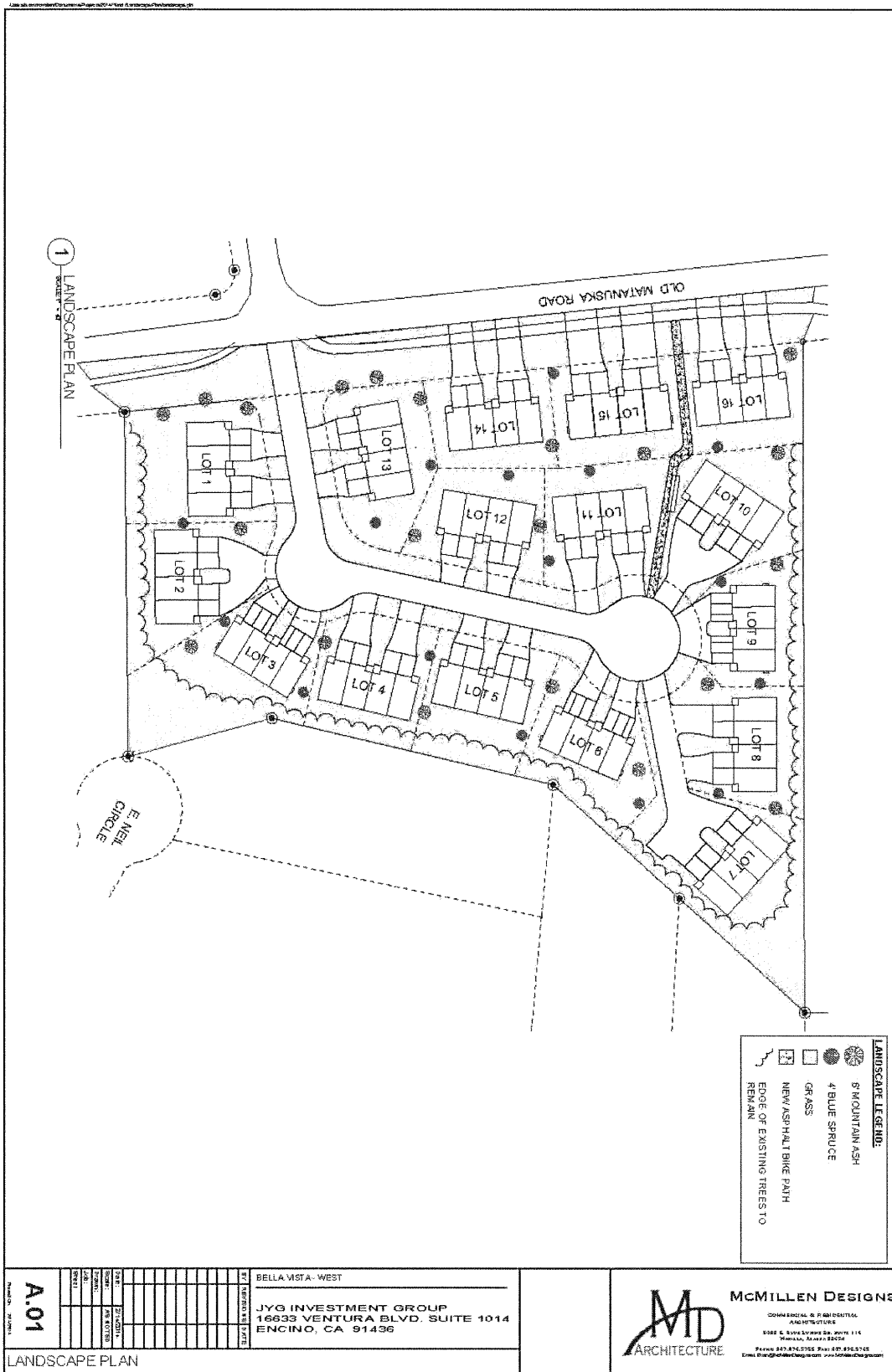
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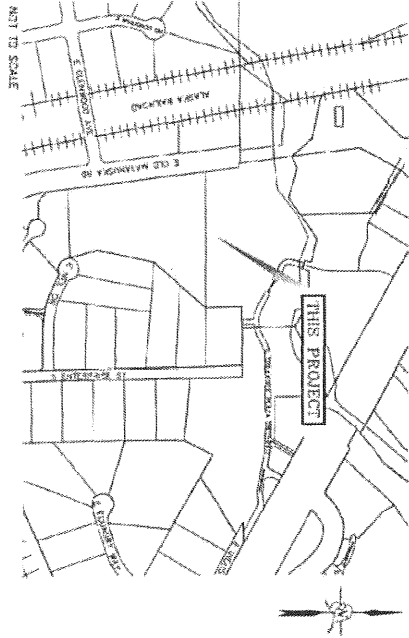
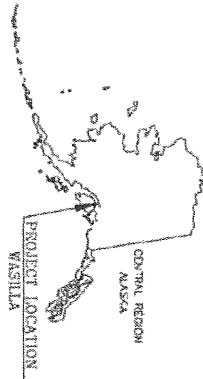


BELLA VISTA WEST SUBDIVISION

KINZI CIRCLE

ROAD & UTILITIES DESIGN

MARCH 2014



SHEET NO.	DESCRIPTION
01.0	COVER SHEET
01.1	GENERAL NOTES, LEGEND AND ABBREVIATIONS
01.2	SURVEY CONTROL
01.3	PROPOSED SITE PLAN
02.0	KINZI CIRCLE ROAD PLAN AND PROFILE
03.0	SEWER LINES PLAN AND PROFILES
03.1	SEWER DETAILS
04.0	WATERLINES PLAN
04.1	WATERLINE 1 PROFILE
04.2	WATERLINE 2 PROFILE



NO. 1	DATE
NO. 2	DATE
NO. 3	DATE

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF PALMER DISTRICT REEDS & SPECIAL PROVISIONS ON THIS PLAN SET.
2. CONTRACTOR IS RESPONSIBLE FOR ALL PROJECT SAFETY AND SITE COMPLIANCE.
3. ALL UTILITIES SHOWN ON THE PLAN SHALL BE MAINTAINED AND NOT ALTERED. CONTRACTOR SHALL OBTAIN UTILITY LOCATIONS FROM THE CITY OF PALMER. CONTRACTOR SHALL VERIFY EXISTING UTILITIES AND ALL BARRIERS PRIOR TO CONSTRUCTION. ALL UTILITIES TO BE MAINTAINED SHALL BE MAINTAINED WITH EACH PARTY COMPANY.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PROJECT SAFETY AND SITE COMPLIANCE. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF PALMER. CONTRACTOR SHALL VERIFY EXISTING UTILITIES AND ALL BARRIERS PRIOR TO CONSTRUCTION. ALL UTILITIES TO BE MAINTAINED SHALL BE MAINTAINED WITH EACH PARTY COMPANY.
5. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND NOT ALTERED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF PALMER. CONTRACTOR SHALL VERIFY EXISTING UTILITIES AND ALL BARRIERS PRIOR TO CONSTRUCTION. ALL UTILITIES TO BE MAINTAINED SHALL BE MAINTAINED WITH EACH PARTY COMPANY.
6. THE CONTRACTOR SHALL NOTIFY THE DISTRICT ENGINEER PRIOR TO BEGINNING ANY WORK. CONTRACTOR SHALL NOTIFY THE DISTRICT ENGINEER PRIOR TO BEGINNING ANY WORK. CONTRACTOR SHALL NOTIFY THE DISTRICT ENGINEER PRIOR TO BEGINNING ANY WORK.
7. UNLESS OTHERWISE SPECIFIED, EXCAVATION SHALL BE TO THE FINISH GRADE SHOWN ON THE PLAN SET. CONTRACTOR SHALL VERIFY EXISTING UTILITIES AND ALL BARRIERS PRIOR TO CONSTRUCTION. ALL UTILITIES TO BE MAINTAINED SHALL BE MAINTAINED WITH EACH PARTY COMPANY.
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GENERAL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
(Symbol)	2" ALUMINUM CORNER	(Symbol)	1" ALUMINUM CORNER
(Symbol)	1" ALUMINUM CORNER	(Symbol)	1/2" ALUMINUM CORNER
(Symbol)	1/2" ALUMINUM CORNER	(Symbol)	1/4" ALUMINUM CORNER
(Symbol)	1/4" ALUMINUM CORNER	(Symbol)	1/8" ALUMINUM CORNER
(Symbol)	1/8" ALUMINUM CORNER	(Symbol)	1/16" ALUMINUM CORNER
(Symbol)	1/16" ALUMINUM CORNER	(Symbol)	1/32" ALUMINUM CORNER
(Symbol)	1/32" ALUMINUM CORNER	(Symbol)	1/64" ALUMINUM CORNER
(Symbol)	1/64" ALUMINUM CORNER	(Symbol)	1/128" ALUMINUM CORNER
(Symbol)	1/128" ALUMINUM CORNER	(Symbol)	1/256" ALUMINUM CORNER
(Symbol)	1/256" ALUMINUM CORNER	(Symbol)	1/512" ALUMINUM CORNER
(Symbol)	1/512" ALUMINUM CORNER	(Symbol)	1/1024" ALUMINUM CORNER
(Symbol)	1/1024" ALUMINUM CORNER	(Symbol)	1/2048" ALUMINUM CORNER
(Symbol)	1/2048" ALUMINUM CORNER	(Symbol)	1/4096" ALUMINUM CORNER
(Symbol)	1/4096" ALUMINUM CORNER	(Symbol)	1/8192" ALUMINUM CORNER
(Symbol)	1/8192" ALUMINUM CORNER	(Symbol)	1/16384" ALUMINUM CORNER
(Symbol)	1/16384" ALUMINUM CORNER	(Symbol)	1/32768" ALUMINUM CORNER
(Symbol)	1/32768" ALUMINUM CORNER	(Symbol)	1/65536" ALUMINUM CORNER
(Symbol)	1/65536" ALUMINUM CORNER	(Symbol)	1/131072" ALUMINUM CORNER
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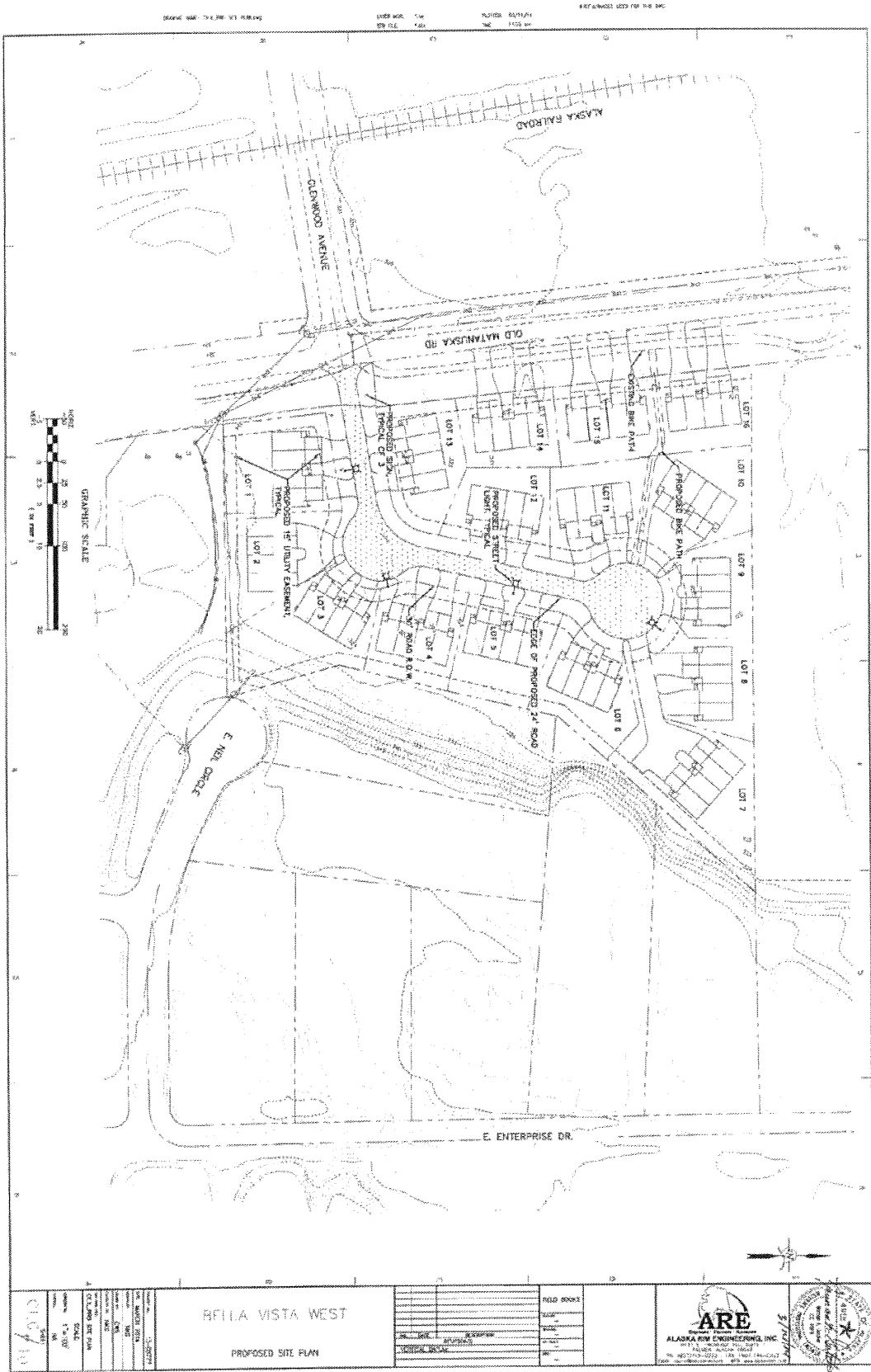


