

By: Planning  
Public Hearing: 04/08/14  
Adopted: 04/08/14

**WASILLA PLANNING COMMISSION  
RESOLUTION SERIAL NO. 14-04 (AM)**

**A RESOLUTION OF THE WASILLA PLANNING COMMISSION RECOMMENDING APPROVAL OF A PLANNED UNIT DEVELOPMENT (PUD) TO DEVELOP A 16-LOT SUBDIVISION WITH ONE FOURPLEX PER LOT (A TOTAL OF 64 RESIDENTIAL DWELLING UNITS.)**

---

WHEREAS, Alaska Rim Engineering, Inc., agent for JYG Investment Group, LLC, submitted an application on March 14, 2014 for approval of a PUD to develop a 5.82 acre parcel into a 16-lot subdivision with 64 residential dwelling units (one fourplex per lot); and

WHEREAS, the subject property on the eastern side of Old Matanuska Road just north of E. Glenwood Avenue and is located on Lot 2C, Creekside Plaza Subdivision (Plat No. 2014-21 – recently subdivided from Lot 2A, Creekside Plaza Subdivision); and

WHEREAS, WMC 16.16.070 states that a PUD is approved as rezoning overlay district; and

WHEREAS, the Planning Commission is required to make a recommendation with written findings to the City Council for all rezoning/PUD request; and

WHEREAS, the Wasilla Planning Office mailed notices of the request to 109 property owners within 1,200 radial feet of the proposed development; and

WHEREAS, the public hearing date and time was publicly advertised; and

WHEREAS, the Wasilla Planning Commission deliberated on this request taking into account the information submitted by the applicant, the evaluation and recommendations of staff contained in the staff report, public testimony - both written

and verbal comments, the applicable provisions of the Wasilla Comprehensive Plan, and other pertinent information brought before them; and

WHEREAS, the Wasilla Planning Commission has developed Findings of Fact to summarize the basic facts and reasoning of the commission; and

WHEREAS, after due consideration, the Planning Commission hereby determines that this application meets all applicable provisions of Wasilla Municipal Code.

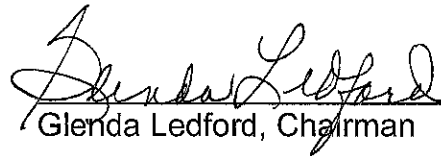
NOW, THEREFORE BE IT RESOLVED, that the Wasilla Planning Commission recommends that the City Council approve this PUD application with the Findings of Fact attached as Exhibit A and incorporated herein and with the following conditions:

1. All development on the site must substantially comply with the site plan and landscape plans attached as Exhibit B. Any changes to the plans must be submitted to the City Planner for review. Minor revisions may be approved by the City Planner and all other changes must be approved as a rezoning request/amendment to the PUD.
2. The applicant must replant a vegetated buffer along Old Matanuska Road in front of Lots 14-16 that provides a screening effect similar to what currently exists and in a manner that allows safe interaction between the driveways and the existing bike path.
3. The applicant must provide evidence of the creation of a homeowner's association and associated restrictions that prohibit the construction of fences within the subdivision and maintains and preserves all vegetated and grassed areas and bike path as open spaces for the enjoyment of all of the residents prior to occupancy of any of the buildings on the site.
4. No activity may commence on the site until all construction and landscape guarantees have been posted with and approved by the City.

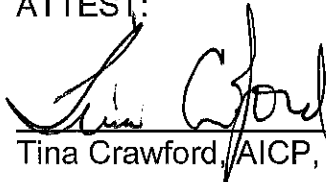
5. The applicant shall submit a final PUD overlay district plan to the City Planner within one year after the date of the approval of the preliminary PUD overlay district plan as required in WMC 16.20.030(F).
6. The applicant must obtain the required driveway and water/sewer permits from the City Public Works Department. The proposed drainage plan must be approved by the City Public Works Director prior to any construction on the site.

ADOPTED by the Wasilla Planning Commission on April 8, 2014.

APPROVED:

 4/10/14  
Glenda Ledford, Chairman      Date

ATTEST:

  
Tina Crawford, AICP, City Planner

VOTE:      YES: Dean, Kelly, and Ledford  
              NO: Means and Pinard

**EXHIBIT A**  
**Wasilla Planning Commission Resolution 14-04**  
**FINDINGS OF FACT**

**COMPLIANCE WITH WMC 16.16.050 – GENERAL APPROVAL CRITERIA**

**16.16.050**      *An administrative approval, use permit, elevated administrative approval, elevated use permit or conditional use may be granted if the following general approval criteria and any applicable specific approval criteria of Section 16.16.060 are complied with. The burden of proof is on the applicant to show that the proposed use meets these criteria and applicable specific criteria for approval. An approval shall include a written finding that the proposed use can occur consistent with the comprehensive plan, harmoniously with other activities allowed in the district and will not disrupt the character of the neighborhood. Such findings and conditions of approval shall be in writing and become part of the record and the case file.*

**16.16.050(1)&(5)**      *Neighbors/Neighborhoods. Due deference has been given to the neighborhood plan or comments and recommendations from a neighborhood with an approved neighborhood plan.*

Finding:                      This criterion is not applicable since this parcel is not part of an adopted neighborhood plan.

**16.16.050(2)**      *Plans. The proposal is substantially consistent with the city comprehensive plan and other city adopted plans.*

Finding:                      The proposed use is consistent with the Comprehensive Plan's Mixed Use Future Land Use Map designation and the Commercial zoning district that implements the Comprehensive Plan.

**16.16.050(3)**      *Special Uses. The proposal is substantially consistent with the specific approval criteria of Section 16.16.060.*

Finding:                      The specific approval criteria under 16.16.060 are not applicable since multi-family residential is not one of the special uses with additional criteria.

**16.16.050(4)**      *Reviewing Parties. Due deference has been given to the comments and recommendations of reviewing parties.*

Finding: The City mailed 109 notices to neighboring property owners within 1200', 25 review agencies that are typically provided with the opportunity to comment, and the Planning Commission and City Council. At the time of packet preparation, only one comment was received that expressed concerns regarding the availability of water/sewer to serve the development and the traffic from the proposed 64 units. As indicated in the findings and the application packet, the development has direct access onto a major collector roadway (Old Matanuska Road) and will connect to city water and sewer services. Regarding the number of dwelling units, the Commercial zoning district has no limit on density provided that all other criteria are met.

Any comments received after distribution of the packet will be provided at the public hearing and be addressed at that time.

**16.16.050(6) *Fire Safety and Emergency Access. The proposal shall not pose a fire danger as determined by the State Fire Marshal or the fire chief of the district in which the proposed use is located. Adequate access for emergency and police vehicles must be provided.***

Finding: The MSB Fire Chief's office will review the construction plans for compliance with all applicable fire codes, building codes and emergency access as related to the public health, safety and welfare prior to construction. Access for emergency vehicles will be provided from Old Matanuska Road and the proposed subdivision road.

**16.16.050(7) *Traffic. The proposed use shall not overload the street system with traffic or result in unsafe streets or dangers to pedestrians.***

Finding: The proposed subdivision will be located at the western end of Old Matanuska Road, which is a major collector road. This multi-family development will not overload the street system or create unsafe streets or dangers to pedestrians.

**16.16.050(8) *Dimensional Standards. The dimensional requirements of Section 16.24.010 are met.***

Finding: The attached site plan submitted by the applicant either complies with or requests the necessary variances as part of the PUD to the minimum setbacks and maximum height requirements of §16.24.010. The applicant has provided a table outlining the setback variances needed for this development in their PUD narrative. NOTE: Although they identify the need for side setback

variances for several lots, the Commercial zoning district allows a zero side setback provided that the building construction meets the State of Alaska Fire and Life Safety Regulations.

**16.24.050(9)**      ***Parking. The parking, loading areas, and snow storage sites for the proposed development shall be adequate, safe and properly designed. The developer may be required to install acceptable lighting at pedestrian or vehicular access points.***

Finding:                      The site plan provides the required parking and snow storage areas.

**16.16.050(10)**      ***Utilities. The proposed use shall be adequately served by water, sewer, electricity, on-site water or sewer systems and other utilities.***

Finding:                      The site is adequately served by water and sewer and other utilities are currently available in the area.

**16.16.050(11)**      ***Drainage. The proposed use shall provide for the control of runoff during and after construction. All roads and parking areas shall be designed to alleviate runoff into public streets, adjoining lots and protect rivers lakes and streams from pollution. Uses may be required to provide for the conservation of natural features such as drainage basins and watersheds, and land stability.***

Finding:                      The proposed drainage plan indicates on-site storage for runoff from the site. Additionally, in-depth review and approval of the plans will be required by the Public Works department prior to construction.

**16.16.050(12)**      ***Large Developments. Residential development of more than four units or non-residential development of more than ten thousand (10,000) square feet gross floor area may be required to provide a site plan showing measures to be taken for the preservation of open space, sensitive areas and other natural features; provision of common signage; provision for landscaping and provisions for safe and effective circulation of vehicles, pedestrians and bicycles. Nonresidential large developments must be located with frontage on one of the following class of streets: interstate, minor arterial, major collector or commercial.***

Finding: The site plan indicates sufficient open space, vehicle and pedestrian circulation, and landscaping. According to the applicant, all vegetated and grassed areas will be dedicated as common area for the development and will be maintained and managed by a homeowner's association. Fences will not be permitted so all residents will be able to utilize the open areas and a bicycle/pedestrian path will provide dedicated access from the interior lots to the path along Old Matanuska Road.

**16.16.050(13) *Peak Use. The proposed use shall not result in significantly different peak use characteristics than surrounding uses or other uses allowed in the district.***

Finding: There should not be different peak use characteristics than the surrounding uses or area since the surrounding area is developed with higher density residential uses.

**16.16.050(14) *Off-Site Impacts. The proposal shall not significantly impact surrounding properties with excessive noise, fumes or odors, glare, smoke, light, vibration, dust, litter, or interference in any radio or television receivers off the premises, or cause significant line voltage fluctuation off the premises. Radio transmitters and any electronic communications equipment regulated by the Federal Communications Commission is specifically excluded from regulation by this section. Welding, operation of electrical appliances or power tools, or similar activities that cause off site impacts as described above are specifically regulated by this subsection. Buffering may be required to ameliorate impacts between residential and nonresidential uses. The owner of the property upon which the buffer is constructed is responsible for the maintenance of the buffer in a condition that will meet the intent of these criteria.***

Finding: The proposed use should not generate any negative impacts to the surrounding properties.

**16.16.050(15) *Landscaping. The proposed use shall be designed in a manner that minimizes the removal of trees and vegetative cover, and shall conform to the standards in this title concerning the provision and maintenance of landscaping, and any landscaping plan that is required for the proposed use under this title. The approval authority also may condition approval on the provision of the following:***

**a. *A fenced storage area for common use, adequate to store boats, trailers, snowmobiles, recreational vehicles and similar items.***

**b. Adequately sized, located and screened trash receptacles and areas.**

Finding:

The applicant is requesting approval to remove all of the existing vegetation except a 15' wide strip of trees along the on the north, south, and eastern property boundaries. They propose to grass the remaining area and plant the required 36 trees and 72 shrubs throughout the development.

However, this is an area where the majority of the lots (including the condominium development to the southeast have retained a thick, natural buffer of trees and vegetation along Old Matanuska Road. The existing multi-purpose path along the east side of Old Matanuska Road is part of the City's parks and trail system and leads to a newly acquired natural, passive recreation park along Cottonwood Creek on the west side of Old Matanuska Road.

Therefore, staff is recommending that the PUD approval be conditioned upon them preserving all of the existing vegetation in the right of way along Old Matanuska Road that abuts Lots 1 and 13 including the existing vegetation on Lots 1 and 13 between the western building edge to the multi-purpose path to preserve the natural beauty of this area. A minimal amount of clearing at the intersection of Kinzi Circle and Old Matanuska road may be cleared for the placement of a subdivision entrance sign/feature, subject to review and approval by the City Planner or Planning Commission. In addition, they are proposing the clear the trees and natural vegetation in the right-of-way abutting Lots 14-16 to install water lines, staff is recommending that they be retain the existing trees and vegetation to the greatest extent possible and then replant a minimum of a 20' wide buffer along Old Matanuska Road that screens and softens the appearance of these units from the roadway. The replanted buffer should achieve the same buffer effect as a 20' wide swath of the existing trees and vegetation.

**16.16.050(16)**

***Walkways, Sidewalks and Bike Paths. Pedestrian walkways or bicycle paths may be required where necessary to provide reasonable circulation or access to schools, playgrounds, shopping areas, transportation or other community facilities. Improvements must be constructed to standards adopted by the engineer.***

Finding:

An existing multi-purpose path is located along Old Matanuska Road and the applicant is proposing to install a new bike/pedestrian path that will provide direct access to the existing path.



16.16.050(17)

***Water, Sewage and Drainage Systems. If a proposed use is within five hundred (500) feet of an existing, adequate public water system, the developer may be required to construct a distribution system and the connection to the public system. A developer may be required to increase the size of existing public water, sewer or drainage lines or to install a distribution system within the development. The commission may require any or all parts of such installation to be oversized. The developer must submit to the engineer an acceptable plan that shows that if within ten (10) years an increase in capacity will be required to serve other areas how these needs will be met by oversized facilities. When installation of oversized facilities is required, the developer shall install such facilities at their own expense. The developer shall be reimbursed the amount determined by the engineer to be the difference in cost between the installed cost of the oversized utility lines and the installed cost of the utility lines adequate to serve both the development concerned and all other land to be served by the lines which is owned or under the control of the developer, provided the developer may not be required to install facilities unless funds for such oversizing have been appropriated for the purpose by the city and there is a sufficient unencumbered balance in the balance in the appropriation. No reimbursement may be made unless the developer has entered into such agreement with the city, including conveyances of personal property including lines, lift stations and valves and conveyances of land or rights in land, as the city determines may be necessary to ensure complete control by the city of its sewer, drainage and water lines when they are extended to serve the property of the developer. Notwithstanding the requirement that the developer construct improvements to existing systems, the commission may elect to accomplish the design or construction, or both, of improvements to be made to existing public systems. In such a case, the commission may require advance payment to the city of the estimated cost of work to be accomplished by the city. The developer shall reimburse the city for all expenses of such design or construction not paid in advance. A public system is adequate if, in the judgment of the engineer, it is feasible for the developer to make improvements to the public system which will provide the increased capacity necessary to serve the existing users and the new development at the same level as is being provided to the existing users. Prior to approval of a use for which a community water system is required, the developer must submit evidence showing that there is available a satisfactory source of water. A source of water is satisfactory only if it can be shown that the proposed source***

***will produce water sufficient in quality and quantity to supply the development. The water system and the connection between such distribution systems and the source must be sized and constructed to meet fire flow and hydrant requirements for fire protection and that the developer has obtained or can obtain a water appropriation permit or certificate for the water from the state. The system must be built to city specifications available from the engineer.***

Finding: City utilities are in the immediate area and sufficient capacity exists for the proposed use. The applicant will coordinate with the Public Works department to obtain all necessary City permits.

**16.16.050(18)** ***Historic Resources. The proposed use shall not adversely impact any historic resource prior to the assessment of that resource by the city.***

Finding: At this time there are no known historic resources on the site. However, the Matanuska-Susitna Borough Cultural Resources Office was notified of the plans to develop this site.

**16.16.050(19)** ***Appearance. The proposed use may be required to blend in with the general neighborhood appearance and architecture. Building spacing, setbacks, lot coverage, and height must be designed to provide adequate provisions for natural light and air.***

Finding: There is adequate spacing between the buildings and the proposed use will be compatible with the surrounding uses.

**16.16.050(20)** ***Open Space and Facilities. The applicant may be required to dedicate land for open space drainage, utilities, access, parks or playgrounds. Any dedication required by the city must be based on a written finding that the area is necessary for public use or safety and the dedication is in compliance with adopted municipal plans and policy. The city finding shall conclude that a direct connection exists between the development and the need for the provision of the dedication...***

Finding: According to the applicant, all vegetated and grassed areas will be dedicated as common area for the development and will be maintained and managed by a homeowner's association. Fences will not be permitted so all residents will be able to utilize the open areas and a bicycle/pedestrian path will provide dedicated access from the interior lots to the path along Old Matanuska Road.

**16.16.050(21) Winter Hassles. The proposed use shall not significantly increase the impact on the surrounding area from glaciation or drifting snow.**

Finding: There are no foreseeable problems associated with winter conditions are anticipated for the proposed use and all snow storage will be accommodated on site.