Exhibit B
 Resolution Serial No. 14-04

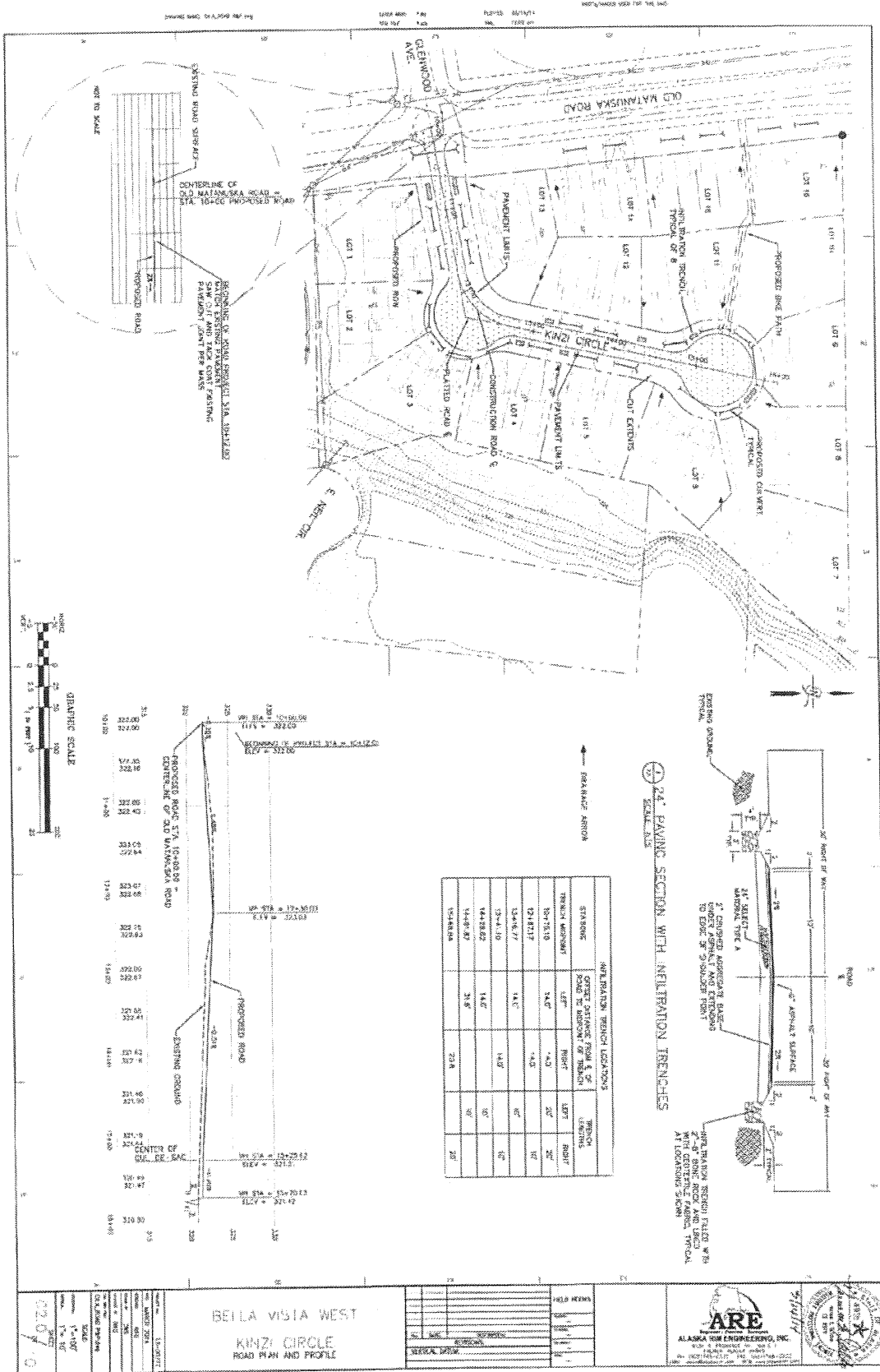
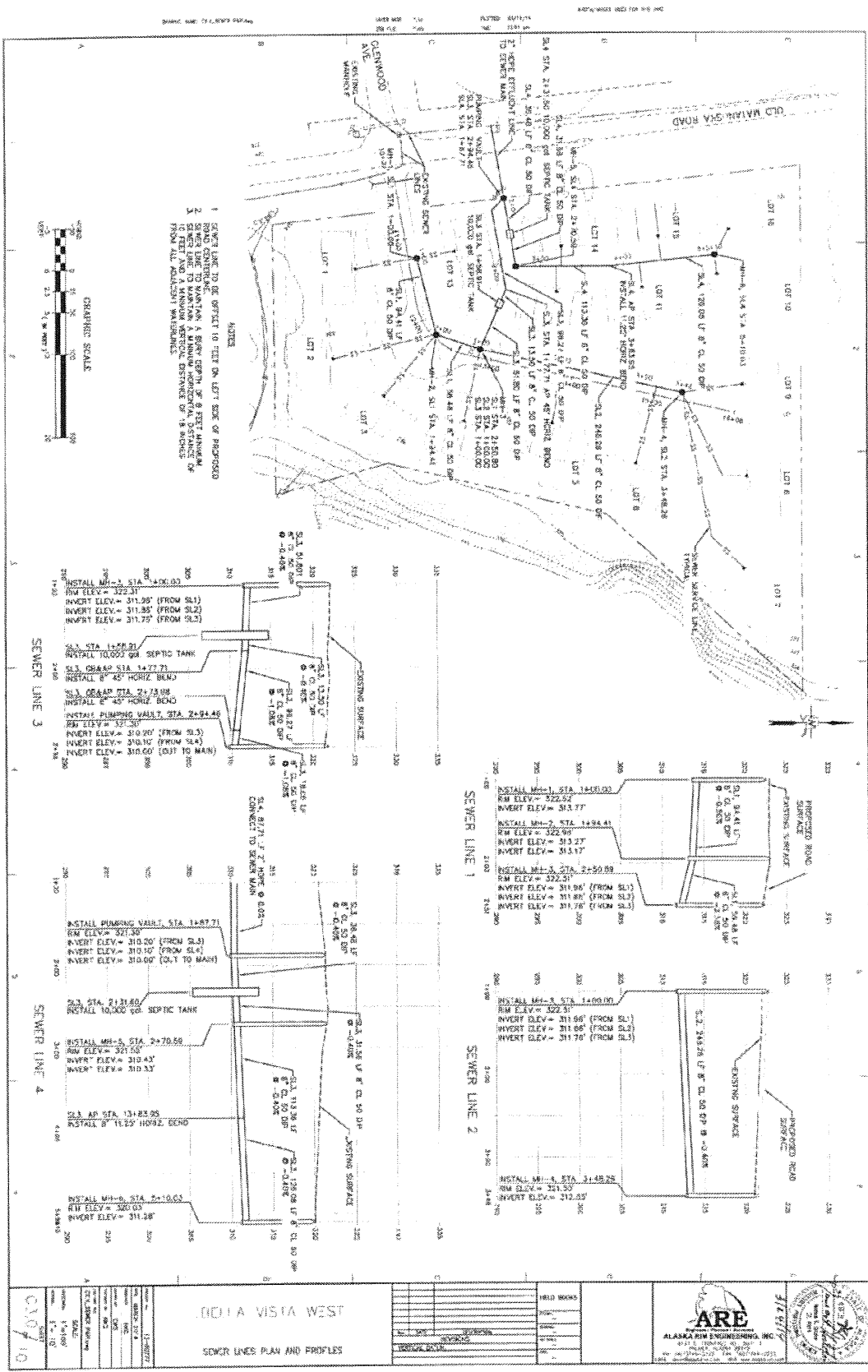