**COMPLIANCE WITH WMC 16.16.070 - REZONING**

**A. Initiation. A rezoning may be initiated by the developer, the planner, any member of the commission, a city council member, the mayor, or by a petition bearing the signatures of the owners of at least fifty-one (51) percent of the owners of property within the area proposed to be rezoned.**

Finding: This criterion is met since the subject rezoning was initiated by the property owner.

**B. Restrictions. Rezoning of an area less than two acres shall not be considered unless the rezoning involves the contiguous expansion of an existing zone, or a planned unit development overlay district. Streets or other rights-of-way shall not be included in calculating the minimum area for a rezoning. The area to be rezoned shall be a logical, integrated area.**

Finding: This criterion is met since the parcel is approximately 5.8 acres.

**C. Procedure. The application, acceptance notice, review and decision procedures for a rezoning shall follow the procedures set forth for a conditional use in Section 16.16.040. If the commission fails to act within twenty (20) days of the close of the hearing the rezoning request shall be considered approved and shall be forwarded to the council.**

Finding: All applicable application, notice, review, and decision procedures were followed consistent with Section 16.16.040.

**D. Criteria. The commission shall make a recommendation to the council based on written findings that the appropriate following criteria have been addressed:**

**1. Due deference has been given to the neighborhood plan; or comments and recommendations from a neighborhood with an approved neighborhood plan;**

Finding: This criterion is not applicable since there are not any approved neighborhood plans in the area. However, notices were mailed to all property owners within 1200' to inform them of the proposed development and give them time to provide comments/concerns.

**2. The proposed rezoning substantially complies with Section 16.16.050, and Section 16.20.030 in the case of the establishment or modification of a PUD overlay district;**

Finding: The proposed PUD substantially complies with the applicable provisions of Section 16.16.050 General Approval Criteria and the PUD requirements in WMC 16.20.030. Detailed findings regarding consistency with the PUD requirements are included in this report. Additional in-depth review for consistency with Title 16 will be done by planning staff upon receipt of permit applications for future development on these parcels.

**3. The proposed rezoning is in an area with adequate services, including as appropriate; roads, parking, sidewalks, water, sewer, gas, electricity, drainage, police and fire protection, or the developer has agreed to provide all the necessary improvements or services for the area;**

Finding: The proposed development is in an area that has access to the services above or will provide them at time of development.

**4. The comments from reviewing parties (Section 16.08.040) on the proposed rezoning have been adequately addressed;**

Finding: At the time of packet preparation, only one comment was received that expressed concerns regarding the availability of water/sewer to serve the development and the traffic from the proposed 64 units. As indicated in the findings and the application packet, the development has direct access onto a major collector roadway (Old Matanuska Road) and will connect to city water and sewer services. Regarding the number of dwelling units, the Commercial zoning district has no limit on density provided that all other criteria are met.

Any comments received after distribution of the packet will be provided at the public hearing and be addressed at that time.

**5. There is a demonstrated need for additional land in the zoning district to accommodate uses allowed;**

Finding: This criterion is not applicable since the zoning designation will remain Commercial and the proposed multi-family use is consistent with the zoning. The PUD provides additional flexibility and relaxation of development standards.

**6. The resulting district or expanded district will be a logical, integrated area; and**

Finding: The proposed PUD is consistent with the multi-family uses along Old Matanuska Road.

**7. The rezoning is in conformance with the city comprehensive plan.**

**FINDING:** The proposed PUD is consistent with the intent of the Mixed Use future land use designation in the Comprehensive Plan. The implementation policies of the Comprehensive Plan states that the appropriate zoning for a FLUM should be the most appropriate for the area and should take into consideration the purpose of the zoning district, the proposed rezoning site, and the zoning and/or development pattern of the surrounding area.

**COMPLIANCE WITH WMC 16.20.030 – PLANNED UNIT DEVELOPMENT OVERLAY DISTRICT**

**A. Purpose.** *The purpose of the PUD overlay district is to promote innovative and efficient land use and design by permitting greater flexibility in zoning requirements than this title generally permits. This flexibility should result in a more efficient and aesthetic development of the project site, allowing higher residential density or increased intensity or mix of uses than would be permitted in the underlying zoning district, while preserving harmony with uses in the surrounding area.*

Finding: The relaxation of the setback and land clearing sections of the code allow a higher density that would otherwise be reached on this parcel. Developing more dense residential uses on the parcel is consistent with the other multi-family development in the area and is very close to the commercial core of the city, which provides the opportunity to walk or bike to obtain goods and services or to get to work.

**B. Application.** *A PUD overlay district may be located in any zoning district, and may be used for any residential, commercial or industrial use or combination thereof. The terms and conditions of a PUD overlay district supplement the regulations in the underlying zoning district, and modify and supersede any conflicting regulations in the underlying zoning district. A PUD overlay district may be applied only to a parcel having an area not less than two acres, unless the planner finds one or more of the following factors justifies applying a PUD overlay district to a parcel having an area less than two acres:*

- 1.** *Applying a PUD overlay district will permit reasonable development of the parcel while preserving an unusual physical or topographic feature of importance to the area as a whole;*

2. ***The parcel is adjacent to an existing PUD overlay district, and will be developed as an extension of, or compatibly with, that existing district;***
3. ***The project will use design features that benefit the general public and surrounding area, and that would not be permitted in the underlying zoning district;***
4. ***The project will provide a desirable mixture of uses, or meet a need for affordable residential, commercial or industrial development that would not be feasible under the regulations in the underlying zoning district; or***
5. ***The PUD overlay district will facilitate redevelopment in the downtown area as described in the comprehensive plan.***

Finding: The proposed PUD meets this criterion since the parcel is approximately 5.8 acres.

***C. Permitted Uses. The permitted uses in a PUD overlay district shall be specified in the ordinance establishing the district, and may include any uses permitted in the underlying zoning district by administrative approval, use permit or conditional use permit that are appropriate in furtherance of the goals of the comprehensive plan and designed to complement each other. In addition, the following uses are permitted in a PUD overlay district:***

1. ***Multifamily dwellings.***
2. ***The following uses that only serve permitted residential uses within the PUD overlay district: community buildings; indoor or outdoor recreation facilities; and recreational vehicle storage.***
3. ***Retail commercial uses that serve principally the permitted residential uses within the PUD overlay district and the surrounding neighborhood.***

Finding: The site plan for the proposed PUD indicates that one multi-family structure (fourplex) will be developed on each proposed lot, which is permitted in the Commercial zoning district as a Use Permit.

***D. Design and Development Standards. All uses and structures in a PUD overlay district shall conform to the following design and development standards:***

1. ***Buildings, parking areas, pedestrian, bicycle and vehicular ways, and utility easements shall be designed to promote public safety, minimize conflict between uses, and reasonably maintain topography and other natural features.***

Finding: The proposed PUD provides adequate building separation, parking areas, pedestrian and bicycle access and interconnectivity within

the site and significantly maintains the topography and other natural features.

2. ***The design shall take into account the relationship of the site to the surrounding areas and between differing uses on the site, and shall minimize adverse impacts between the project and adjacent land uses, and different types of potentially incompatible land uses. Incompatibilities to be mitigated include traffic congestion, noise, visual intrusion and hours of operation.***

Finding: The proposed PUD development is consistent with the surrounding land uses and will not create negative impacts.

3. ***If existing topographical or other barriers within ten (10) feet of the perimeter of the PUD overlay district do not sufficiently mitigate incompatibilities with adjacent existing uses, one or more of the following shall be required:***
  - a. ***Structures located on the perimeter of the district shall be set back in accordance with the front yard setback of the underlying zoning district.***
  - b. ***Screening or buffering shall be provided on the perimeter of the district in accordance with Section 16.33.030(G).***

Finding: The proposed PUD is compatible with the surrounding multi-family land uses and does not require any screening or buffering.

4. ***Common open space shall meet the following requirements:***
  - a. ***The common open space shall be for amenity or recreational purposes, and appropriate to the size and character of the district, including its residential density, expected number of residents or employees, topography, and the number and type of dwellings.***
  - b. ***The common open space shall be suitably landscaped for its intended use, except that natural features worthy of preservation may be left unimproved.***
  - c. ***Any buildings, structures and improvements in the common open space shall be appropriate to the uses that are authorized for the common open space.***
  - d. ***Common open space shall be operated and maintained either through an association of owners of property in the PUD overlay district established under Chapter 34.08 of the Alaska Statutes, or by a public agency that has accepted a dedication of the common open space.***

Finding: The site plan indicates sufficient open space, vehicle and pedestrian circulation, and landscaping. According to the applicant, all vegetated and grassed areas will be dedicated as common area

for the development and will be maintained and managed by a homeowner's association. Fences will not be permitted so all residents will be able to utilize the open areas and a bicycle/pedestrian path will provide dedicated access from the interior lots to the path along Old Matanuska Road.

5. ***Changes in Required Dimensions. The minimum lot and yard dimension requirements in the underlying zoning district may be waived for a PUD overlay district as necessary to achieve a better design, where compensating design or structural measures ensure adequate separation for fire protection, visual and acoustical privacy, and adequate light and air. Individual parcels in a PUD overlay district may exceed the maximum lot coverage in the underlying zoning district; provided, that the entire PUD overlay district does not exceed the maximum lot coverage. Building height in a PUD overlay district may exceed the maximum permitted in the underlying zoning district by fifty (50) percent; provided, that the design of improvements in the PUD overlay district protects uses and structures both inside and outside the PUD overlay district from adverse impacts on privacy, light and air.***

Finding: The proposed development requires waivers of the minimum setbacks, clearing requirements, and landscaping requirements, which are identified in detail in the applicant's PUD application materials and shown on the proposed site and landscaping plans.

6. ***Required Improvements. All streets, paving, curbs, sidewalks, utilities, street lighting and similar facilities must be developed according to city standards unless specifically waived upon recommendation of the public works director.***

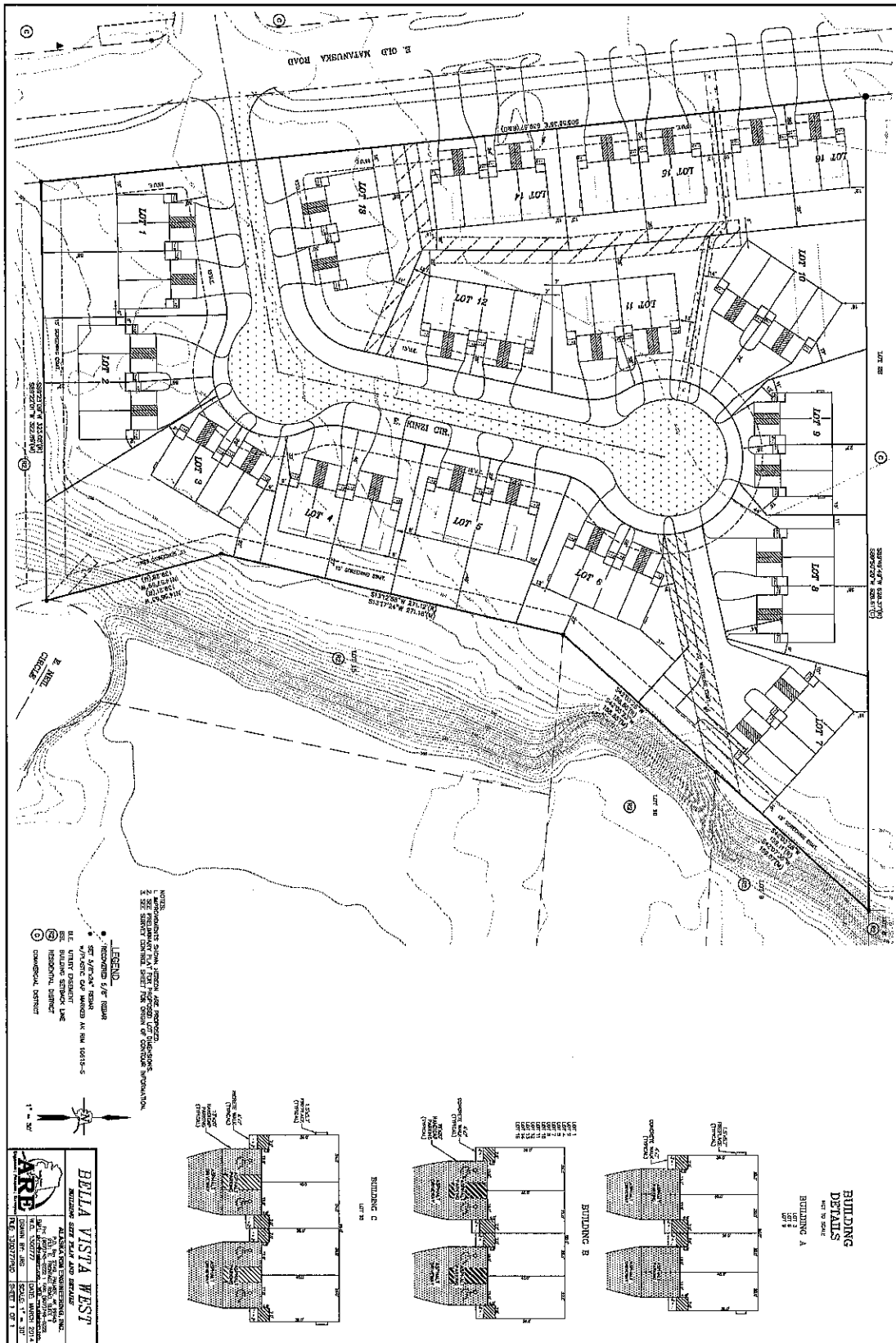
Finding: All improvements will be constructed to applicable city and borough standards.

7. ***Project Phasing. An application for initial approval of a PUD overlay zone may provide for the project to be constructed and finally approved in sequential phases.***

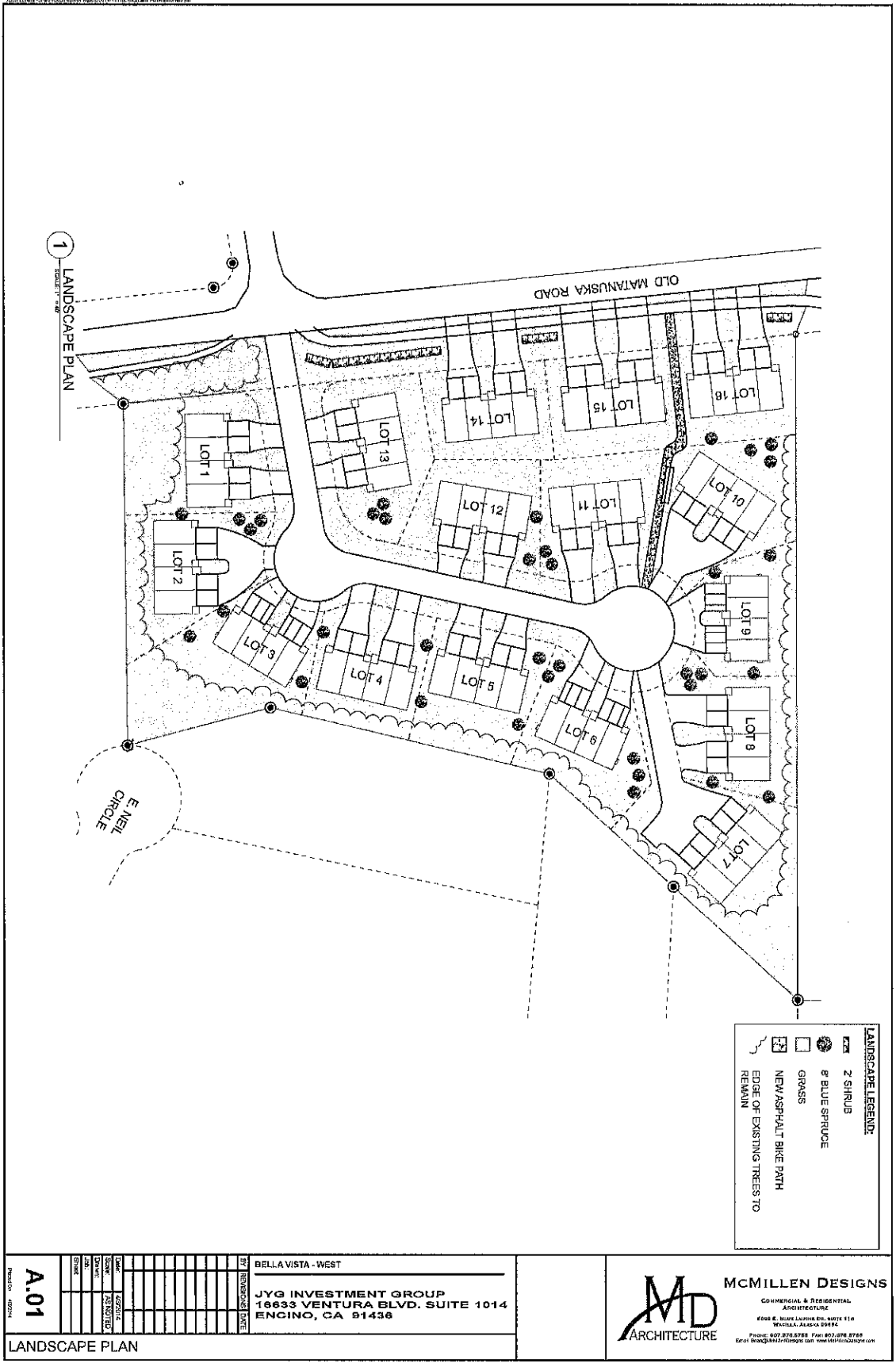
Finding: The applicant is requesting that the PUD be approved for phased development as shown in their application materials.