Exhibit B
Resolution Serial No. 14-04



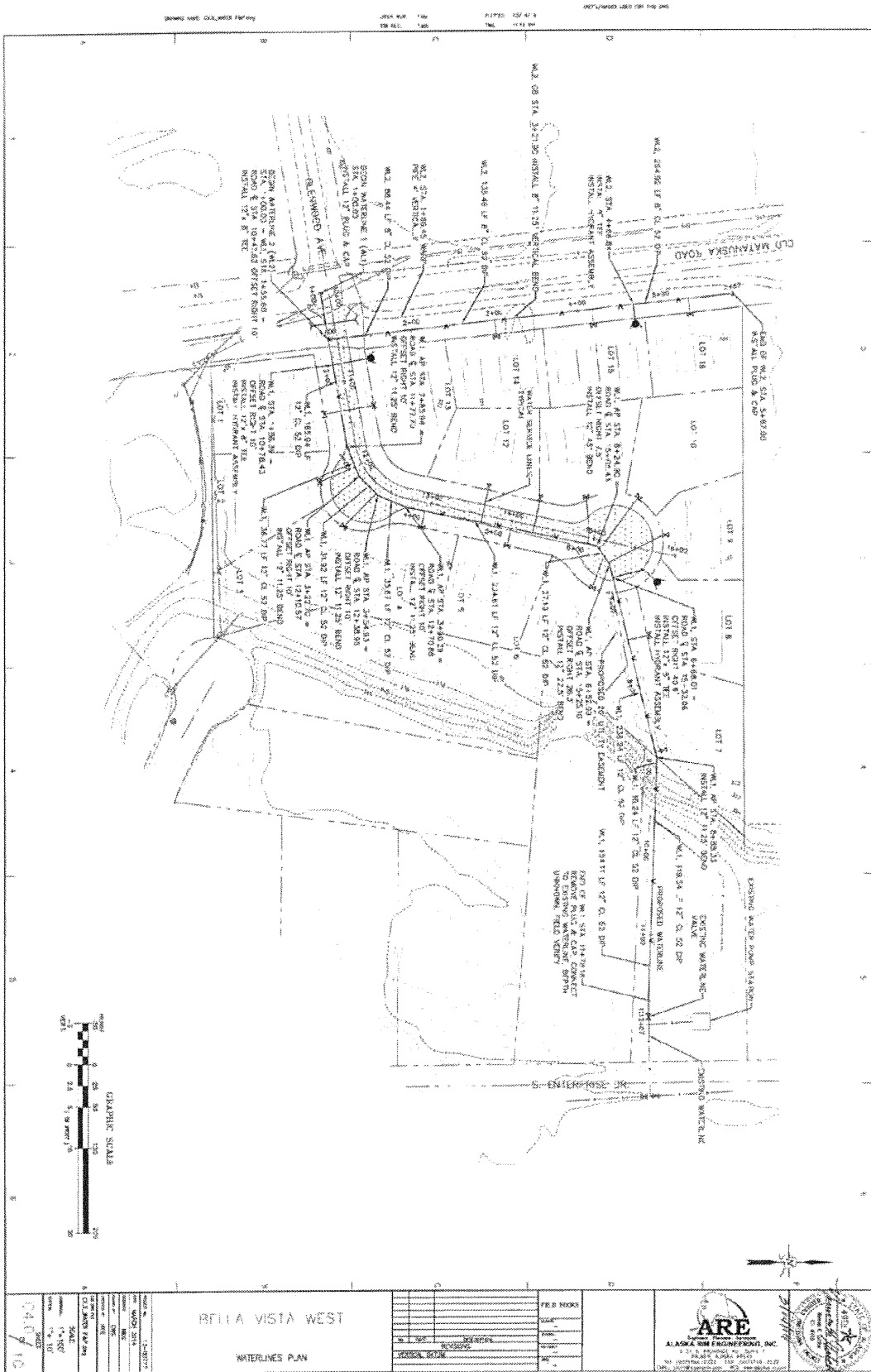
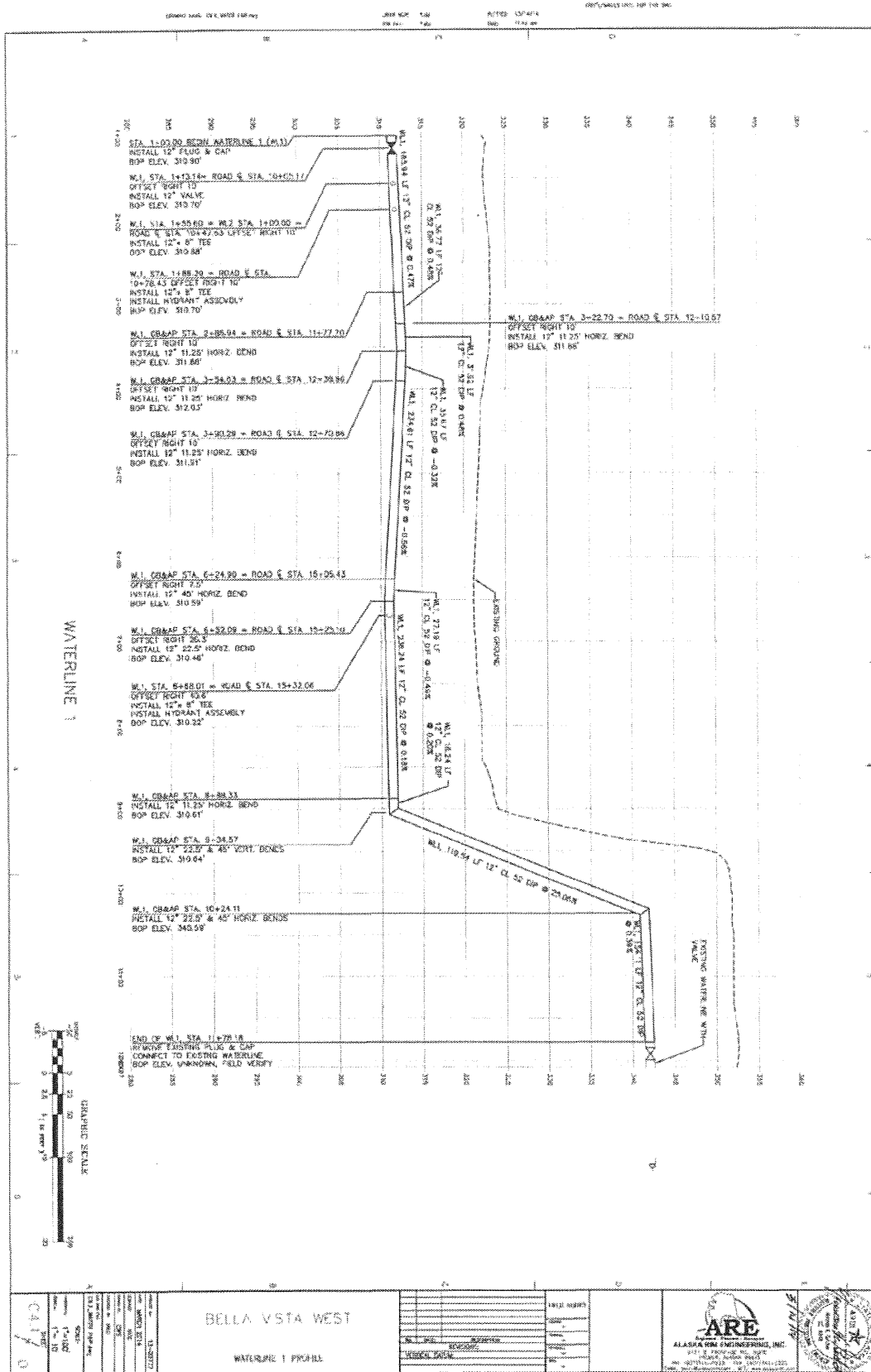
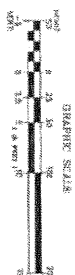
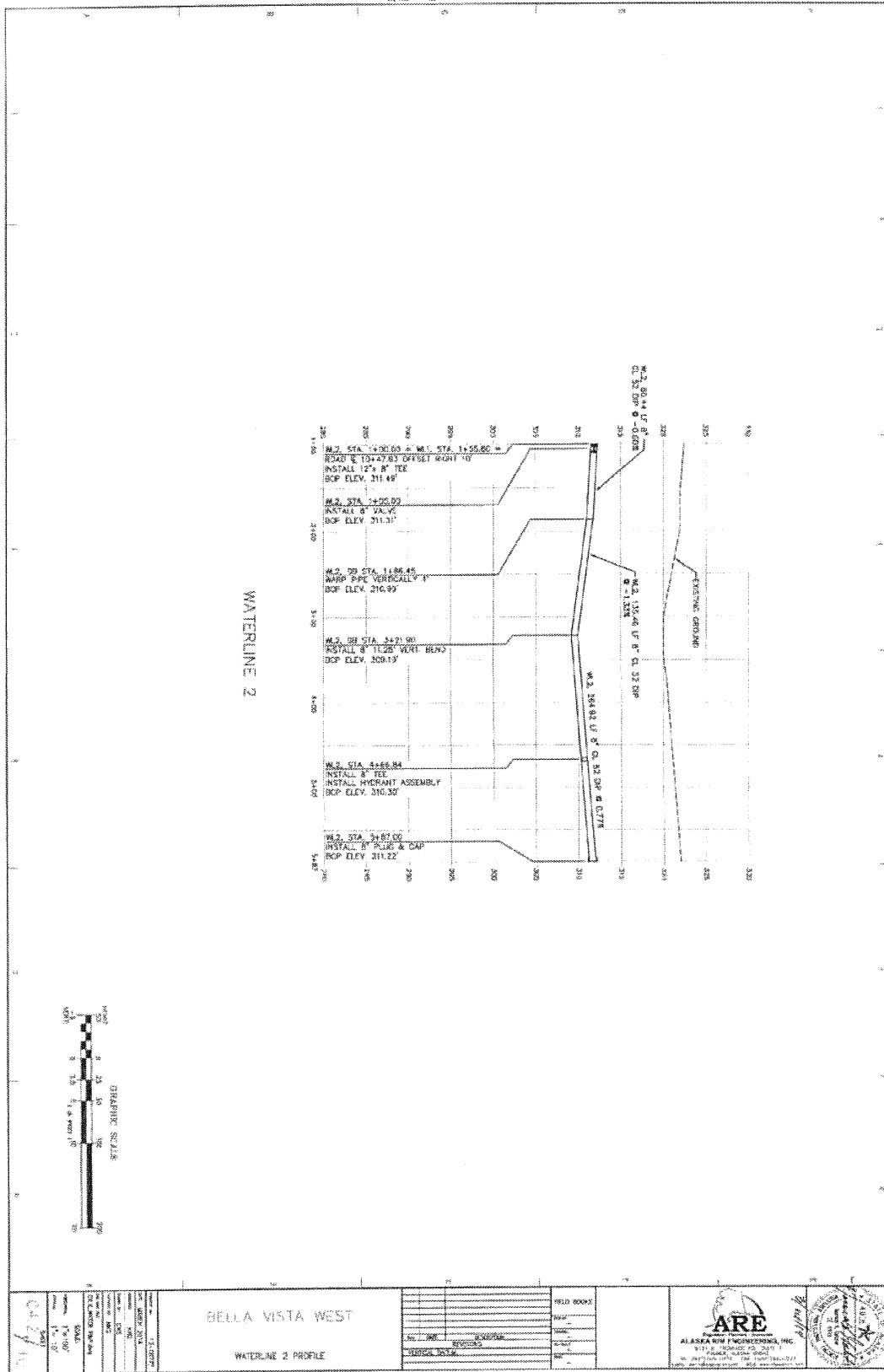


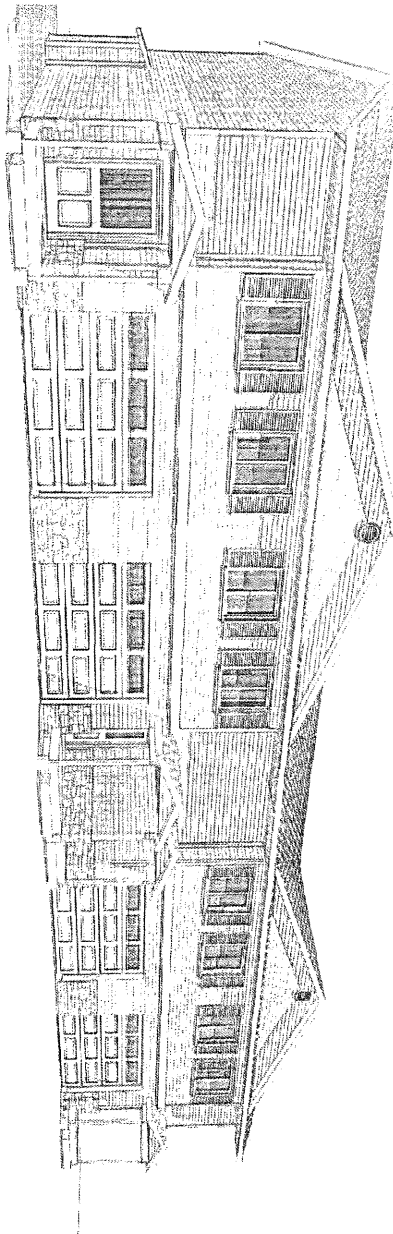
Exhibit B
Resolution Serial No. 14-04





<p>BELLA VISTA WEST</p> <p>WATERLINE 2 PROFILE</p>		<table border="1"> <tr><td>NO.</td><td>DATE</td><td>DESCRIPTION</td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	NO.	DATE	DESCRIPTION							<table border="1"> <tr><td>FIELD BOOKS</td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>	FIELD BOOKS						
NO.	DATE	DESCRIPTION																	
FIELD BOOKS																			

BELLAVISTA 4-PLEX



GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
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7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.

BUILDING AREA

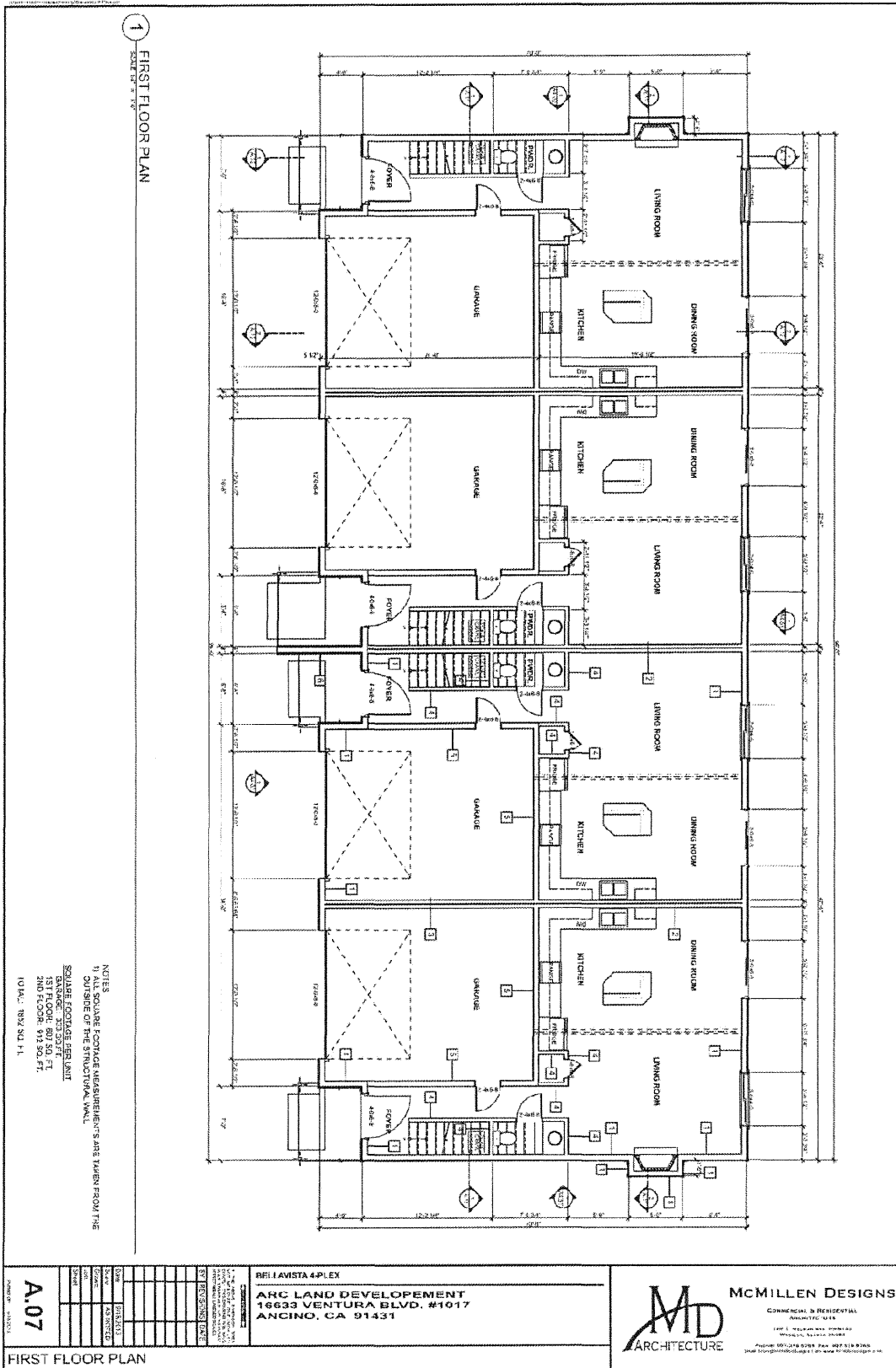
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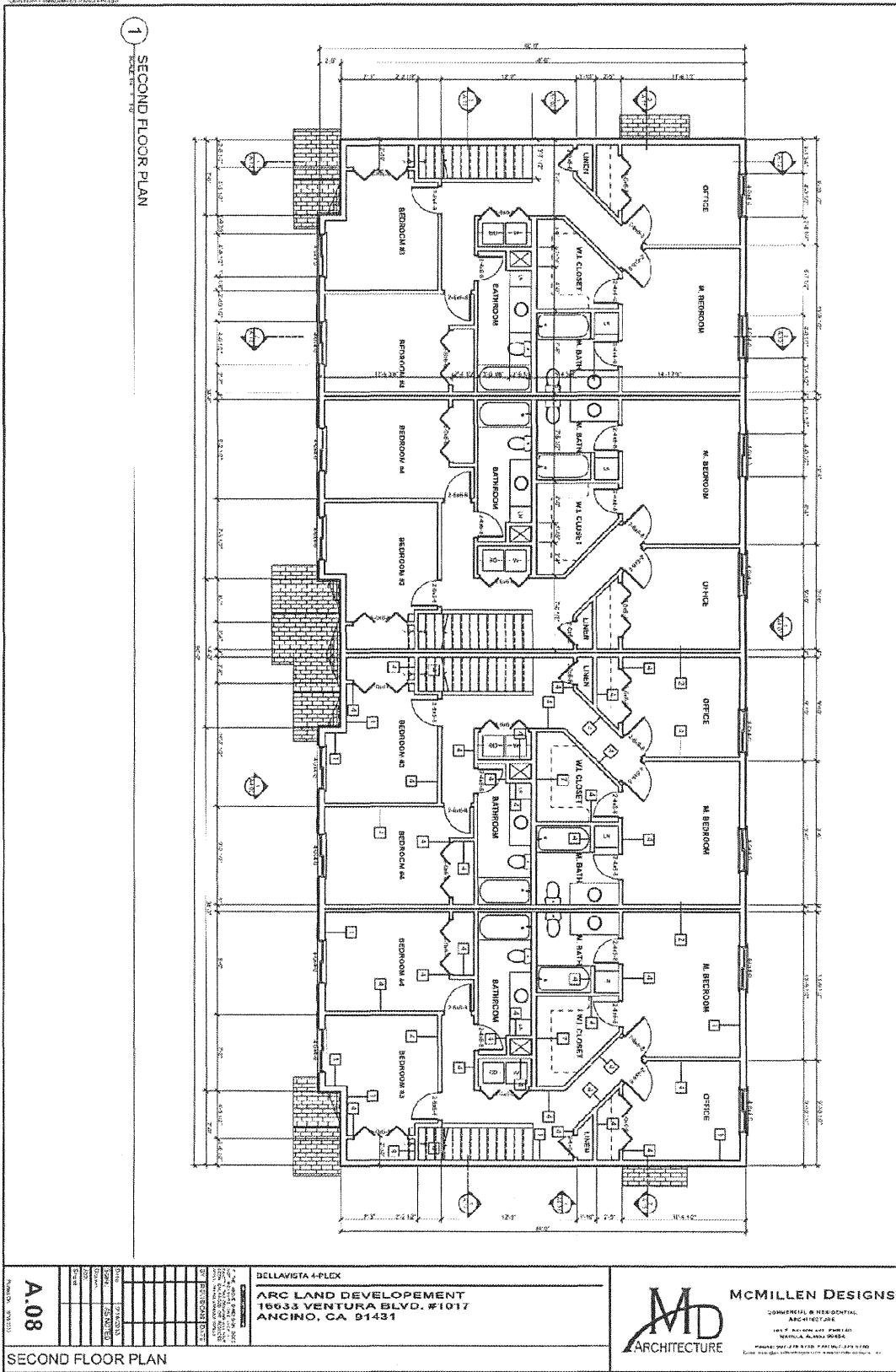
SHEET INDEX