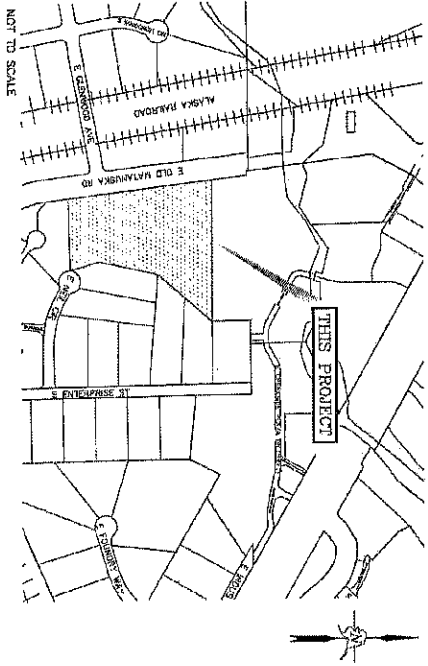
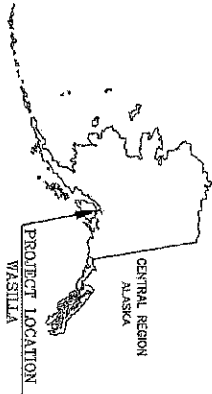


# BELLA VISTA WEST SUBDIVISION

## KINZI CIRCLE

### ROAD & UTILITIES DESIGN

MARCH 2014



Revisions	
NO.	DATE



#### SHEET INDEX

SHEET NO.	DESCRIPTION
	COVER SHEET
G.0	GENERAL NOTES, LEGEND AND ABBREVIATIONS
G.1	SURVEY CONTROL
G.2	PROPOSED SITE PLAN
G.3	KINZI CIRCLE ROAD PLAN AND PROFILE
G.4	SEWER LINES PLAN AND PROFILES
G.5	SEWER DETAILS
G.6	WATERLINES PLAN
G.7	WATERLINE 1 PROFILE
G.8	WATERLINE 2 PROFILE

GENERAL NOTES	DESCRIPTION	EXISTING	PROPOSED
1. ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF PALMER STANDARD SPECIFICATIONS AND UNLESS OTHERWISE NOTED IN SPECIAL PROVISIONS ON THIS PLAN SET.	2' ALUMINUM CURB ON 6"X8" REBAR 2.1/2" ALUMINUM CURB 3.1/2" ROAD SHOULD CURB		
2. CONTRACTOR IS RESPONSIBLE FOR ALL EXISTING UTILITY LOCATIONS EXCEPT FOR THE DRAINAGES SHALL BE CONSIDERED APPROXIMATE AND NOT NECESSARILY CORRECT. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY SHOOTING AND LOCATING UTILITIES WORK. THE CONTRACTOR SHALL ALSO VERIFY EXACT LOCATIONS OF ALL BURIED UTILITIES. UTILITY OWNERS SATISFACTION.	EXISTING UTILITY LOCATIONS EXCEPT FOR THE DRAINAGES SHALL BE CONSIDERED APPROXIMATE AND NOT NECESSARILY CORRECT. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY SHOOTING AND LOCATING UTILITIES WORK. THE CONTRACTOR SHALL ALSO VERIFY EXACT LOCATIONS OF ALL BURIED UTILITIES. UTILITY OWNERS SATISFACTION.		
3. EXISTING UTILITY LOCATIONS EXCEPT FOR THE DRAINAGES SHALL BE CONSIDERED APPROXIMATE AND NOT NECESSARILY CORRECT. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY SHOOTING AND LOCATING UTILITIES WORK. THE CONTRACTOR SHALL ALSO VERIFY EXACT LOCATIONS OF ALL BURIED UTILITIES. UTILITY OWNERS SATISFACTION.	EXISTING UTILITY LOCATIONS EXCEPT FOR THE DRAINAGES SHALL BE CONSIDERED APPROXIMATE AND NOT NECESSARILY CORRECT. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY SHOOTING AND LOCATING UTILITIES WORK. THE CONTRACTOR SHALL ALSO VERIFY EXACT LOCATIONS OF ALL BURIED UTILITIES. UTILITY OWNERS SATISFACTION.		
4. EXISTING UTILITY LOCATIONS EXCEPT FOR THE DRAINAGES SHALL BE CONSIDERED APPROXIMATE AND NOT NECESSARILY CORRECT. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY SHOOTING AND LOCATING UTILITIES WORK. THE CONTRACTOR SHALL ALSO VERIFY EXACT LOCATIONS OF ALL BURIED UTILITIES. UTILITY OWNERS SATISFACTION.	EXISTING UTILITY LOCATIONS EXCEPT FOR THE DRAINAGES SHALL BE CONSIDERED APPROXIMATE AND NOT NECESSARILY CORRECT. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY SHOOTING AND LOCATING UTILITIES WORK. THE CONTRACTOR SHALL ALSO VERIFY EXACT LOCATIONS OF ALL BURIED UTILITIES. UTILITY OWNERS SATISFACTION.		
5. ALL EXISTING SIGNS SHALL BE PROTECTED AND REPAIRED OR REPLACED, AT THE DISCRETION OF THE ENGINEER, TO THE SATISFACTION OF THE ENGINEER.	EXISTING UTILITY LOCATIONS EXCEPT FOR THE DRAINAGES SHALL BE CONSIDERED APPROXIMATE AND NOT NECESSARILY CORRECT. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY SHOOTING AND LOCATING UTILITIES WORK. THE CONTRACTOR SHALL ALSO VERIFY EXACT LOCATIONS OF ALL BURIED UTILITIES. UTILITY OWNERS SATISFACTION.		
6. THE CONTRACTOR SHALL NOTIFY THE OWNER 21 DAYS PRIOR TO DISTURBING ANY SURVEY MONUMENTS, PROPERTY CORNERS AND T.O.W. MONUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY MONUMENTS DAMAGED OR DESTROYED AT THE CONTRACTOR'S EXPENSE.	EXISTING UTILITY LOCATIONS EXCEPT FOR THE DRAINAGES SHALL BE CONSIDERED APPROXIMATE AND NOT NECESSARILY CORRECT. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY SHOOTING AND LOCATING UTILITIES WORK. THE CONTRACTOR SHALL ALSO VERIFY EXACT LOCATIONS OF ALL BURIED UTILITIES. UTILITY OWNERS SATISFACTION.		
7. UNDISBURSED UNPAID EXCAVATION MAY BE USED FOR SLOPE FLATTENING ON THE BACK OF SLOPES AND TO BE SLOTTED FROM BOTTOM OF THE EXCAVATION TYPE A.	EXISTING UTILITY LOCATIONS EXCEPT FOR THE DRAINAGES SHALL BE CONSIDERED APPROXIMATE AND NOT NECESSARILY CORRECT. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY SHOOTING AND LOCATING UTILITIES WORK. THE CONTRACTOR SHALL ALSO VERIFY EXACT LOCATIONS OF ALL BURIED UTILITIES. UTILITY OWNERS SATISFACTION.		
8. HOT USED	EXISTING UTILITY LOCATIONS EXCEPT FOR THE DRAINAGES SHALL BE CONSIDERED APPROXIMATE AND NOT NECESSARILY CORRECT. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY SHOOTING AND LOCATING UTILITIES WORK. THE CONTRACTOR SHALL ALSO VERIFY EXACT LOCATIONS OF ALL BURIED UTILITIES. UTILITY OWNERS SATISFACTION.		
9. CALVERT LOCATIONS AND SIGNS ARE APPROXIMATE ONLY AND ARE SUBJECT TO ANY REVISIONS.	EXISTING UTILITY LOCATIONS EXCEPT FOR THE DRAINAGES SHALL BE CONSIDERED APPROXIMATE AND NOT NECESSARILY CORRECT. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY SHOOTING AND LOCATING UTILITIES WORK. THE CONTRACTOR SHALL ALSO VERIFY EXACT LOCATIONS OF ALL BURIED UTILITIES. UTILITY OWNERS SATISFACTION.		
10. THE CONTRACTOR SHALL FIRST USE EXCESS EXCAVATION TO REPAIR ANY DEFICIENCIES BEFORE USE OF UNDISBURSED UNPAID EXCAVATION.	EXISTING UTILITY LOCATIONS EXCEPT FOR THE DRAINAGES SHALL BE CONSIDERED APPROXIMATE AND NOT NECESSARILY CORRECT. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY SHOOTING AND LOCATING UTILITIES WORK. THE CONTRACTOR SHALL ALSO VERIFY EXACT LOCATIONS OF ALL BURIED UTILITIES. UTILITY OWNERS SATISFACTION.		
11. A TRANSITION WILL BE DEMONSTRATED AT EACH LOCATION WHERE ROADWAY ENTERS OR EXITS A RAILROAD CONDITION AS DIRECTED BY THE ENGINEER.	EXISTING UTILITY LOCATIONS EXCEPT FOR THE DRAINAGES SHALL BE CONSIDERED APPROXIMATE AND NOT NECESSARILY CORRECT. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY SHOOTING AND LOCATING UTILITIES WORK. THE CONTRACTOR SHALL ALSO VERIFY EXACT LOCATIONS OF ALL BURIED UTILITIES. UTILITY OWNERS SATISFACTION.		

GENERAL LEGEND	EXISTING	PROPOSED
1. ALUMINUM CURB ON 6"X8" REBAR		
2. 1/2" ALUMINUM CURB		
3. 1/2" ROAD SHOULD CURB		
4. EXISTING UTILITY LOCATIONS EXCEPT FOR THE DRAINAGES SHALL BE CONSIDERED APPROXIMATE AND NOT NECESSARILY CORRECT. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY SHOOTING AND LOCATING UTILITIES WORK. THE CONTRACTOR SHALL ALSO VERIFY EXACT LOCATIONS OF ALL BURIED UTILITIES. UTILITY OWNERS SATISFACTION.		
5. ALL EXISTING SIGNS SHALL BE PROTECTED AND REPAIRED OR REPLACED, AT THE DISCRETION OF THE ENGINEER, TO THE SATISFACTION OF THE ENGINEER.		
6. THE CONTRACTOR SHALL NOTIFY THE OWNER 21 DAYS PRIOR TO DISTURBING ANY SURVEY MONUMENTS, PROPERTY CORNERS AND T.O.W. MONUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY MONUMENTS DAMAGED OR DESTROYED AT THE CONTRACTOR'S EXPENSE.		
7. UNDISBURSED UNPAID EXCAVATION MAY BE USED FOR SLOPE FLATTENING ON THE BACK OF SLOPES AND TO BE SLOTTED FROM BOTTOM OF THE EXCAVATION TYPE A.		
8. HOT USED		
9. CALVERT LOCATIONS AND SIGNS ARE APPROXIMATE ONLY AND ARE SUBJECT TO ANY REVISIONS.		
10. THE CONTRACTOR SHALL FIRST USE EXCESS EXCAVATION TO REPAIR ANY DEFICIENCIES BEFORE USE OF UNDISBURSED UNPAID EXCAVATION.		
11. A TRANSITION WILL BE DEMONSTRATED AT EACH LOCATION WHERE ROADWAY ENTERS OR EXITS A RAILROAD CONDITION AS DIRECTED BY THE ENGINEER.		

ABBREVIATIONS	EXISTING	PROPOSED
1. ALUMINUM CURB ON 6"X8" REBAR		
2. 1/2" ALUMINUM CURB		
3. 1/2" ROAD SHOULD CURB		

**DETAIL AND SECTION DESIGNATIONS EXAMPLE**


SECTION NUMBER: [ ]

SECTION LETTER: [ ]

SECTION SCALE: [ ]

**BE LA VISTA WEST**

GENERAL NOTES, LEGEND AND ABBREVIATIONS

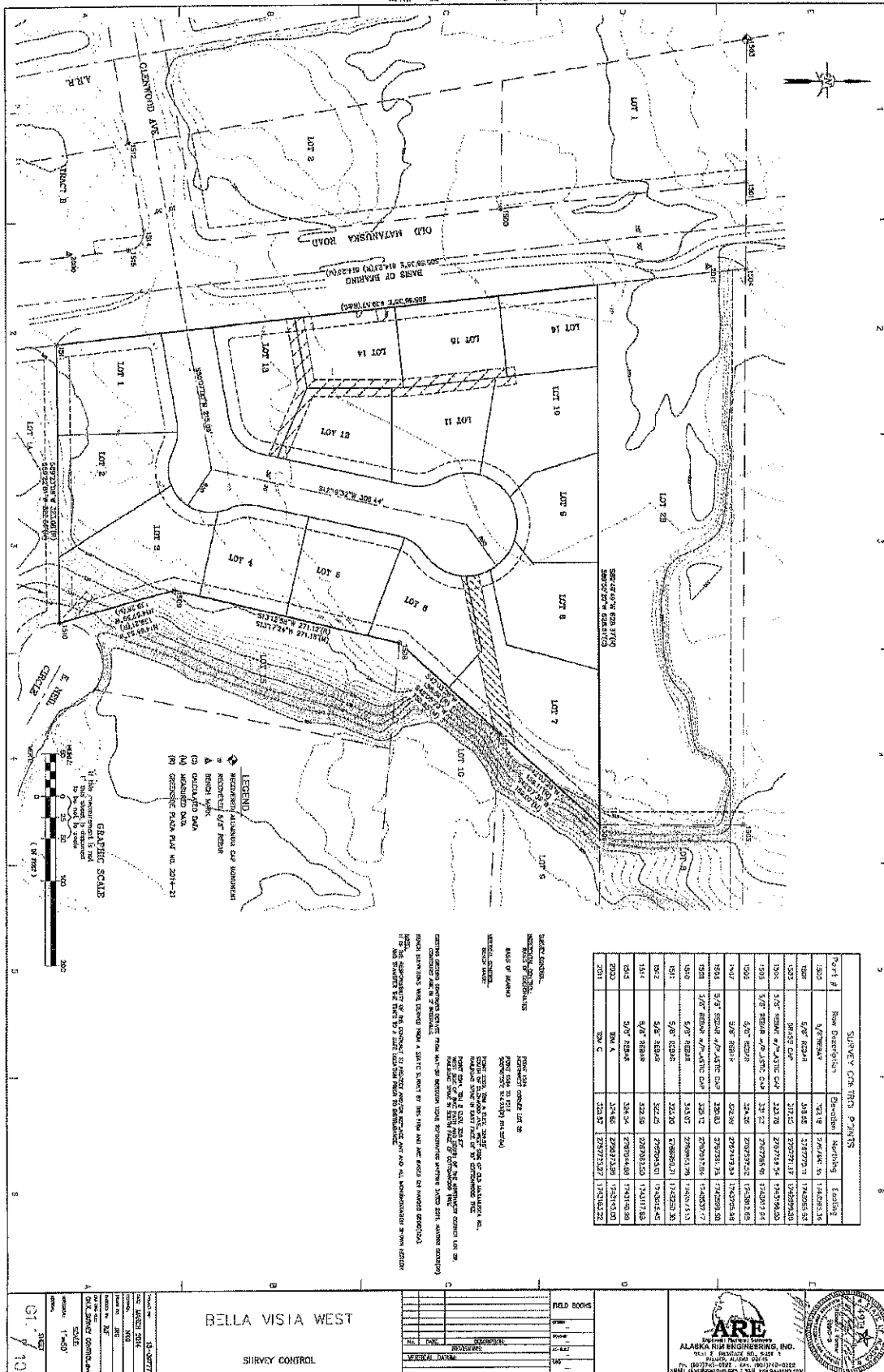


ALASKA SURVEY ENGINEERING, INC.