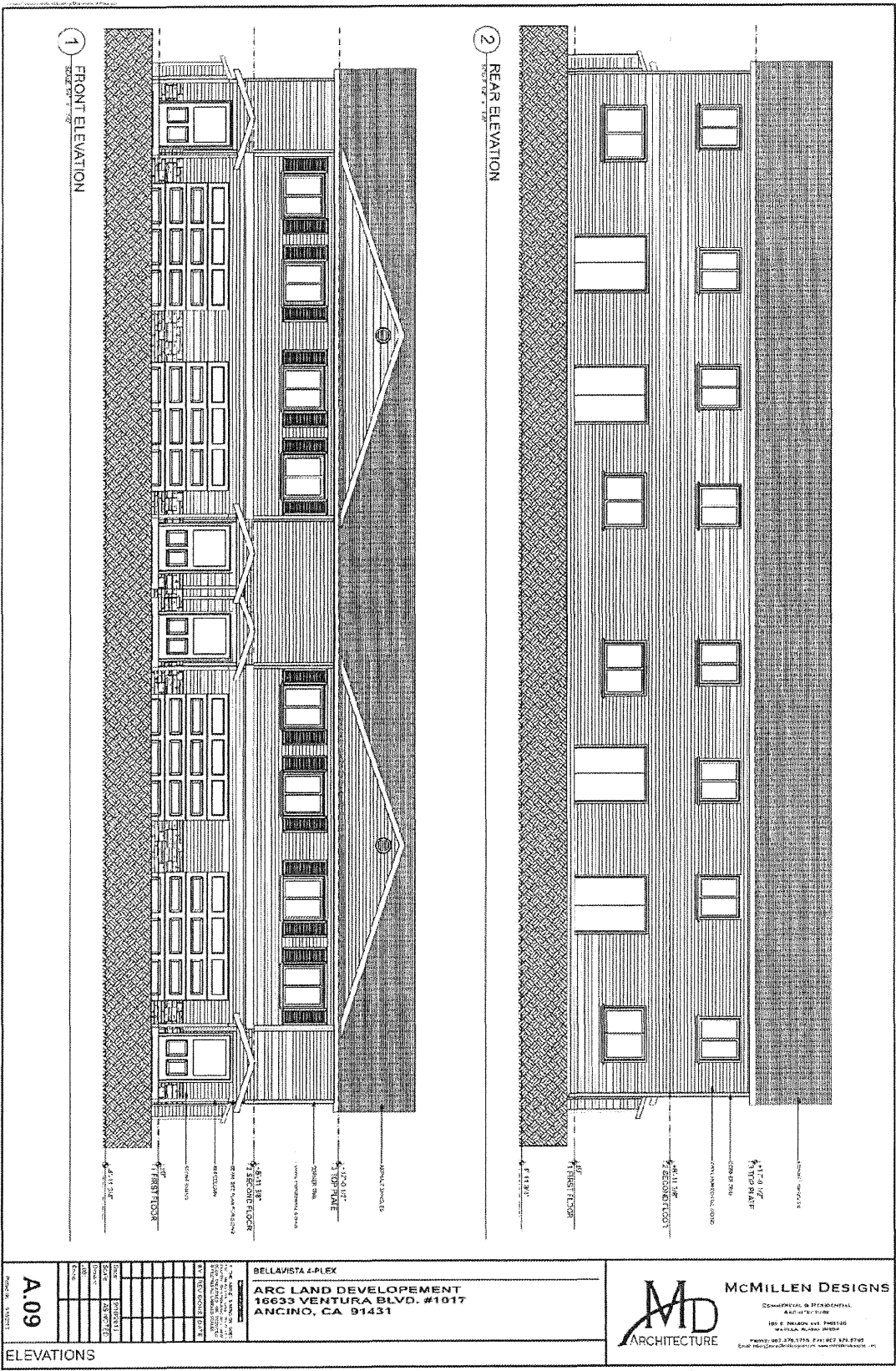
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02	FLOOR PLAN	11/15/18
03	FOUNDATION PLAN	11/15/18
04	SECTION	11/15/18
05	DETAILS	11/15/18
06	MECHANICAL PLAN	11/15/18
07	ELECTRICAL PLAN	11/15/18
08	PLUMBING PLAN	11/15/18
09	PAINT PLAN	11/15/18
10	FINISHES	11/15/18
11	CONTRACT ADMINISTRATION	11/15/18

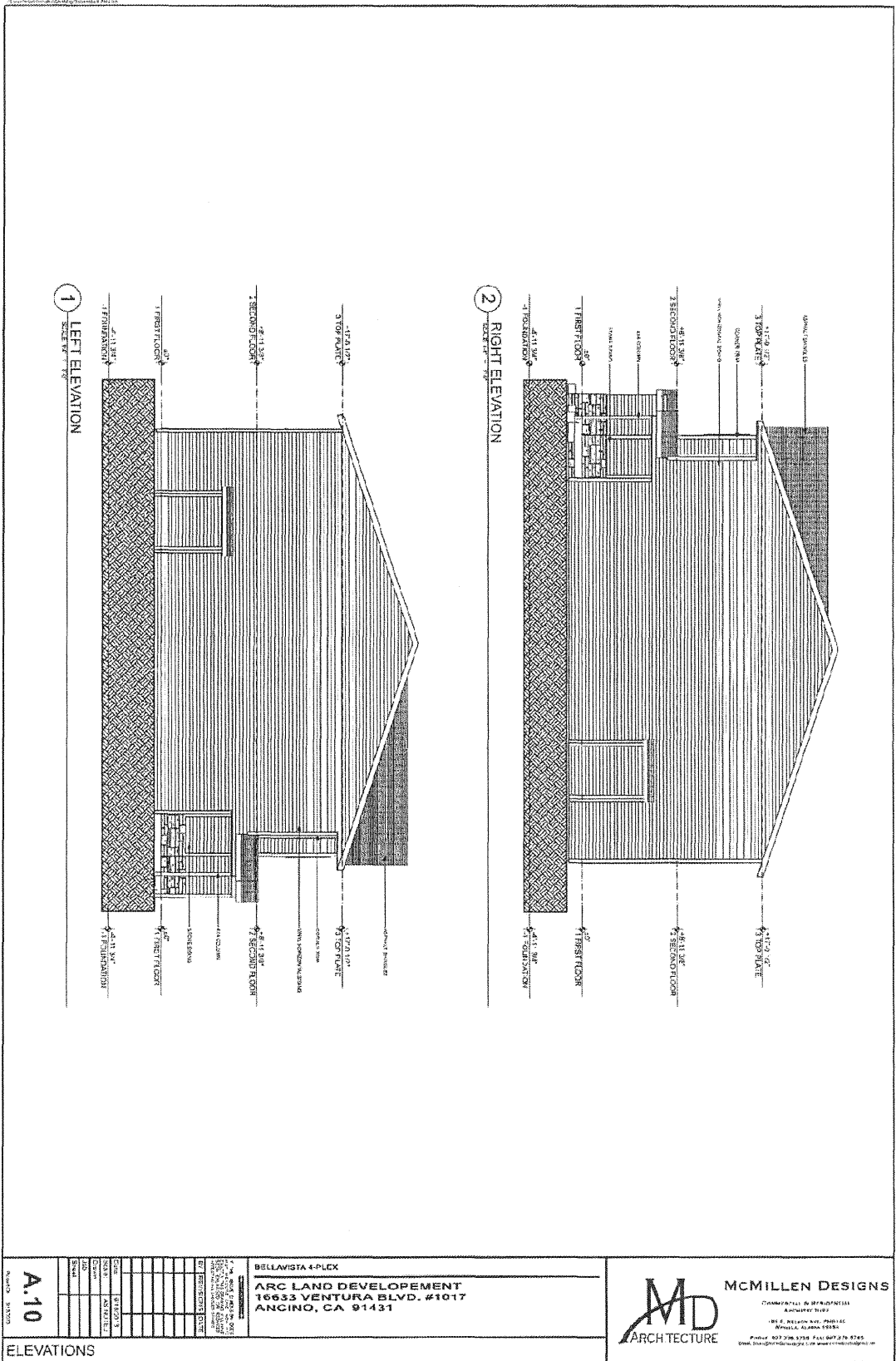
BUILDING PLAN 'C'