1111 W. 15TH AVENUE, SUITE 200

ANCHORAGE, ALASKA 99501

TEL: 907-562-1111 FAX: 907-562-1112



**SURVEY CONTROL POINTS**

Point #	Raw Description	Station	Height	Easting
1001	5/8" REBAR	103.16	2747.47	144833.36
1002	5/8" REBAR	103.16	2747.47	144833.36
1003	5/8" REBAR	103.16	2747.47	144833.36
1004	5/8" REBAR	103.16	2747.47	144833.36
1005	5/8" REBAR	103.16	2747.47	144833.36
1006	5/8" REBAR	103.16	2747.47	144833.36
1007	5/8" REBAR	103.16	2747.47	144833.36
1008	5/8" REBAR	103.16	2747.47	144833.36
1009	5/8" REBAR	103.16	2747.47	144833.36
1010	5/8" REBAR	103.16	2747.47	144833.36
1011	5/8" REBAR	103.16	2747.47	144833.36
1012	5/8" REBAR	103.16	2747.47	144833.36
1013	5/8" REBAR	103.16	2747.47	144833.36
1014	5/8" REBAR	103.16	2747.47	144833.36
1015	5/8" REBAR	103.16	2747.47	144833.36
1016	5/8" REBAR	103.16	2747.47	144833.36
1017	5/8" REBAR	103.16	2747.47	144833.36
1018	5/8" REBAR	103.16	2747.47	144833.36
1019	5/8" REBAR	103.16	2747.47	144833.36
1020	5/8" REBAR	103.16	2747.47	144833.36
1021	5/8" REBAR	103.16	2747.47	144833.36

**LEGEND**

- ◊ Intersection of boundaries
- ▲ Intersection of lot lines
- △ Iron pin
- Wooden stake
- (x) Monument
- (M) Monument
- (P) Precise Point Control Station

**GRAPHIC SCALE**

1" = 100'

0 100 200

**BELLA VISTA WEST**

SURVEY CONTROL

**ARE**

ALASKA REGISTERED ENGINEERING, INC.

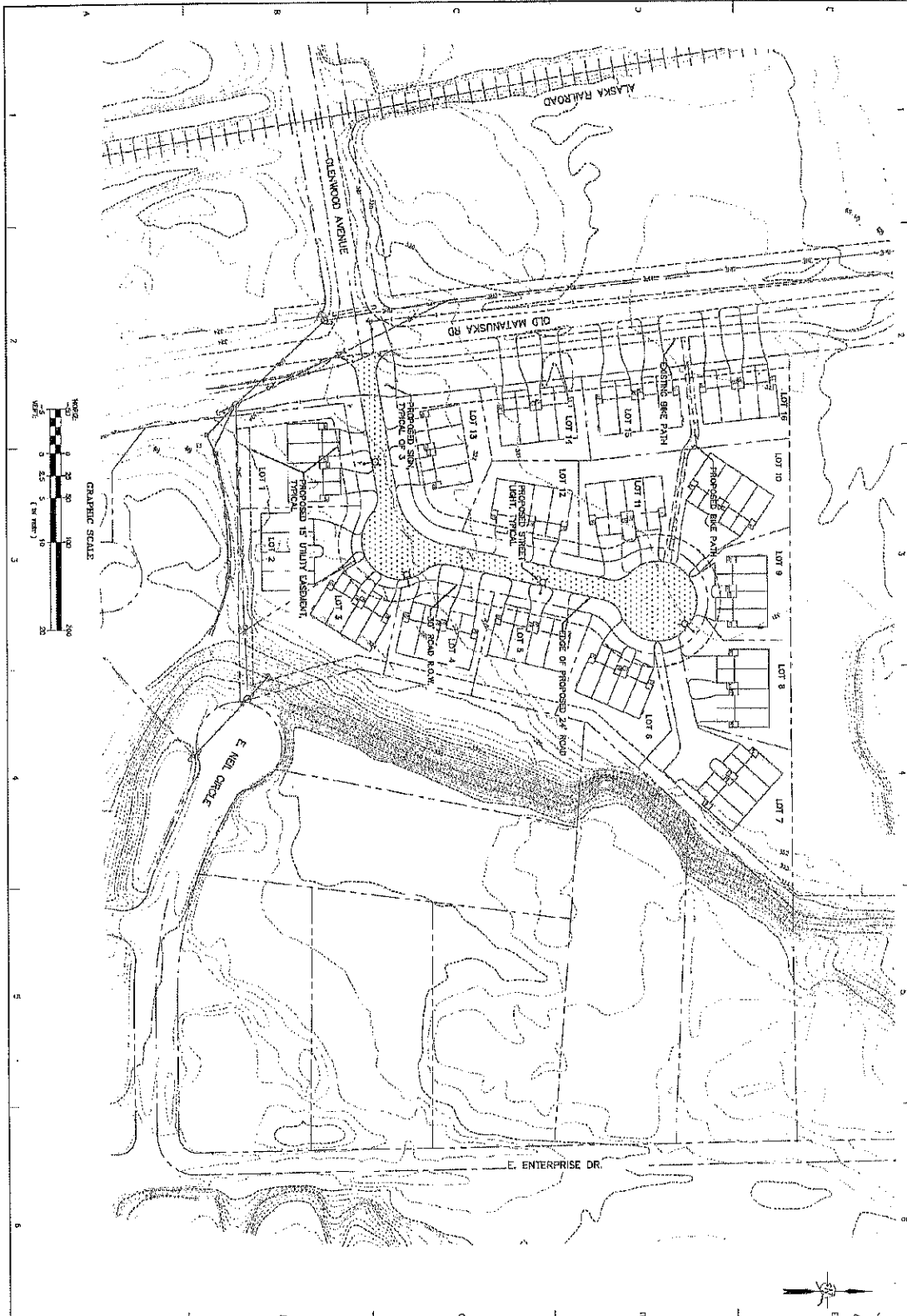
1000 S. W. 10th Ave., Suite 1000

Portland, OR 97204

Phone: (503) 228-8888

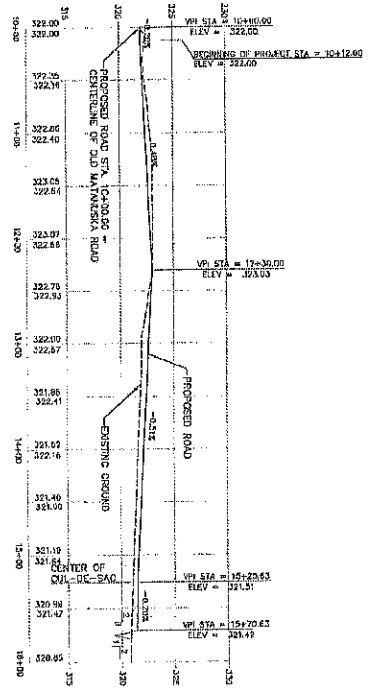
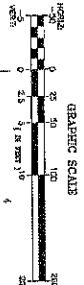
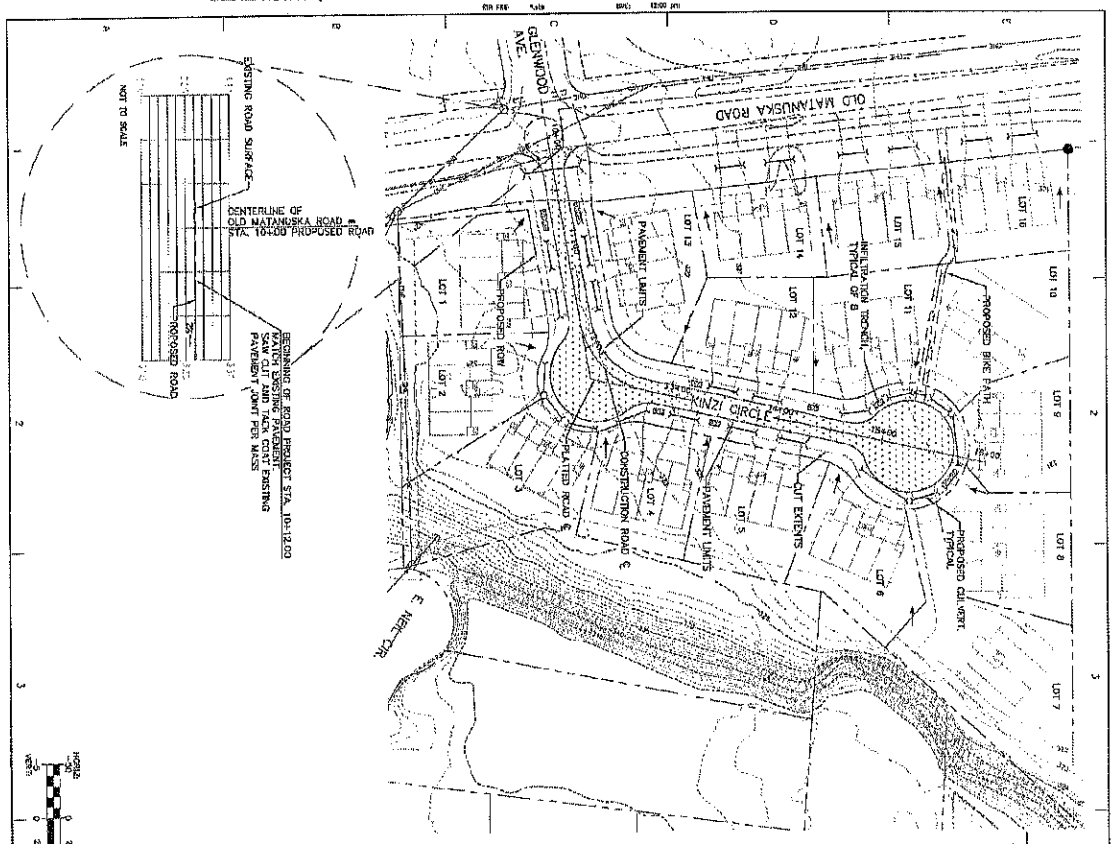
Fax: (503) 228-8889

www.are-engineering.com

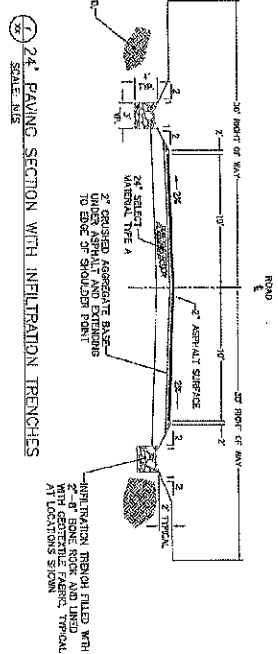


SHEET C1007 10	SCALE 1" = 100' 1/8" = 5'	TITLE <b>BELLA VISTA WEST</b> PROPOSED SITE PLAN	FIELD BOOKS NO. 1 NO. 2 NO. 3 NO. 4 NO. 5 NO. 6 NO. 7 NO. 8 NO. 9 NO. 10 NO. 11 NO. 12 NO. 13 NO. 14 NO. 15 NO. 16 NO. 17 NO. 18 NO. 19 NO. 20	





INTEGRATION TRENCH LOCATIONS			
STATIONS	TYPE OF SURFACE	WIDTH OF TRENCH	TRENCH LENGTH
10+75.00	14.0'	4.5'	20'
12+87.17	14.0'	4.5'	10'
13+46.27	14.0'	4.5'	10'
13+44.10	14.0'	4.5'	10'
14+28.82	14.0'	4.5'	10'
14+91.87	31.0'	4.5'	20'
15+80.84	20.0'	4.5'	20'



**BELLA VISTA WEST**

**KINZI CIRCLE**

ROAD PLAN AND PROFILE

DATE: 02/20/2010

PROJECT: BELLAVISTA WEST

SCALE: AS SHOWN

DESIGNER: ARE

VERTICAL DATE: 02/20/2010

**ARE**

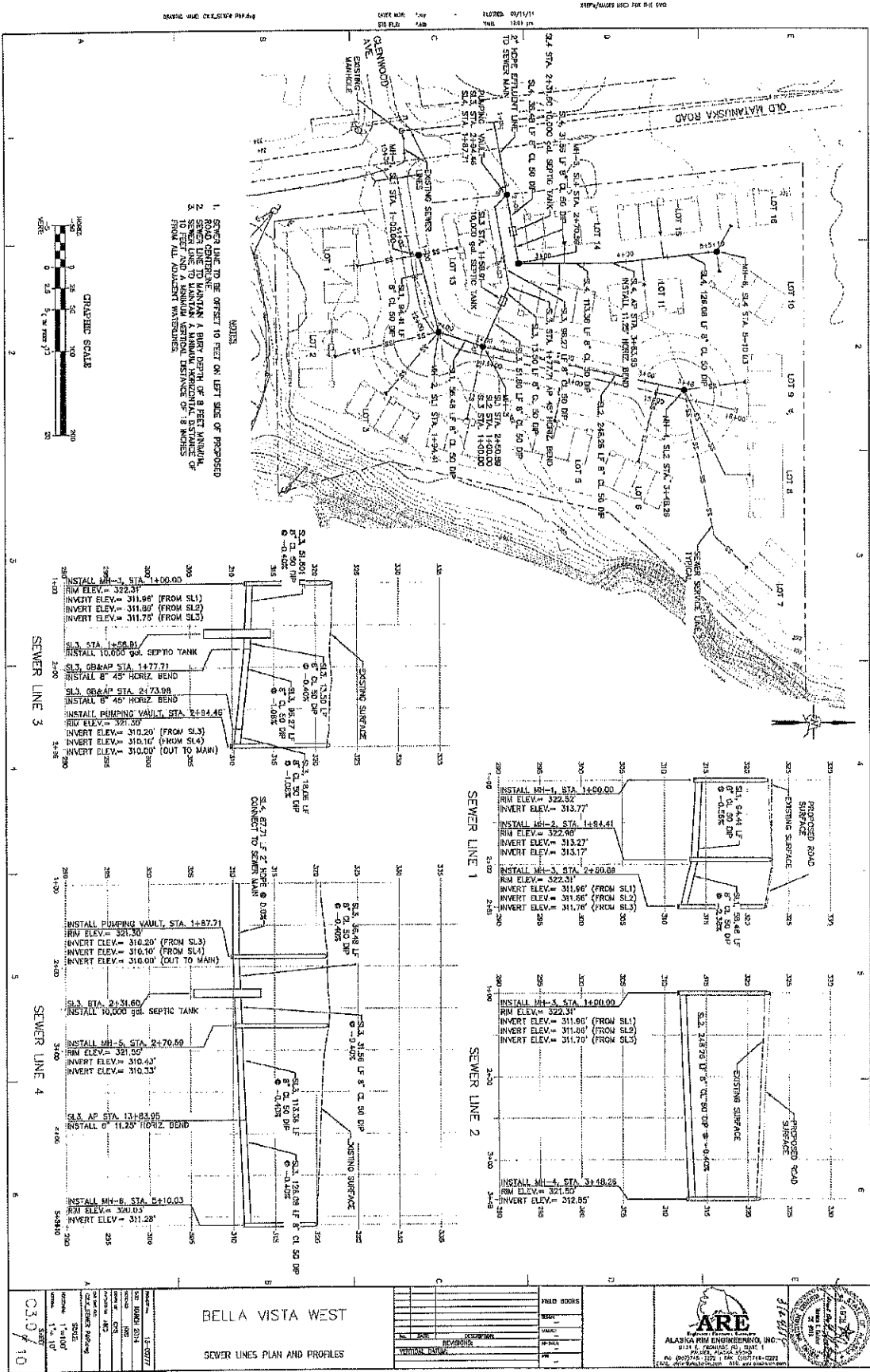
ALASKA HWY ENGINEERING, INC.

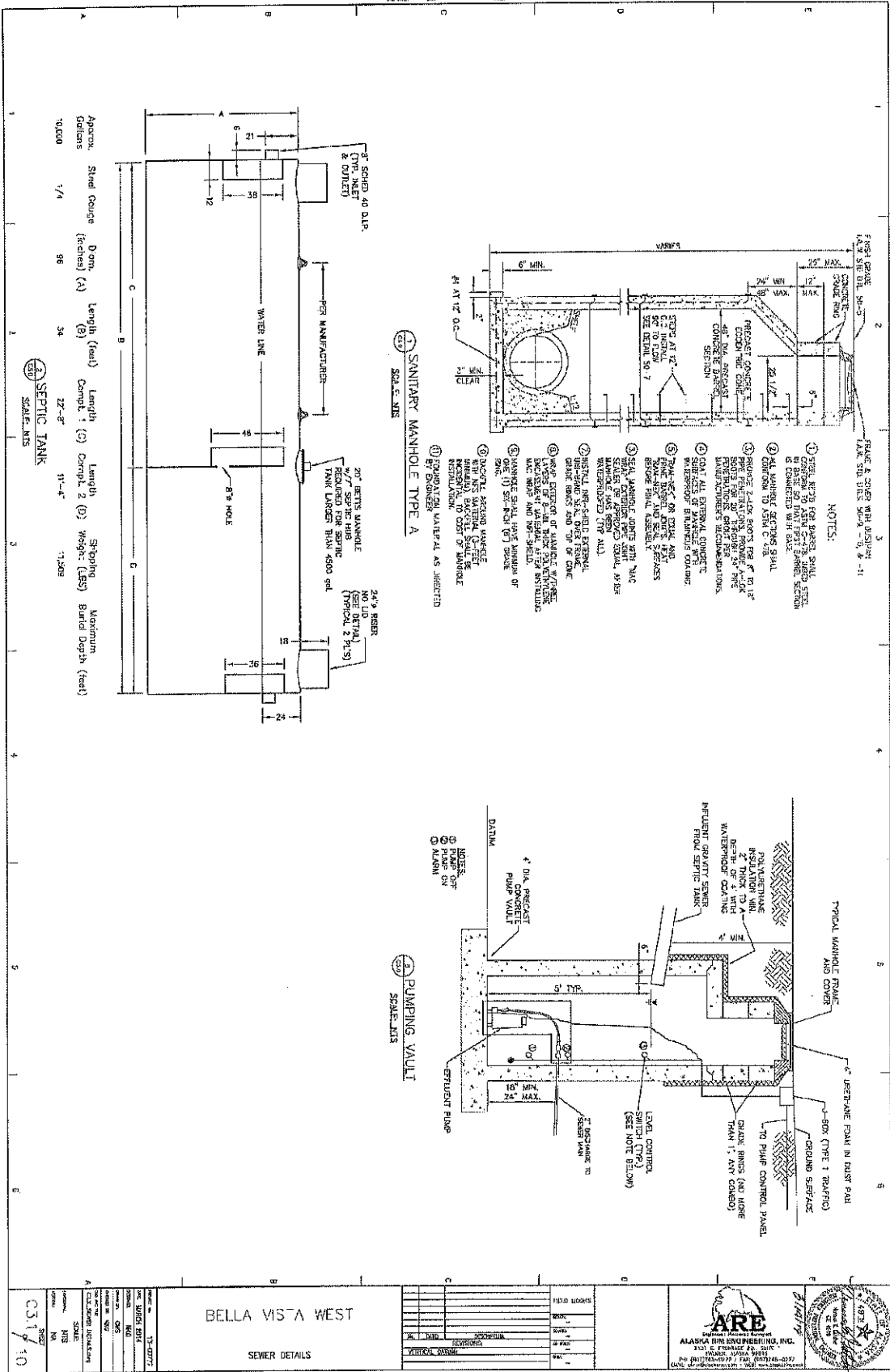
1710 E. DOWNEY AVE. SUITE 100

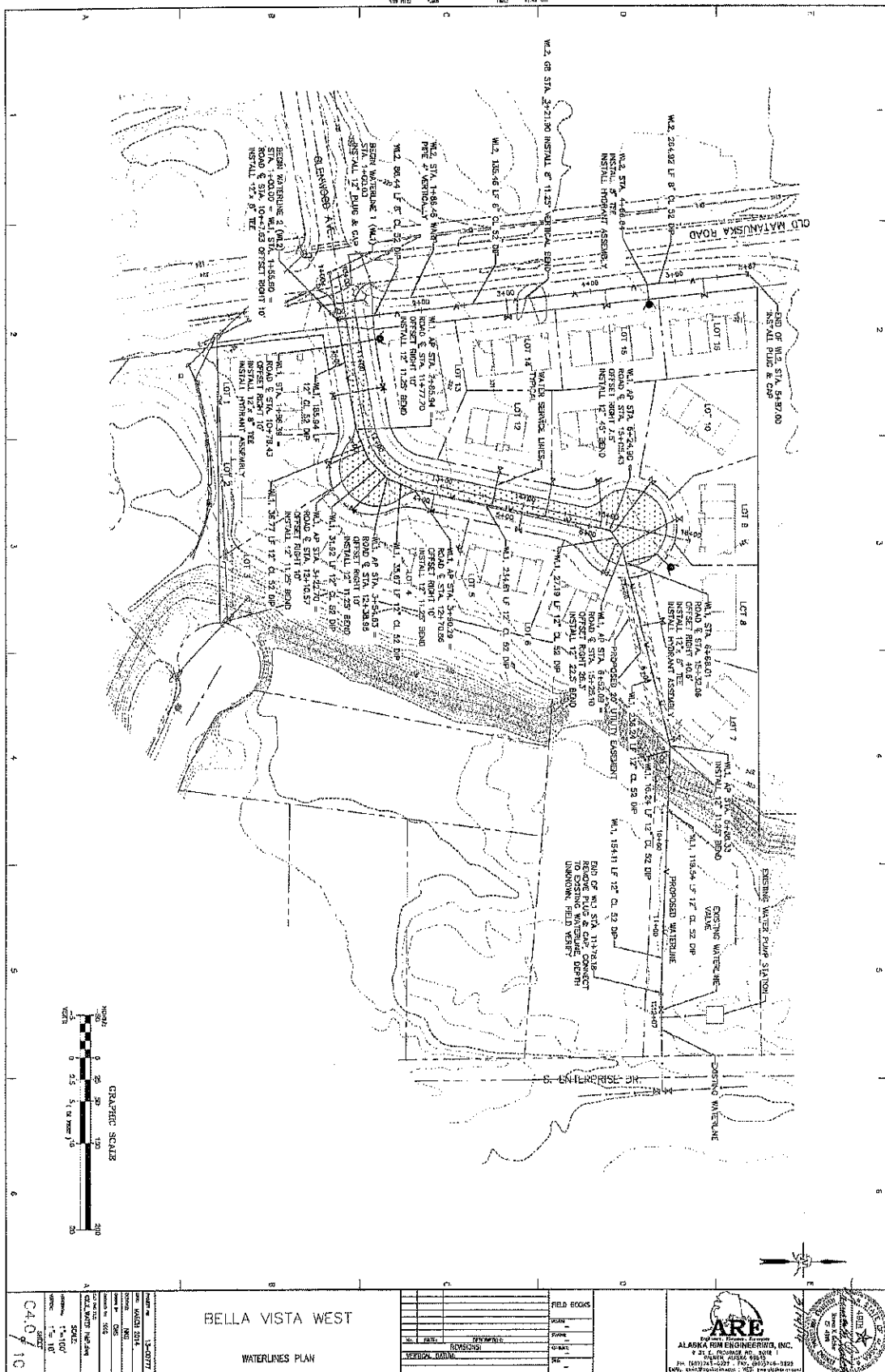
ANCHORAGE, ALASKA 99501

TEL: 907-562-4422 FAX: 907-562-4422

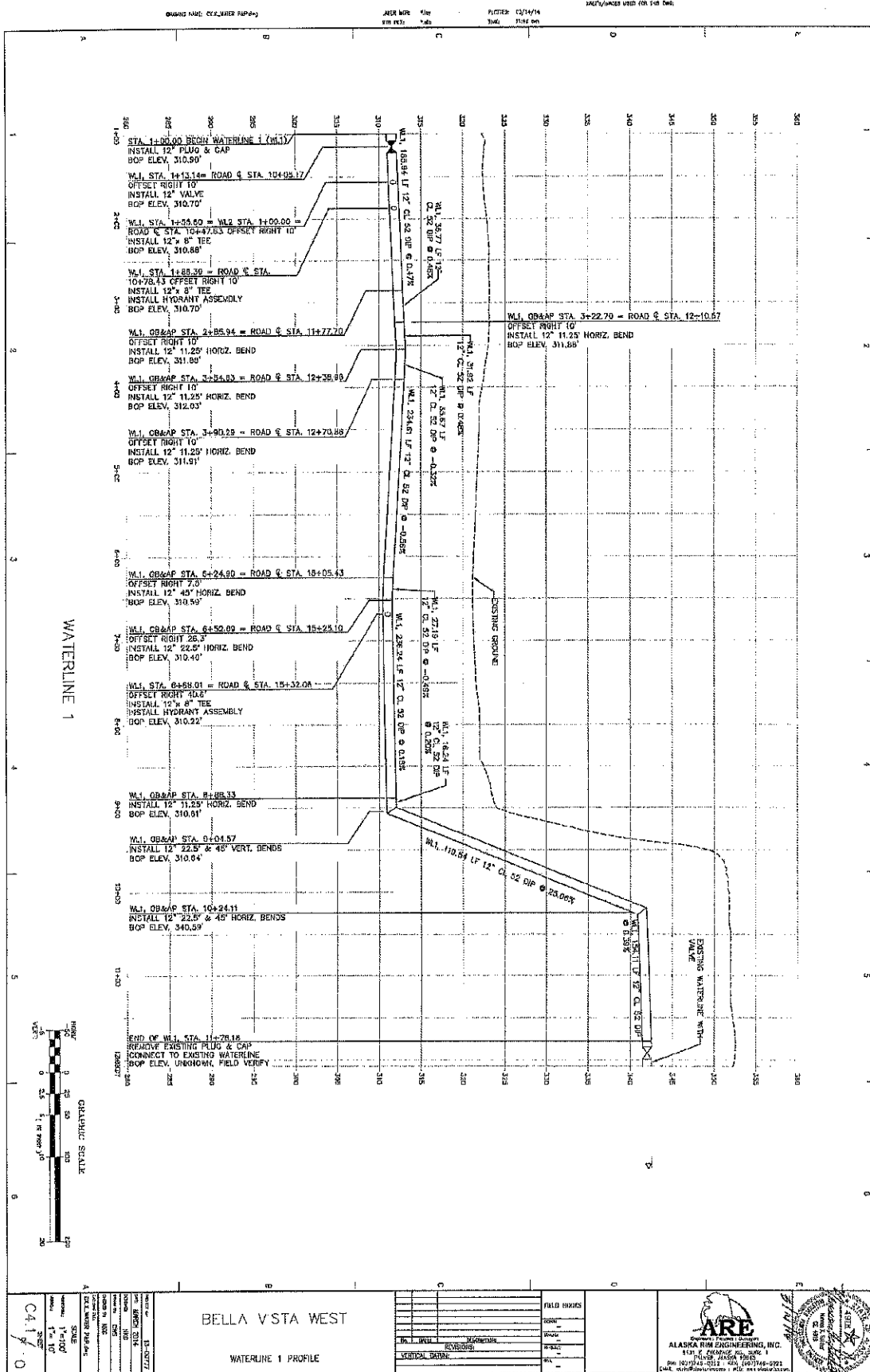
WWW.AREENGINEERING.COM







<p><b>BELLA VISTA WEST</b>                  WATERLINES PLAN</p>		<p>FIELD BOOKS</p> <table border="1"> <tr><td>NO.</td><td>DATE</td><td>DESCRIPTION</td></tr> <tr><td>1</td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td></tr> <tr><td>7</td><td></td><td></td></tr> <tr><td>8</td><td></td><td></td></tr> <tr><td>9</td><td></td><td></td></tr> <tr><td>10</td><td></td><td></td></tr> </table>	NO.	DATE	DESCRIPTION	1			2			3			4			5			6			7			8			9			10			<p><b>ARE</b>                  ALASKA RRM ENGINEERING, INC.                  825 E. POSENER RD. SUITE 100                  ANCHORAGE, ALASKA 99503-4322                  PH: (907) 241-2222 FAX: (907) 241-4322                  WWW.AREENGINEERING.COM</p>
NO.	DATE	DESCRIPTION																																		
1																																				
2																																				
3																																				
4																																				
5																																				
6																																				
7																																				
8																																				
9																																				
10																																				



GRAPHIC SCALE

1" = 10' HORIZ

1" = 2' VERT

SCALE

DATE

BY

CHECKED

DATE

BY

DATE

PROJECT

NO.

DATE

BY

DATE

BELLA V STA WEST

WATERLINE 1 PROFILE

FIELD BOOKS	
NO.	
DATE	
BY	
NO.	
DATE	
BY	
NO.	
DATE	
BY	
NO.	
DATE	
BY	

**ARE**

ALASKA REGISTERED ENGINEERING, INC.

101 E. COMMERCE ST., SUITE 1

ANCHORAGE, ALASKA 99501

PH: (907) 442-5112 FAX: (907) 442-5221

WWW.ARE-ALASKA.COM

ALASKA ENGINEERING BOARD

REGISTERED PROFESSIONAL ENGINEER

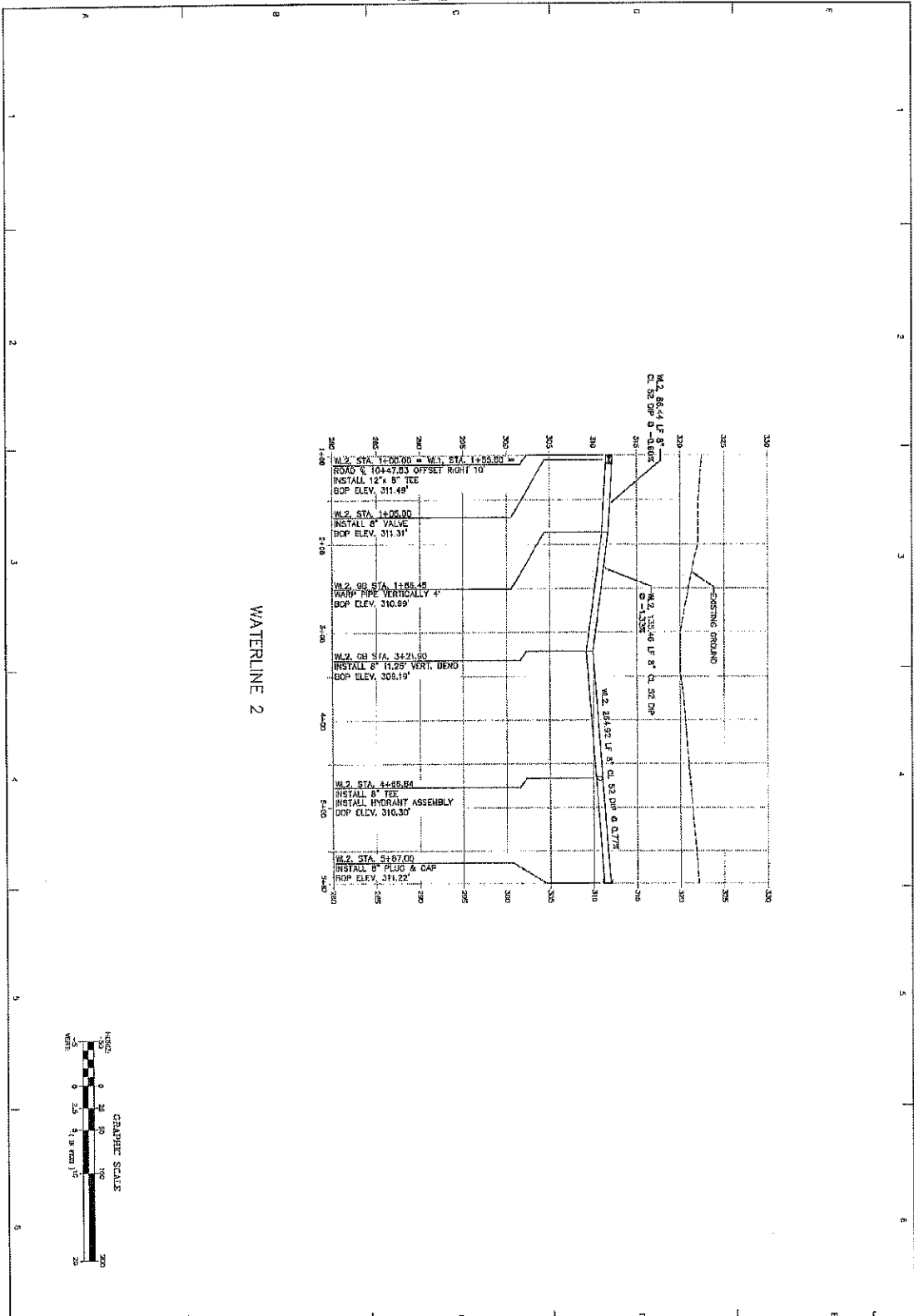
NO. 12345

EXPIRES 12/31/2025

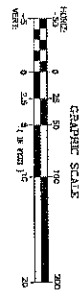
DESIGNED BY: C.C. WATSON PLS/PLM


DATE: 11/10/10  
 SHEET NO: 14-04

NOTED: SEE SHEET 14-03 FOR THIS DRAWING

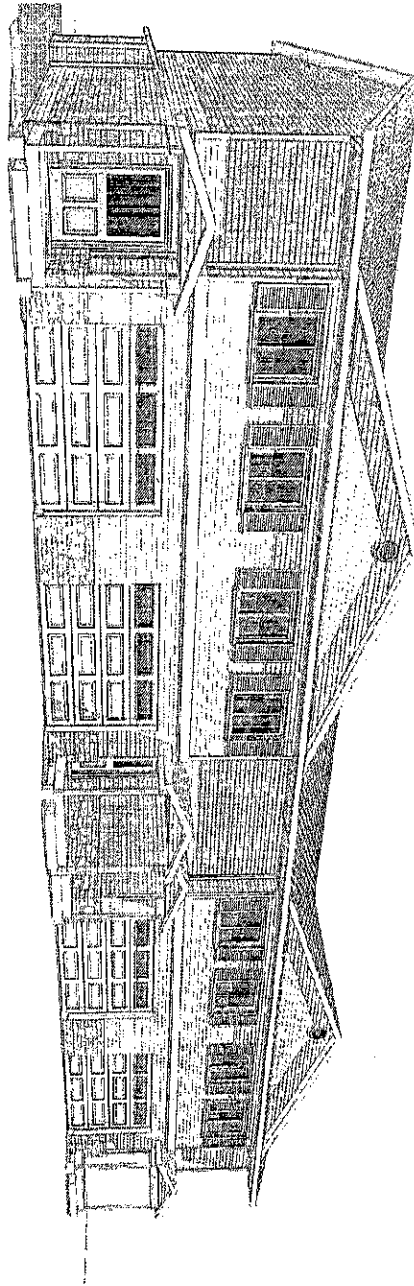


WATERLINE 2



<p>CA 22 10</p>	<p><b>BELLA VISTA WEST</b></p> <p>WATERLINE 2 PROFILE</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>REVISIONS</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	REVISIONS							<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>REVISIONS</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	REVISIONS							
NO.	DATE	REVISIONS																				
NO.	DATE	REVISIONS																				