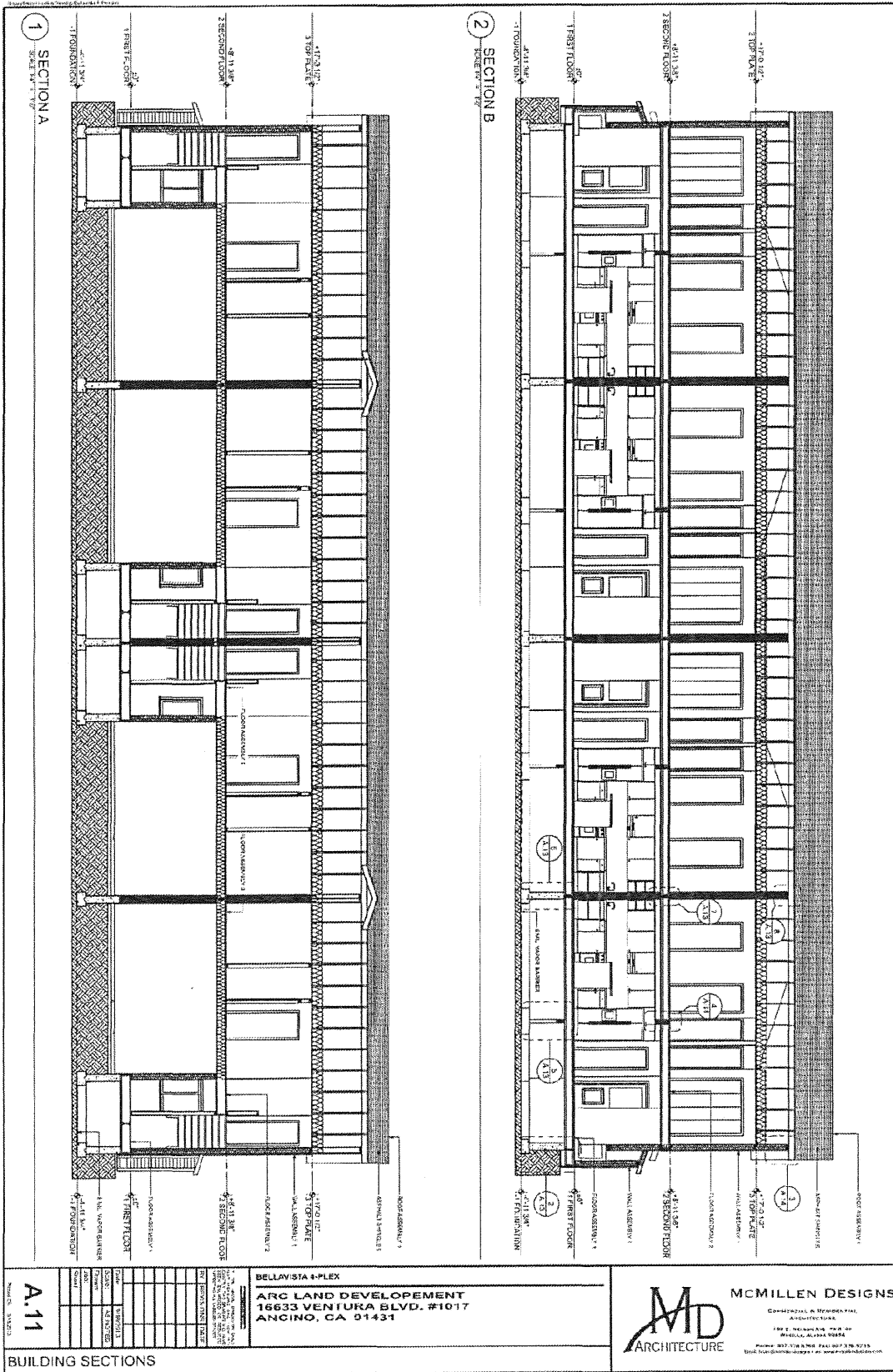
<p>BELLAVISTA 4-PLEX ARC LAND DEVELOPMENT 18633 VENTURA BLVD. #1017 ANCINO, CA 91431</p>	<p>MCMILLEN DESIGNS COMMERCIAL & RESIDENTIAL ARCHITECTURE 186 E. HILLWAY PARK BOULEVARD SANTA ANA, CALIF. 92705 PHONE: (949) 974-8888 FAX: (949) 974-8745 WWW: WWW.MCMILLENDESIGNS.COM</p>	<p>MD ARCHITECTURE</p>	<p>A.01</p> <p>TITLE SHEET / GENERAL INFO</p>
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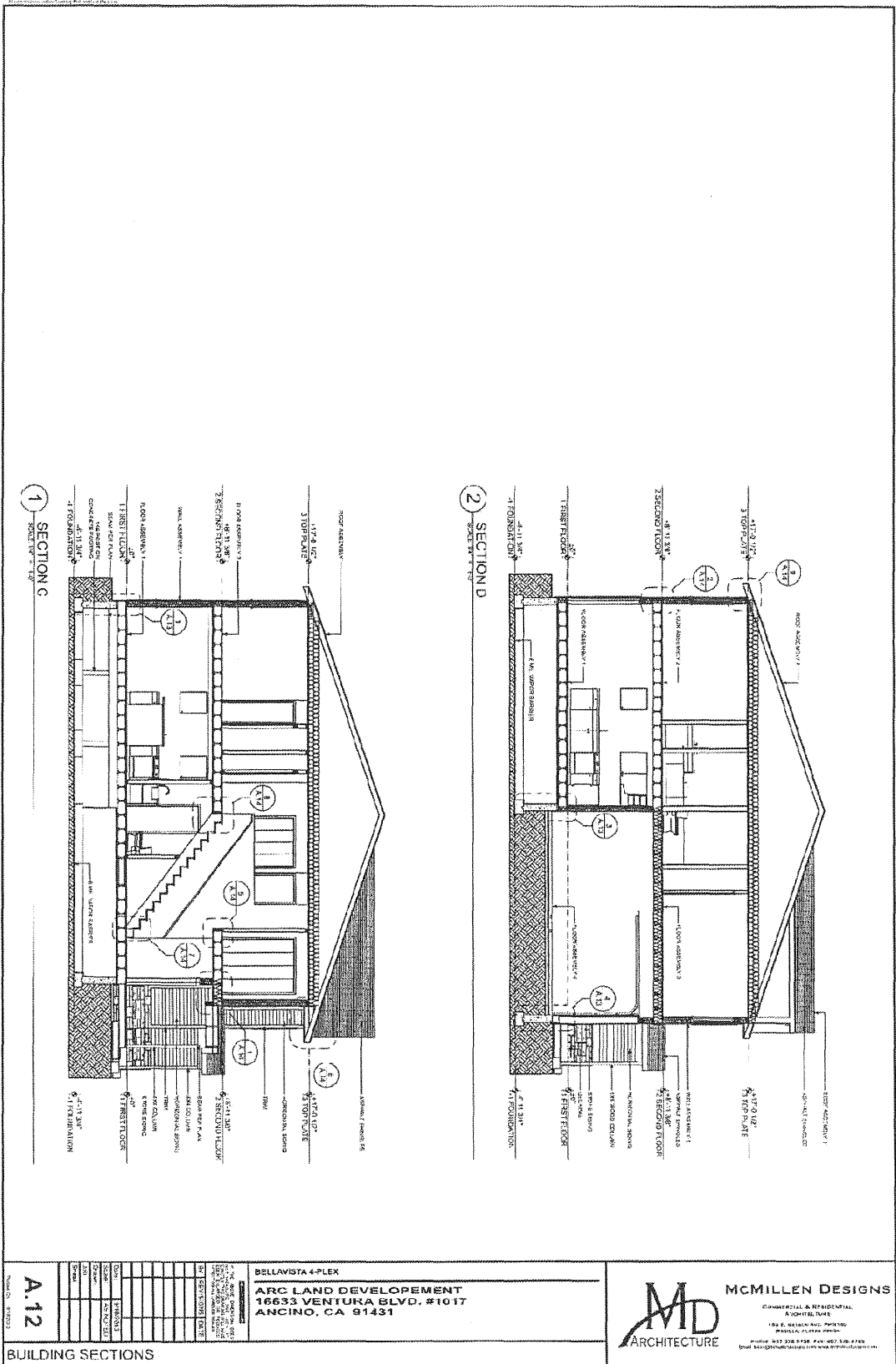