# BELLAVISTA 4-PLEX



## GENERAL NOTES

1. THE OWNER HAS REVIEWED THE GENERAL NOTES AND APPROVES THEM.
2. THE ARCHITECT HAS REVIEWED THE GENERAL NOTES AND APPROVES THEM.
3. THE ARCHITECT HAS REVIEWED THE GENERAL NOTES AND APPROVES THEM.
4. THE ARCHITECT HAS REVIEWED THE GENERAL NOTES AND APPROVES THEM.
5. THE ARCHITECT HAS REVIEWED THE GENERAL NOTES AND APPROVES THEM.
6. THE ARCHITECT HAS REVIEWED THE GENERAL NOTES AND APPROVES THEM.
7. THE ARCHITECT HAS REVIEWED THE GENERAL NOTES AND APPROVES THEM.
8. THE ARCHITECT HAS REVIEWED THE GENERAL NOTES AND APPROVES THEM.
9. THE ARCHITECT HAS REVIEWED THE GENERAL NOTES AND APPROVES THEM.

## BUILDING AREA

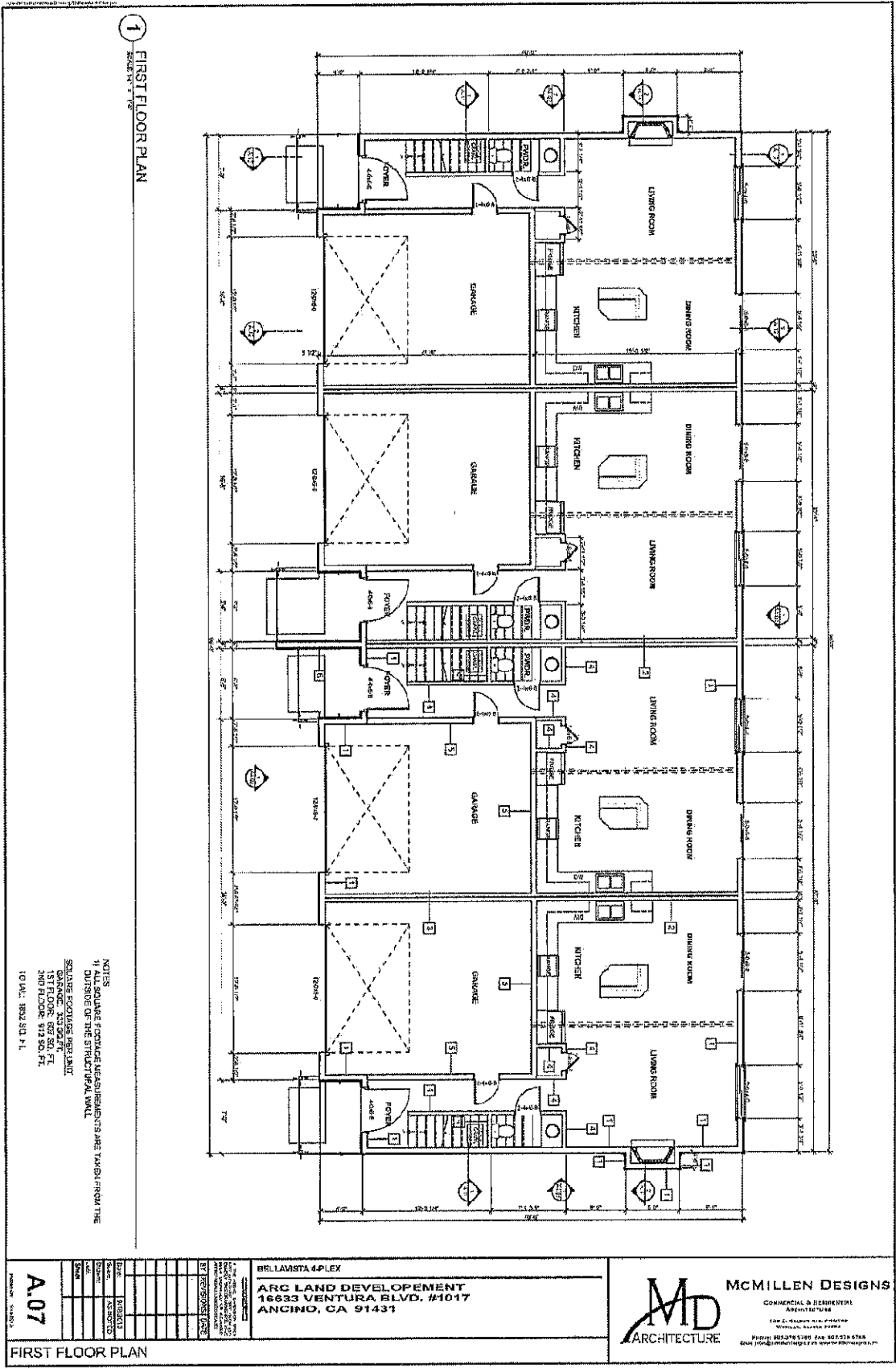
LIVING AREA: 1480 SQ. FT.  
 TOTAL LIVING AREA: 1480 SQ. FT.  
 TOTAL DECK AREA: 1200 SQ. FT.  
 TOTAL AREA: 2680 SQ. FT.

## SHEET INDEX

SHEET NUMBER	SHEET TITLE
01	GENERAL NOTES
02	FLOOR PLAN
03	SECTION
04	EXTERIOR ELEVATION
05	EXTERIOR ELEVATION
06	EXTERIOR ELEVATION
07	EXTERIOR ELEVATION
08	EXTERIOR ELEVATION
09	EXTERIOR ELEVATION
10	EXTERIOR ELEVATION
11	EXTERIOR ELEVATION
12	EXTERIOR ELEVATION
13	EXTERIOR ELEVATION
14	EXTERIOR ELEVATION
15	EXTERIOR ELEVATION
16	EXTERIOR ELEVATION
17	EXTERIOR ELEVATION
18	EXTERIOR ELEVATION
19	EXTERIOR ELEVATION
20	EXTERIOR ELEVATION
21	EXTERIOR ELEVATION
22	EXTERIOR ELEVATION
23	EXTERIOR ELEVATION
24	EXTERIOR ELEVATION
25	EXTERIOR ELEVATION
26	EXTERIOR ELEVATION
27	EXTERIOR ELEVATION
28	EXTERIOR ELEVATION
29	EXTERIOR ELEVATION
30	EXTERIOR ELEVATION
31	EXTERIOR ELEVATION
32	EXTERIOR ELEVATION
33	EXTERIOR ELEVATION
34	EXTERIOR ELEVATION
35	EXTERIOR ELEVATION
36	EXTERIOR ELEVATION
37	EXTERIOR ELEVATION
38	EXTERIOR ELEVATION
39	EXTERIOR ELEVATION
40	EXTERIOR ELEVATION
41	EXTERIOR ELEVATION
42	EXTERIOR ELEVATION
43	EXTERIOR ELEVATION
44	EXTERIOR ELEVATION
45	EXTERIOR ELEVATION
46	EXTERIOR ELEVATION
47	EXTERIOR ELEVATION
48	EXTERIOR ELEVATION
49	EXTERIOR ELEVATION
50	EXTERIOR ELEVATION

BUILDING PLAN 'C'

TITLE SHEET / GENERAL INFO A.01	BELLAVISTA 4-PLEX ARC LAND DEVELOPMENT 16633 VENTURA BLVD. #1017 ANCINO, CA 91431	MCMILLEN DESIGNS ARCHITECTURE 170 E. 10TH ST. SUITE 200 ANAHEIM, CA 92805 PHONE: 714.942.8700 FAX: 714.942.8701 EMAIL: info@mcmlendesigns.com www.mcmlendesigns.com
	DATE: 08/20/18	



1 FIRST FLOOR PLAN

NOTES:  
 1) ALL SQUARE FOOTAGE MEASUREMENTS ARE TAKEN FROM THE  
 OUTSIDE OF THE STRUCTURAL WALL.  
 SQUARE FOOTAGE PER UNIT:  
 GARAGE: 233 SQ. FT.  
 1ST FLOOR: 697 SQ. FT.  
 2ND FLOOR: 972 SQ. FT.  
 10 WALL: 180 SQ. FT.

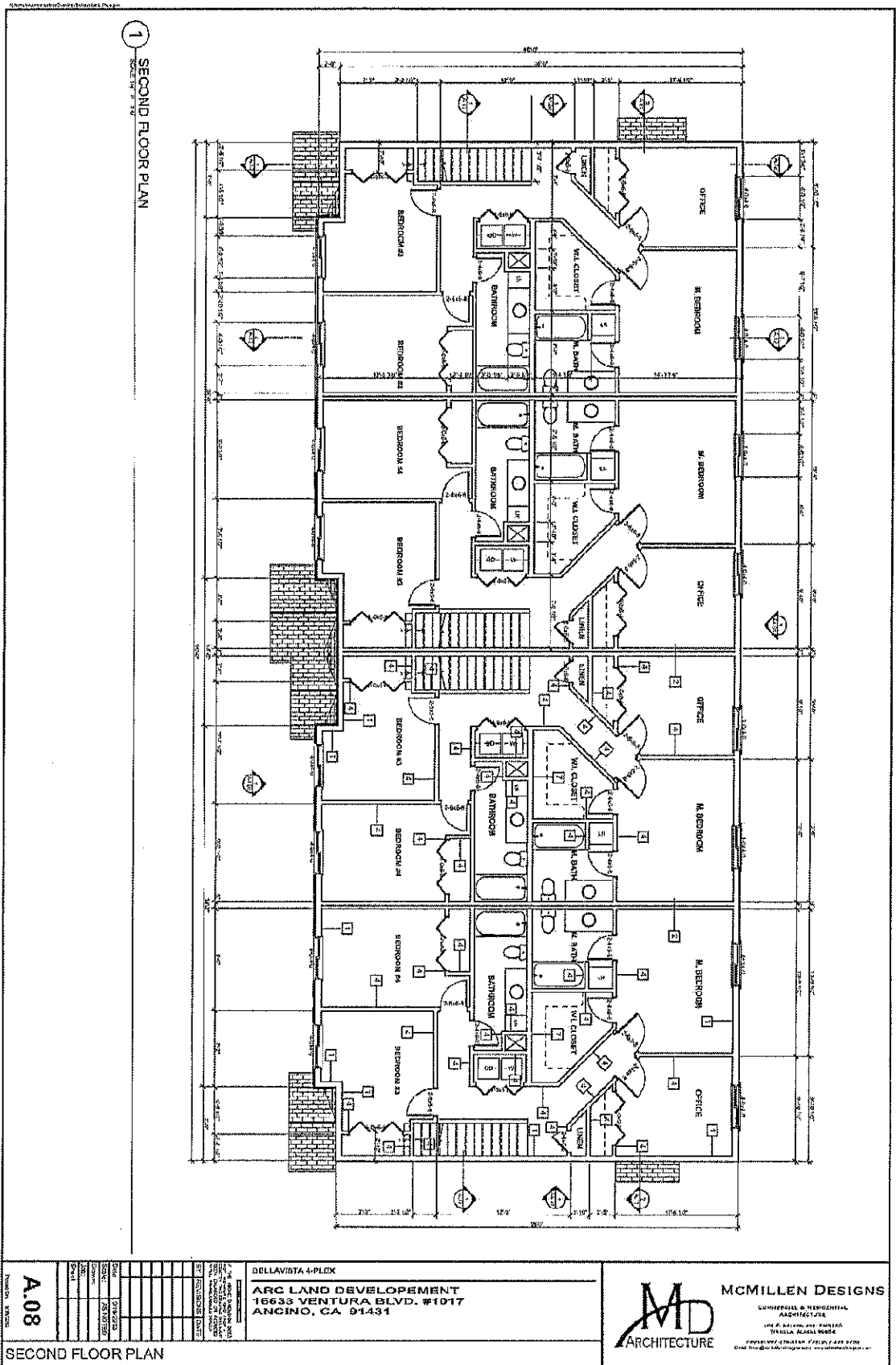
DATE	REVISION
10/11/11	ISSUED FOR PERMIT
11/15/11	REVISED PER COMMENTS
12/15/11	REVISED PER COMMENTS
01/10/12	REVISED PER COMMENTS
02/01/12	REVISED PER COMMENTS
03/01/12	REVISED PER COMMENTS
04/01/12	REVISED PER COMMENTS
05/01/12	REVISED PER COMMENTS
06/01/12	REVISED PER COMMENTS
07/01/12	REVISED PER COMMENTS
08/01/12	REVISED PER COMMENTS
09/01/12	REVISED PER COMMENTS
10/01/12	REVISED PER COMMENTS
11/01/12	REVISED PER COMMENTS
12/01/12	REVISED PER COMMENTS
01/01/13	REVISED PER COMMENTS
02/01/13	REVISED PER COMMENTS
03/01/13	REVISED PER COMMENTS
04/01/13	REVISED PER COMMENTS
05/01/13	REVISED PER COMMENTS
06/01/13	REVISED PER COMMENTS
07/01/13	REVISED PER COMMENTS
08/01/13	REVISED PER COMMENTS
09/01/13	REVISED PER COMMENTS
10/01/13	REVISED PER COMMENTS
11/01/13	REVISED PER COMMENTS
12/01/13	REVISED PER COMMENTS
01/01/14	REVISED PER COMMENTS
02/01/14	REVISED PER COMMENTS
03/01/14	REVISED PER COMMENTS
04/01/14	REVISED PER COMMENTS
05/01/14	REVISED PER COMMENTS
06/01/14	REVISED PER COMMENTS
07/01/14	REVISED PER COMMENTS
08/01/14	REVISED PER COMMENTS
09/01/14	REVISED PER COMMENTS
10/01/14	REVISED PER COMMENTS
11/01/14	REVISED PER COMMENTS
12/01/14	REVISED PER COMMENTS
01/01/15	REVISED PER COMMENTS
02/01/15	REVISED PER COMMENTS
03/01/15	REVISED PER COMMENTS
04/01/15	REVISED PER COMMENTS
05/01/15	REVISED PER COMMENTS
06/01/15	REVISED PER COMMENTS
07/01/15	REVISED PER COMMENTS
08/01/15	REVISED PER COMMENTS
09/01/15	REVISED PER COMMENTS
10/01/15	REVISED PER COMMENTS
11/01/15	REVISED PER COMMENTS
12/01/15	REVISED PER COMMENTS
01/01/16	REVISED PER COMMENTS
02/01/16	REVISED PER COMMENTS
03/01/16	REVISED PER COMMENTS
04/01/16	REVISED PER COMMENTS
05/01/16	REVISED PER COMMENTS
06/01/16	REVISED PER COMMENTS
07/01/16	REVISED PER COMMENTS
08/01/16	REVISED PER COMMENTS
09/01/16	REVISED PER COMMENTS
10/01/16	REVISED PER COMMENTS
11/01/16	REVISED PER COMMENTS
12/01/16	REVISED PER COMMENTS
01/01/17	REVISED PER COMMENTS
02/01/17	REVISED PER COMMENTS
03/01/17	REVISED PER COMMENTS
04/01/17	REVISED PER COMMENTS
05/01/17	REVISED PER COMMENTS
06/01/17	REVISED PER COMMENTS
07/01/17	REVISED PER COMMENTS
08/01/17	REVISED PER COMMENTS
09/01/17	REVISED PER COMMENTS
10/01/17	REVISED PER COMMENTS
11/01/17	REVISED PER COMMENTS
12/01/17	REVISED PER COMMENTS
01/01/18	REVISED PER COMMENTS
02/01/18	REVISED PER COMMENTS
03/01/18	REVISED PER COMMENTS
04/01/18	REVISED PER COMMENTS
05/01/18	REVISED PER COMMENTS
06/01/18	REVISED PER COMMENTS
07/01/18	REVISED PER COMMENTS
08/01/18	REVISED PER COMMENTS
09/01/18	REVISED PER COMMENTS
10/01/18	REVISED PER COMMENTS
11/01/18	REVISED PER COMMENTS
12/01/18	REVISED PER COMMENTS
01/01/19	REVISED PER COMMENTS
02/01/19	REVISED PER COMMENTS
03/01/19	REVISED PER COMMENTS
04/01/19	REVISED PER COMMENTS
05/01/19	REVISED PER COMMENTS
06/01/19	REVISED PER COMMENTS
07/01/19	REVISED PER COMMENTS
08/01/19	REVISED PER COMMENTS
09/01/19	REVISED PER COMMENTS
10/01/19	REVISED PER COMMENTS
11/01/19	REVISED PER COMMENTS
12/01/19	REVISED PER COMMENTS
01/01/20	REVISED PER COMMENTS
02/01/20	REVISED PER COMMENTS
03/01/20	REVISED PER COMMENTS
04/01/20	REVISED PER COMMENTS
05/01/20	REVISED PER COMMENTS
06/01/20	REVISED PER COMMENTS
07/01/20	REVISED PER COMMENTS
08/01/20	REVISED PER COMMENTS
09/01/20	REVISED PER COMMENTS
10/01/20	REVISED PER COMMENTS
11/01/20	REVISED PER COMMENTS
12/01/20	REVISED PER COMMENTS
01/01/21	REVISED PER COMMENTS
02/01/21	REVISED PER COMMENTS
03/01/21	REVISED PER COMMENTS
04/01/21	REVISED PER COMMENTS
05/01/21	REVISED PER COMMENTS
06/01/21	REVISED PER COMMENTS
07/01/21	REVISED PER COMMENTS
08/01/21	REVISED PER COMMENTS
09/01/21	REVISED PER COMMENTS
10/01/21	REVISED PER COMMENTS
11/01/21	REVISED PER COMMENTS
12/01/21	REVISED PER COMMENTS
01/01/22	REVISED PER COMMENTS
02/01/22	REVISED PER COMMENTS
03/01/22	REVISED PER COMMENTS
04/01/22	REVISED PER COMMENTS
05/01/22	REVISED PER COMMENTS
06/01/22	REVISED PER COMMENTS
07/01/22	REVISED PER COMMENTS
08/01/22	REVISED PER COMMENTS
09/01/22	REVISED PER COMMENTS
10/01/22	REVISED PER COMMENTS
11/01/22	REVISED PER COMMENTS
12/01/22	REVISED PER COMMENTS
01/01/23	REVISED PER COMMENTS
02/01/23	REVISED PER COMMENTS
03/01/23	REVISED PER COMMENTS
04/01/23	REVISED PER COMMENTS
05/01/23	REVISED PER COMMENTS
06/01/23	REVISED PER COMMENTS
07/01/23	REVISED PER COMMENTS
08/01/23	REVISED PER COMMENTS
09/01/23	REVISED PER COMMENTS
10/01/23	REVISED PER COMMENTS
11/01/23	REVISED PER COMMENTS
12/01/23	REVISED PER COMMENTS
01/01/24	REVISED PER COMMENTS
02/01/24	REVISED PER COMMENTS
03/01/24	REVISED PER COMMENTS
04/01/24	REVISED PER COMMENTS
05/01/24	REVISED PER COMMENTS
06/01/24	REVISED PER COMMENTS
07/01/24	REVISED PER COMMENTS
08/01/24	REVISED PER COMMENTS
09/01/24	REVISED PER COMMENTS
10/01/24	REVISED PER COMMENTS
11/01/24	REVISED PER COMMENTS
12/01/24	REVISED PER COMMENTS
01/01/25	REVISED PER COMMENTS

BELLAVISTA 4-PLEX  
 ARC LAND DEVELOPMENT  
 1633 VENTURA BLVD, #1017  
 ANCINO, CA 91431

**MCMILLEN DESIGNS**  
 COMMERCIAL & RESIDENTIAL  
 ARCHITECTURE  
 100 E. WALTON AVE. SUITE 200  
 ANAHEIM, CALIFORNIA 92805  
 PHONE: 714.944.8888 FAX: 714.944.8889  
 WWW.MCMILLENDESIGNS.COM

FIRST FLOOR PLAN



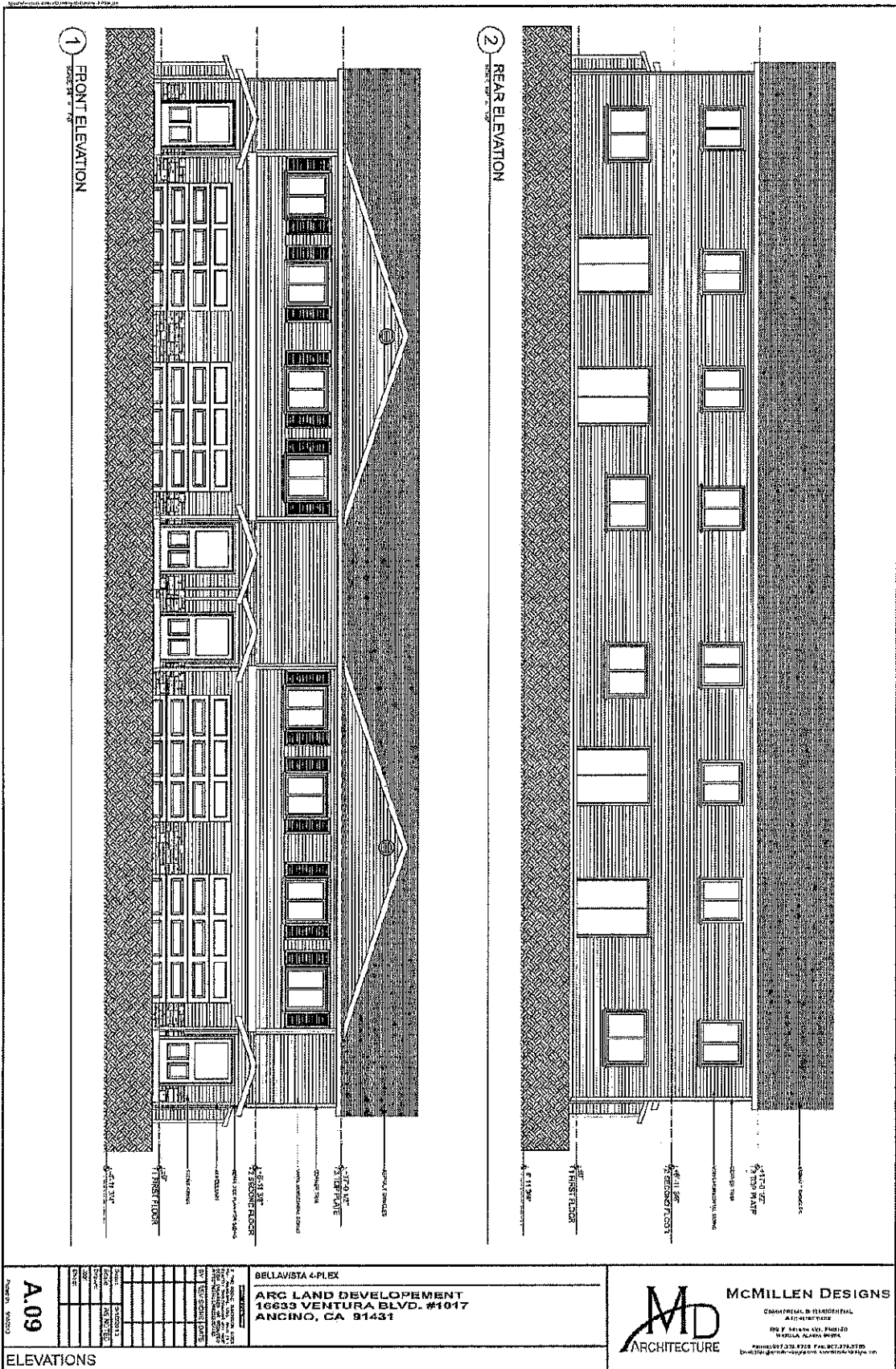


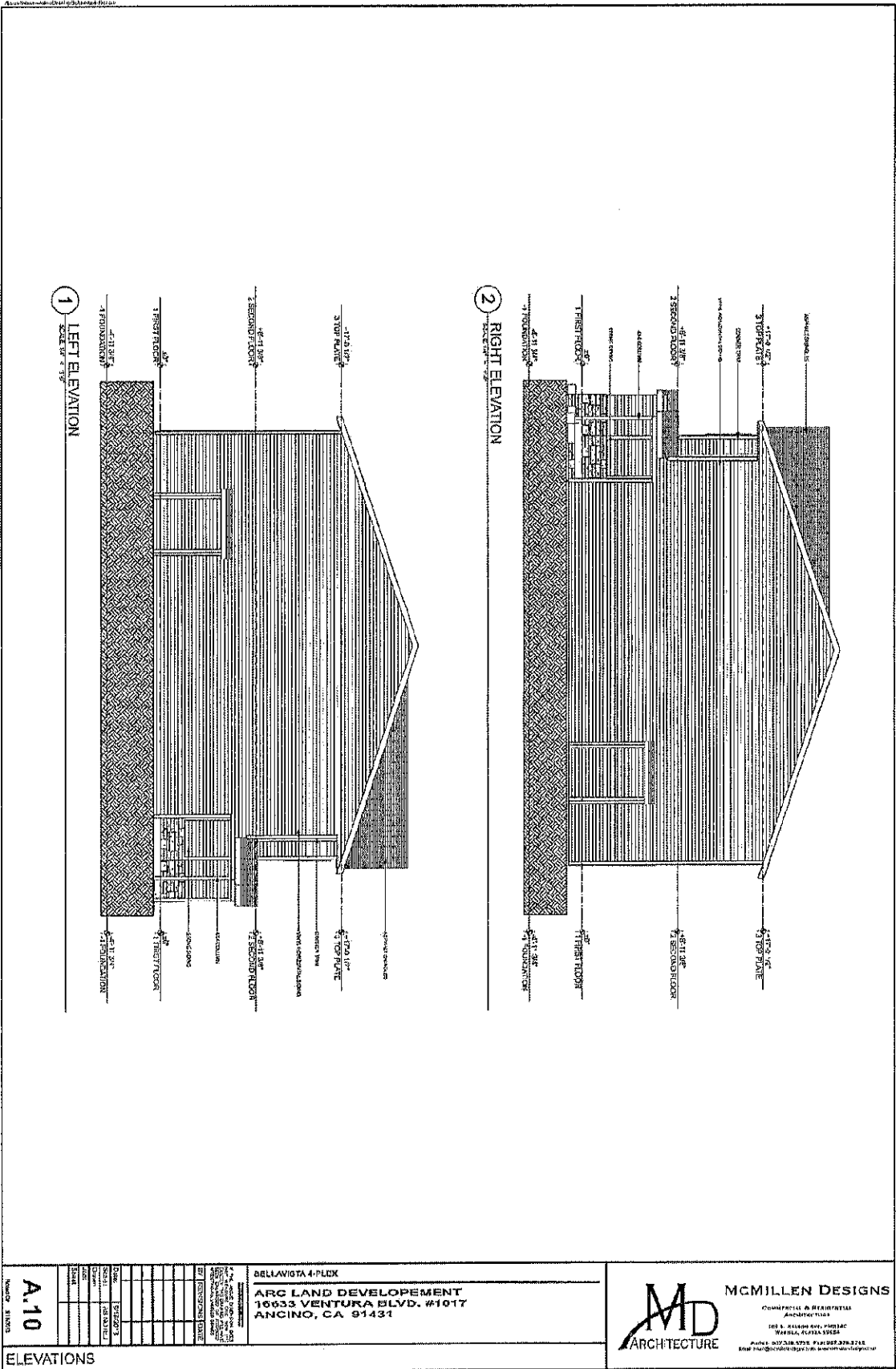
1 SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

A.08	
NO. 001	FOUNDATION
NO. 002	FOUNDATION
NO. 003	FOUNDATION
NO. 004	FOUNDATION
NO. 005	FOUNDATION
NO. 006	FOUNDATION
NO. 007	FOUNDATION
NO. 008	FOUNDATION
NO. 009	FOUNDATION
NO. 010	FOUNDATION
NO. 011	FOUNDATION
NO. 012	FOUNDATION
NO. 013	FOUNDATION
NO. 014	FOUNDATION
NO. 015	FOUNDATION
NO. 016	FOUNDATION
NO. 017	FOUNDATION
NO. 018	FOUNDATION
NO. 019	FOUNDATION
NO. 020	FOUNDATION
NO. 021	FOUNDATION
NO. 022	FOUNDATION
NO. 023	FOUNDATION
NO. 024	FOUNDATION
NO. 025	FOUNDATION
NO. 026	FOUNDATION
NO. 027	FOUNDATION
NO. 028	FOUNDATION
NO. 029	FOUNDATION
NO. 030	FOUNDATION
NO. 031	FOUNDATION
NO. 032	FOUNDATION
NO. 033	FOUNDATION
NO. 034	FOUNDATION
NO. 035	FOUNDATION
NO. 036	FOUNDATION
NO. 037	FOUNDATION
NO. 038	FOUNDATION
NO. 039	FOUNDATION
NO. 040	FOUNDATION
NO. 041	FOUNDATION
NO. 042	FOUNDATION
NO. 043	FOUNDATION
NO. 044	FOUNDATION
NO. 045	FOUNDATION
NO. 046	FOUNDATION
NO. 047	FOUNDATION
NO. 048	FOUNDATION
NO. 049	FOUNDATION
NO. 050	FOUNDATION
NO. 051	FOUNDATION
NO. 052	FOUNDATION
NO. 053	FOUNDATION
NO. 054	FOUNDATION
NO. 055	FOUNDATION
NO. 056	FOUNDATION
NO. 057	FOUNDATION
NO. 058	FOUNDATION
NO. 059	FOUNDATION
NO. 060	FOUNDATION
NO. 061	FOUNDATION
NO. 062	FOUNDATION
NO. 063	FOUNDATION
NO. 064	FOUNDATION
NO. 065	FOUNDATION
NO. 066	FOUNDATION
NO. 067	FOUNDATION
NO. 068	FOUNDATION
NO. 069	FOUNDATION
NO. 070	FOUNDATION
NO. 071	FOUNDATION
NO. 072	FOUNDATION
NO. 073	FOUNDATION
NO. 074	FOUNDATION
NO. 075	FOUNDATION
NO. 076	FOUNDATION
NO. 077	FOUNDATION
NO. 078	FOUNDATION
NO. 079	FOUNDATION
NO. 080	FOUNDATION
NO. 081	FOUNDATION
NO. 082	FOUNDATION
NO. 083	FOUNDATION
NO. 084	FOUNDATION
NO. 085	FOUNDATION
NO. 086	FOUNDATION
NO. 087	FOUNDATION
NO. 088	FOUNDATION
NO. 089	FOUNDATION
NO. 090	FOUNDATION
NO. 091	FOUNDATION
NO. 092	FOUNDATION
NO. 093	FOUNDATION
NO. 094	FOUNDATION
NO. 095	FOUNDATION
NO. 096	FOUNDATION
NO. 097	FOUNDATION
NO. 098	FOUNDATION
NO. 099	FOUNDATION
NO. 100	FOUNDATION