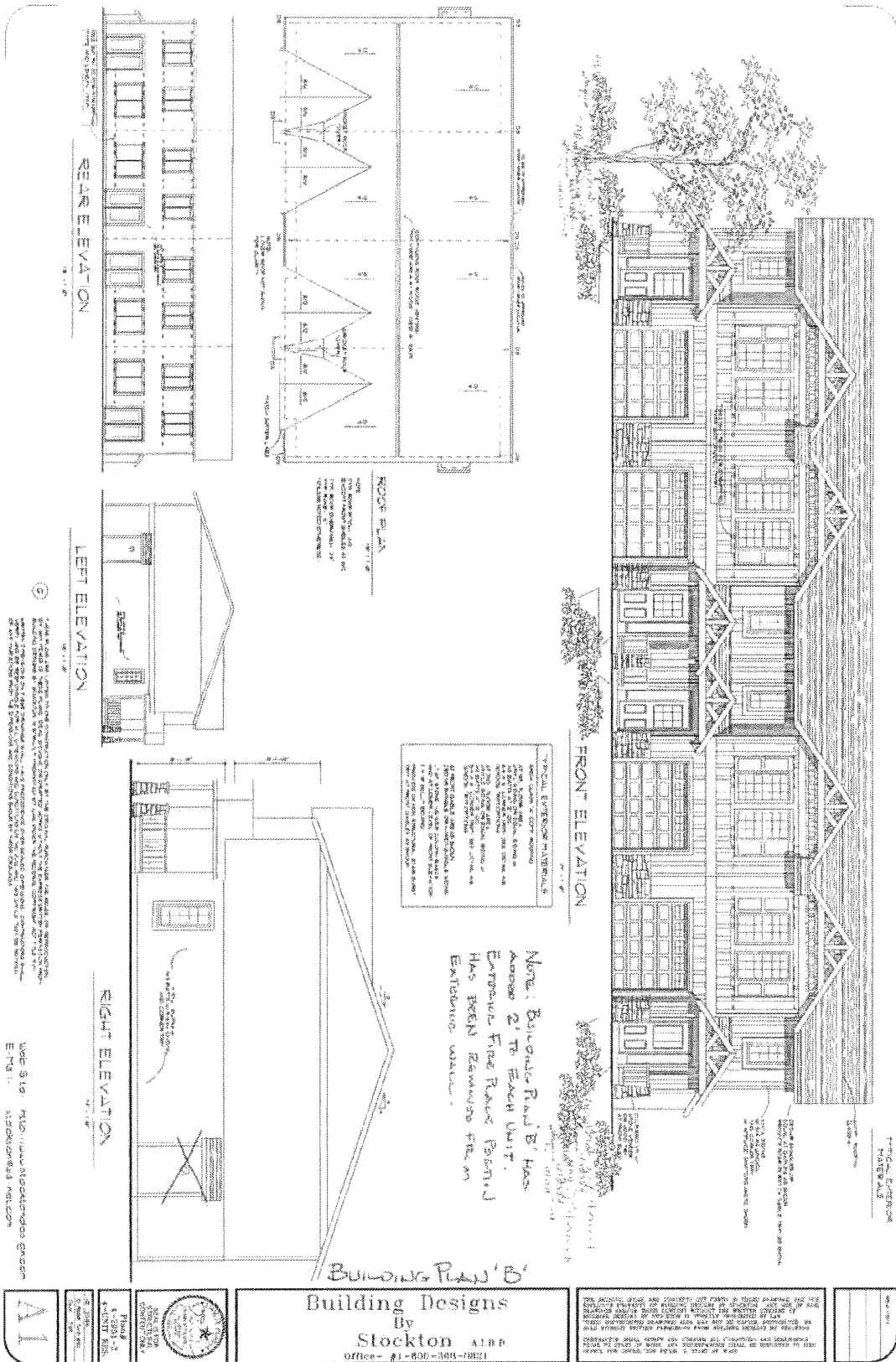


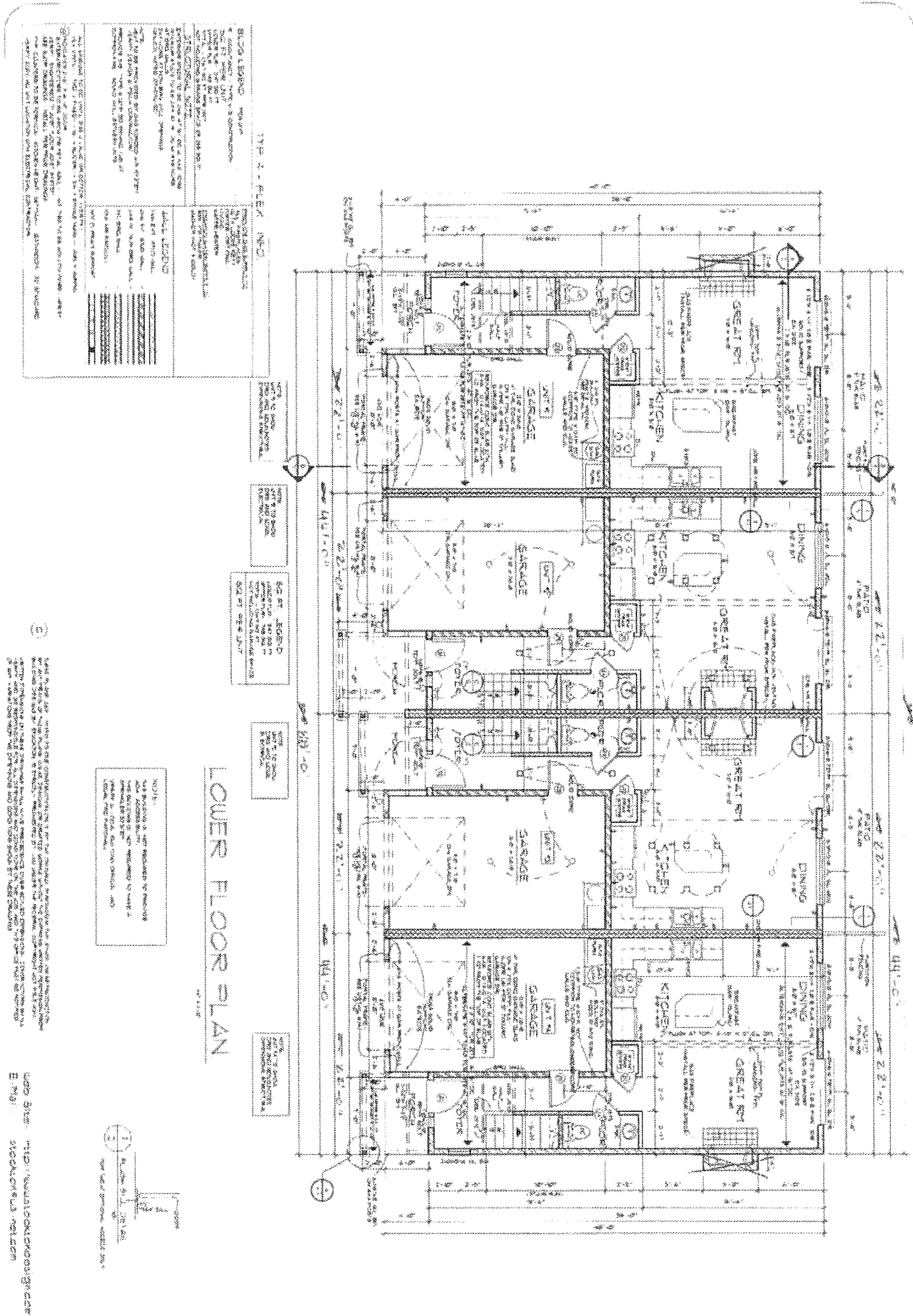




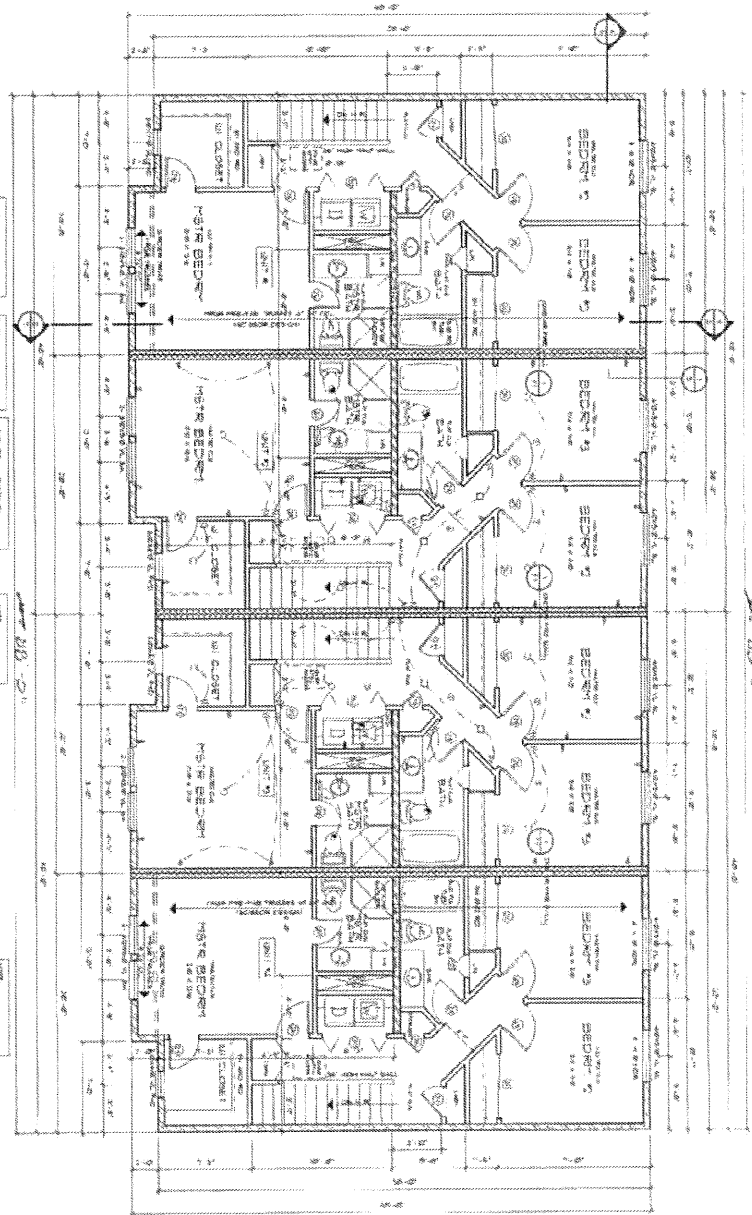








<p>1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.</p> <p>2. ALL WALLS ARE TO BE CONCRETE BLOCK WITH INTERIOR FINISH.</p> <p>3. ALL FLOORS ARE TO BE CONCRETE WITH FINISH.</p> <p>4. ALL CEILING ARE TO BE CONCRETE WITH FINISH.</p> <p>5. ALL ROOF ARE TO BE ASPH/FLY WITH FINISH.</p> <p>6. ALL EXTERIOR WALLS ARE TO BE CONCRETE BLOCK WITH FINISH.</p> <p>7. ALL EXTERIOR FLOORS ARE TO BE CONCRETE WITH FINISH.</p> <p>8. ALL EXTERIOR ROOF ARE TO BE ASPH/FLY WITH FINISH.</p> <p>9. ALL EXTERIOR WALLS ARE TO BE CONCRETE BLOCK WITH FINISH.</p> <p>10. ALL EXTERIOR FLOORS ARE TO BE CONCRETE WITH FINISH.</p> <p>11. ALL EXTERIOR ROOF ARE TO BE ASPH/FLY WITH FINISH.</p> <p>12. ALL EXTERIOR WALLS ARE TO BE CONCRETE BLOCK WITH FINISH.</p> <p>13. ALL EXTERIOR FLOORS ARE TO BE CONCRETE WITH FINISH.</p> <p>14. ALL EXTERIOR ROOF ARE TO BE ASPH/FLY WITH FINISH.</p> <p>15. ALL EXTERIOR WALLS ARE TO BE CONCRETE BLOCK WITH FINISH.</p> <p>16. ALL EXTERIOR FLOORS ARE TO BE CONCRETE WITH FINISH.</p> <p>17. ALL EXTERIOR ROOF ARE TO BE ASPH/FLY WITH FINISH.</p> <p>18. ALL EXTERIOR WALLS ARE TO BE CONCRETE BLOCK WITH FINISH.</p> <p>19. ALL EXTERIOR FLOORS ARE TO BE CONCRETE WITH FINISH.</p> <p>20. ALL EXTERIOR ROOF ARE TO BE ASPH/FLY WITH FINISH.</p>	<p>1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.</p> <p>2. ALL WALLS ARE TO BE CONCRETE BLOCK WITH INTERIOR FINISH.</p> <p>3. ALL FLOORS ARE TO BE CONCRETE WITH FINISH.</p> <p>4. ALL CEILING ARE TO BE CONCRETE WITH FINISH.</p> <p>5. ALL ROOF ARE TO BE ASPH/FLY WITH FINISH.</p> <p>6. ALL EXTERIOR WALLS ARE TO BE CONCRETE BLOCK WITH FINISH.</p> <p>7. ALL EXTERIOR FLOORS ARE TO BE CONCRETE WITH FINISH.</p> <p>8. ALL EXTERIOR ROOF ARE TO BE ASPH/FLY WITH FINISH.</p> <p>9. ALL EXTERIOR WALLS ARE TO BE CONCRETE BLOCK WITH FINISH.</p> <p>10. ALL EXTERIOR FLOORS ARE TO BE CONCRETE WITH FINISH.</p> <p>11. ALL EXTERIOR ROOF ARE TO BE ASPH/FLY WITH FINISH.</p> <p>12. ALL EXTERIOR WALLS ARE TO BE CONCRETE BLOCK WITH FINISH.</p> <p>13. ALL EXTERIOR FLOORS ARE TO BE CONCRETE WITH FINISH.</p> <p>14. ALL EXTERIOR ROOF ARE TO BE ASPH/FLY WITH FINISH.</p> <p>15. ALL EXTERIOR WALLS ARE TO BE CONCRETE BLOCK WITH FINISH.</p> <p>16. ALL EXTERIOR FLOORS ARE TO BE CONCRETE WITH FINISH.</p> <p>17. ALL EXTERIOR ROOF ARE TO BE ASPH/FLY WITH FINISH.</p> <p>18. ALL EXTERIOR WALLS ARE TO BE CONCRETE BLOCK WITH FINISH.</p> <p>19. ALL EXTERIOR FLOORS ARE TO BE CONCRETE WITH FINISH.</p> <p>20. ALL EXTERIOR ROOF ARE TO BE ASPH/FLY WITH FINISH.</p>
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UPPER FLOOR PLAN

NOTES: 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

2. ALL WALLS ARE TO BE CONCRETE BLOCK WITH INTERIOR FINISH.

3. ALL FLOORS ARE TO BE CONCRETE WITH FINISH.

4. ALL CEILING ARE TO BE CONCRETE WITH FINISH.

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20. ALL EXTERIOR ROOF ARE TO BE ASPH/FLY WITH FINISH.

DATE: 11/11/11

BY: [Signature]

PROJECT: [Project Name]

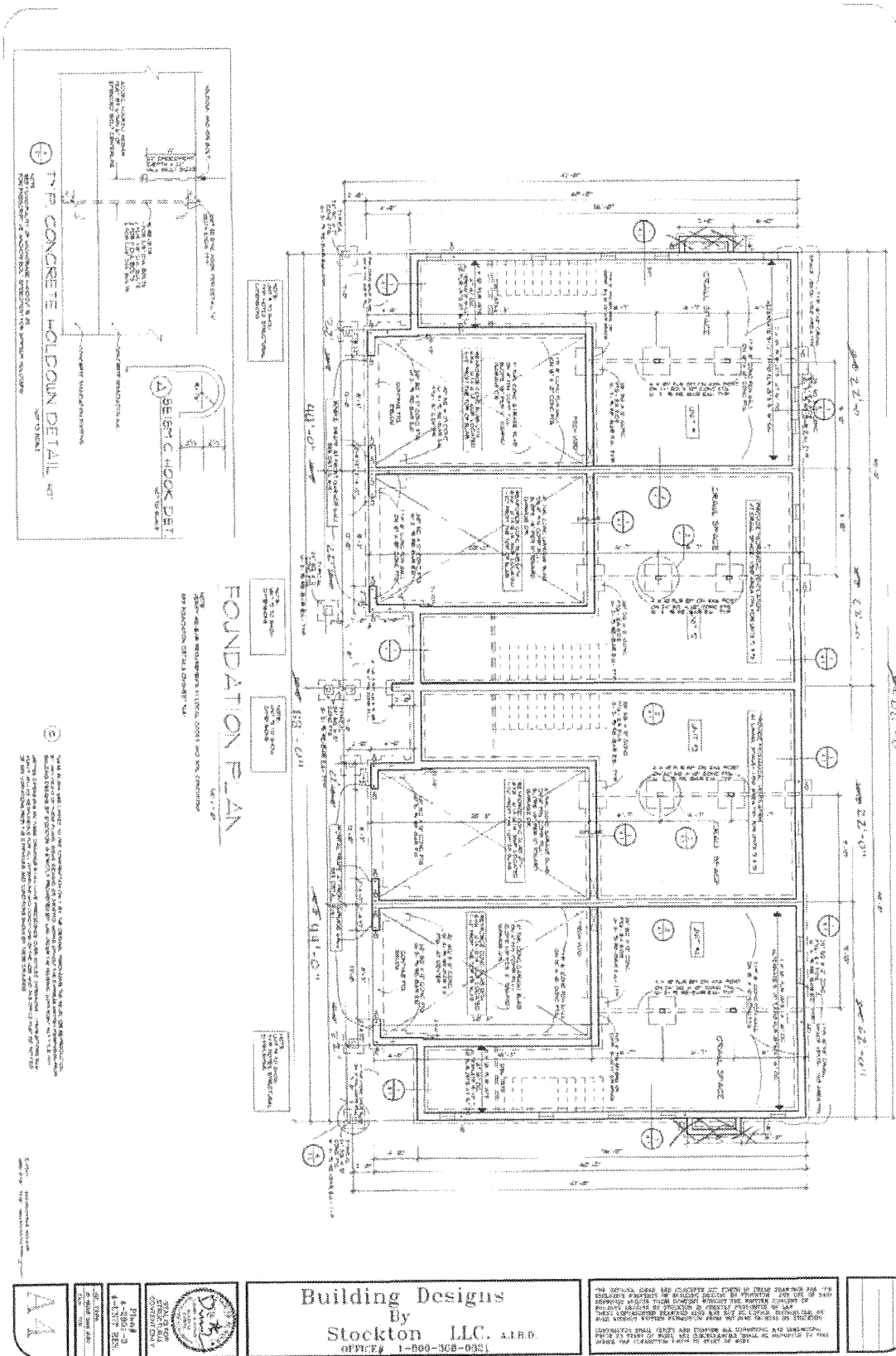
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ADDRESS: [Address]

PHONE: [Phone Number]

EMAIL: [Email Address]

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CROSS SECTION

CABINET ELEVATIONS

STAIR SECTION

TYP. WALL DETAIL

CROSS SECTION

CROSS SECTION

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FRONT ELEVATION

REAR ELEVATION

LEFT ELEVATION

RIGHT ELEVATION

ROOF PLAN

Building Plan A

Building Designs
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