BELLAVISTA 4-PLEX  
 ARC LAND DEVELOPMENT  
 16633 VENTURA BLVD. #1017  
 ANCINO, CA 91431

**MCMILLEN DESIGNS**  
 GUNHERGEL & HENNINGSEN  
 ARCHITECTURE  
 1000 S. GARDEN ST. SUITE 100  
 VANALTA, CALIFORNIA 94134  
 TEL: (415) 435-1000  
 FAX: (415) 435-1001  
 WWW.MCMILLENDESIGNS.COM





1 LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

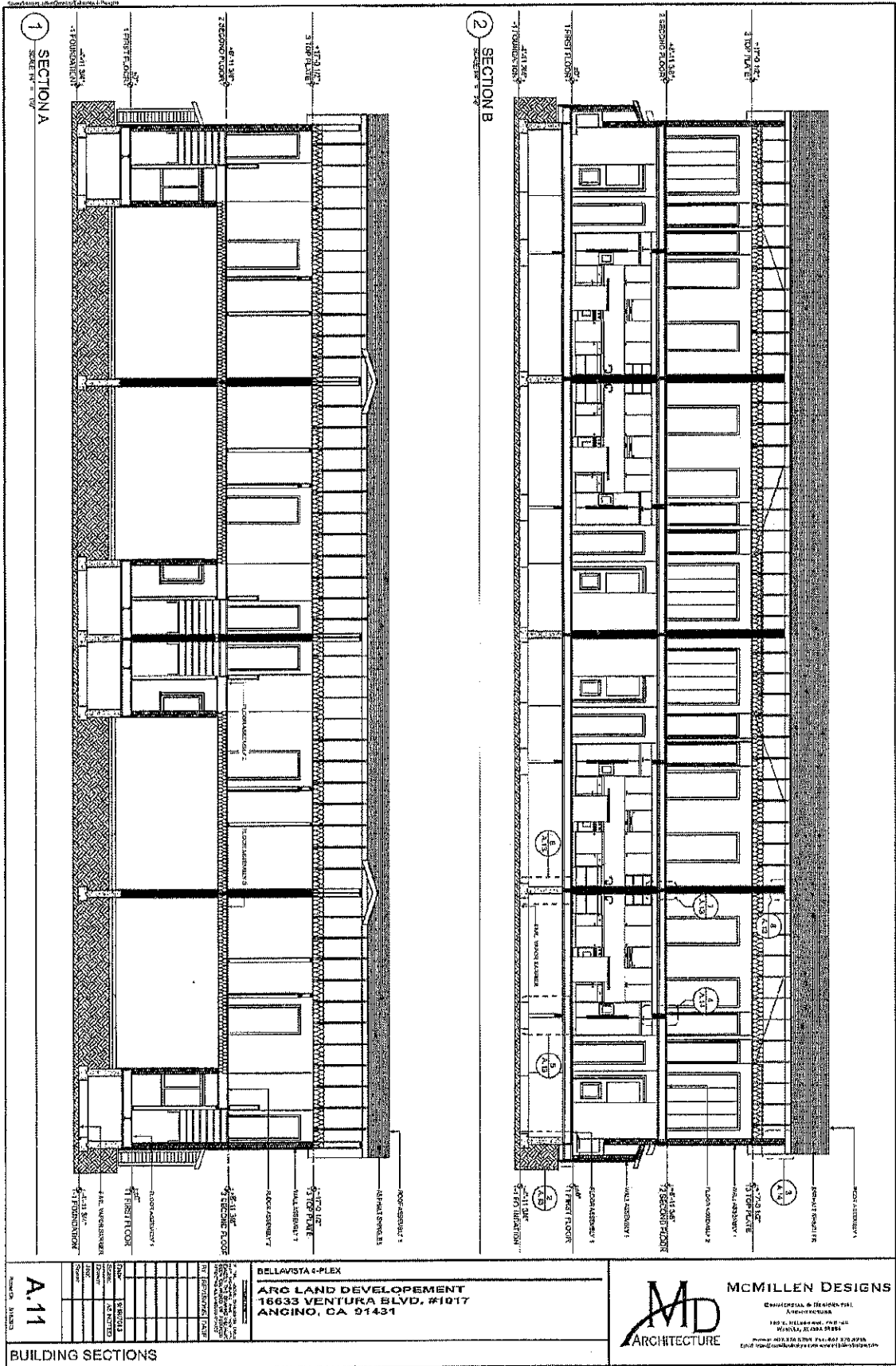
2 RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"

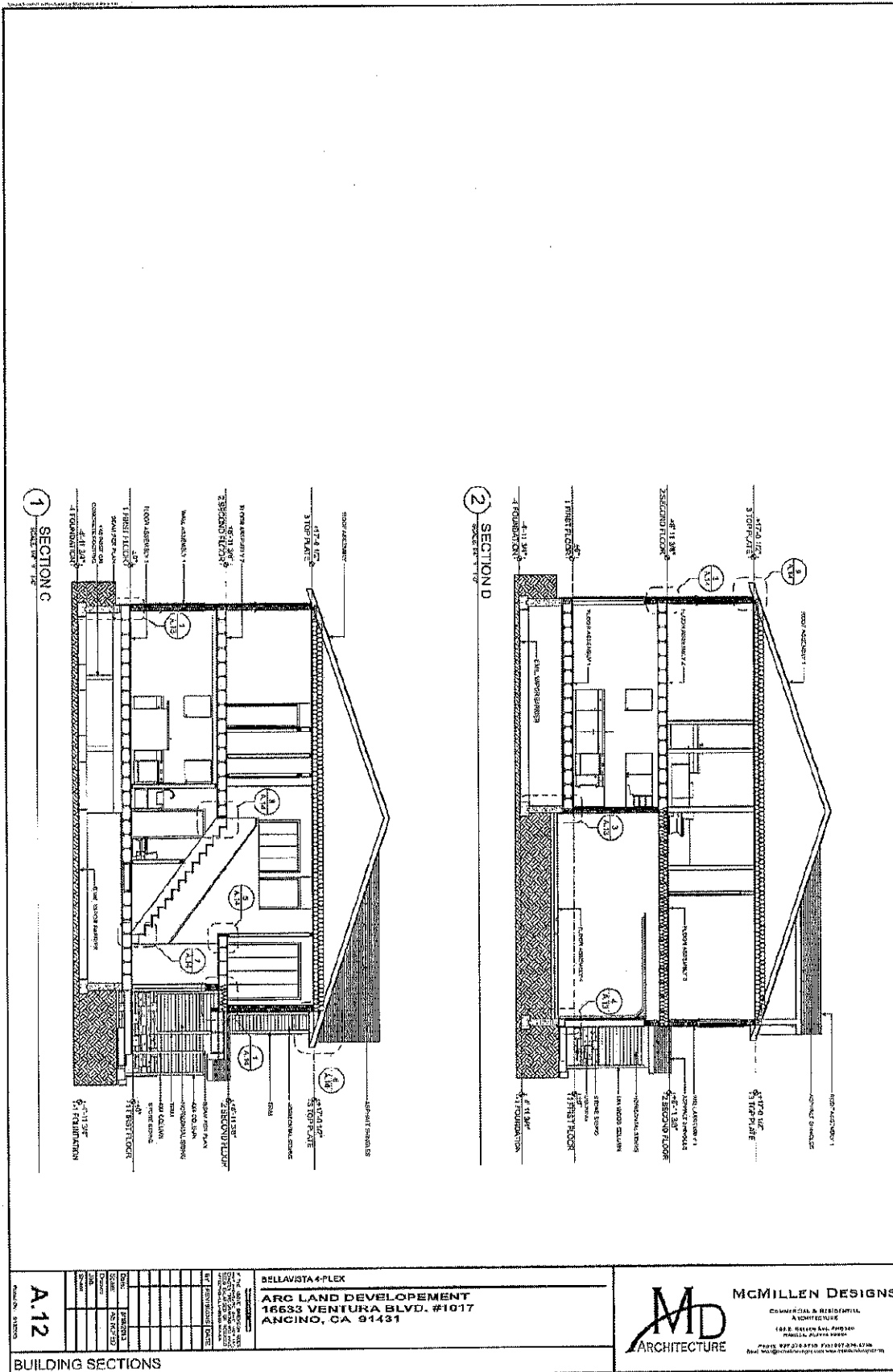
<p><b>A.10</b> ELEVATIONS</p>		<p>DATE: 11/15/11 DRAWN BY: [Name] CHECKED BY: [Name] SCALE: 1/8" = 1'-0"</p>	<p>PROJECT: BELLAVISTA 4-PLEX ARC LAND DEVELOPMENT 16633 VENTURA BLVD. #1017 ANCINO, CA 91431</p>
-----------------------------------	--	---	---

**MCMILLEN DESIGNS**  
COMMERCIAL & RESIDENTIAL  
ARCHITECTURE

100 N. ALLEN BLVD. SUITE 200  
WALTON, CALIFORNIA 95686

PHONE: 916.338.5775 FAX: 916.338.3711  
EMAIL: info@mcmillendesigns.com www.mcmillendesigns.com





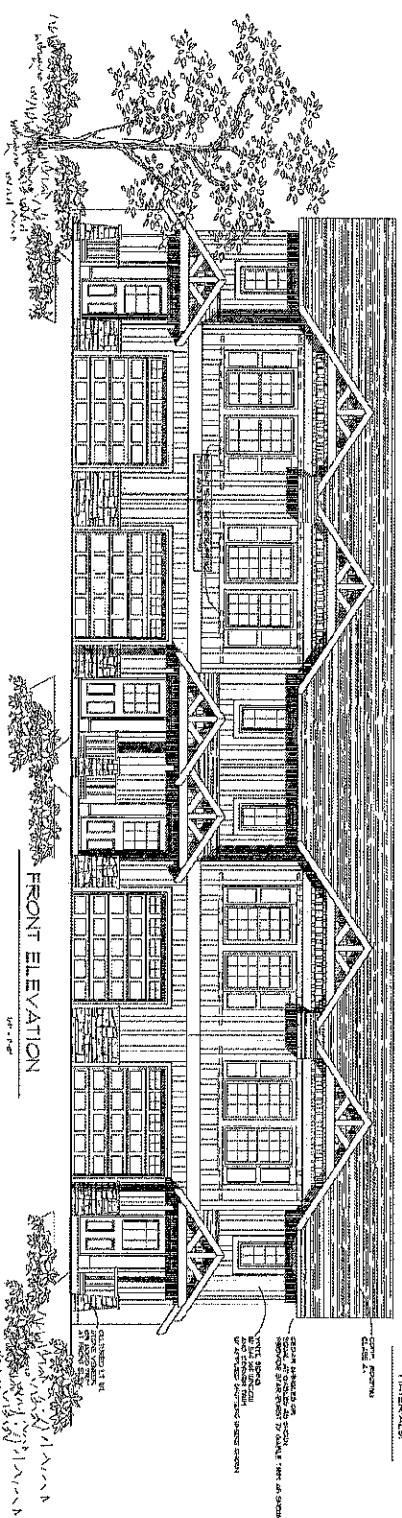
NO.	DATE	DESCRIPTION
1	12/10/23	ISSUED FOR PERMIT
2	12/10/23	ISSUED FOR PERMIT
3	12/10/23	ISSUED FOR PERMIT
4	12/10/23	ISSUED FOR PERMIT
5	12/10/23	ISSUED FOR PERMIT
6	12/10/23	ISSUED FOR PERMIT
7	12/10/23	ISSUED FOR PERMIT
8	12/10/23	ISSUED FOR PERMIT
9	12/10/23	ISSUED FOR PERMIT
10	12/10/23	ISSUED FOR PERMIT

**BELLAVISTA 4-PLEX**  
**ARC LAND DEVELOPMENT**  
**16533 VENTURA BLVD. #1017**  
**ANCINO, CA 94431**



**MCMILLEN DESIGNS**  
 COMMERCIAL & RESIDENTIAL  
 ARCHITECTURE  
 1818 BELLEVILLE AVENUE  
 PUEBLO, COLORADO 81001  
 PHONE: 970.270.8710 FAX: 970.270.8711  
 WWW.MCMILLENDESIGNS.COM

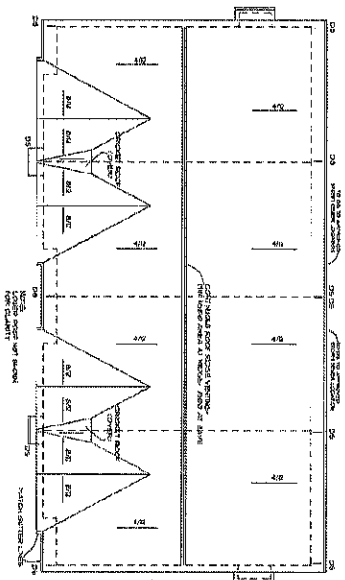
BUILDING SECTIONS



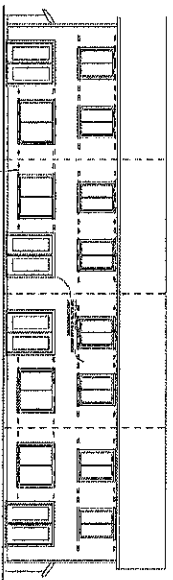
FRONT ELEVATION  
1/8" = 1'-0"

**TYPICAL EXTERIOR MATERIALS**  
 Siding: Cedar or Pine  
 Shingles: Cedar or Pine  
 Trim: White  
 Windows: White  
 Doors: White  
 Stairs: White  
 Railings: White  
 Fences: White  
 Landscaping: See Notes

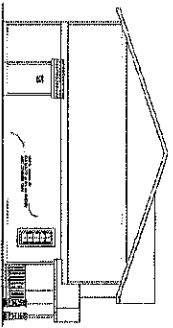
**Note:** Building Plan 'B' has  
 Access 2' to Each Unit.  
 External Fire Rated Barrier  
 Has been Removed from  
 Exterior Wall.



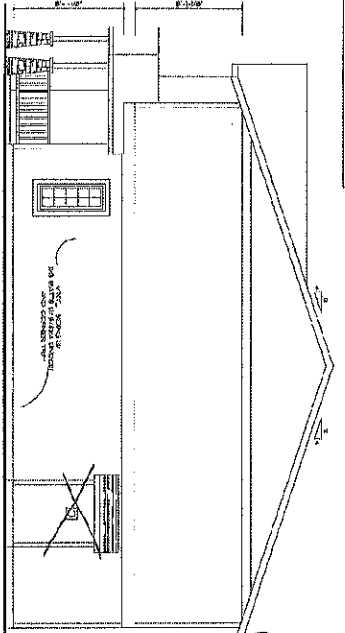
ROOF PLAN  
1/8" = 1'-0"



REAR ELEVATION  
1/8" = 1'-0"



LEFT ELEVATION  
1/8" = 1'-0"



RIGHT ELEVATION  
1/8" = 1'-0"

© 2004 Building Designs By Stockton A.J.R.D. All rights reserved. This drawing is the property of Building Designs By Stockton A.J.R.D. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Building Designs By Stockton A.J.R.D. The user of this drawing is advised that it is not to be used for any other purpose than that for which it was prepared. The user is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user is also responsible for obtaining all necessary information from the appropriate authorities. The user is also responsible for obtaining all necessary information from the appropriate authorities. The user is also responsible for obtaining all necessary information from the appropriate authorities.

Web Site: <http://www.stocktonadesign.com>  
 E-Mail: [stocktonadesign@comcast.net](mailto:stocktonadesign@comcast.net)

**AL**  
 PLAN 2  
 4-DIGIT 285  
 0000000000  
 0000000000  
 0000000000  
 0000000000

**Building Designs**  
 By  
**Stockton A.J.R.D.**  
 Office - #1-800-368-0821

THIS DRAWING, PRINT, AND CONTRACTS ARE THE PROPERTY OF BUILDING DESIGNS BY STOCKTON A.J.R.D. AND ARE NOT TO BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE PRIOR WRITTEN PERMISSION OF BUILDING DESIGNS BY STOCKTON A.J.R.D. THE USER OF THIS DRAWING IS ADVISED THAT IT IS NOT TO BE USED FOR ANY OTHER PURPOSE THAN THAT FOR WHICH IT WAS PREPARED. THE USER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER IS ALSO RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AUTHORITIES. THE USER IS ALSO RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AUTHORITIES.

**TYPE 4 - FLEX - INFO**

**BUILD LEGEND** (SEE LISTING)

1. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

2. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

3. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

4. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

5. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

6. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

7. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

8. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

9. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

10. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

11. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

12. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

13. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

14. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

15. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

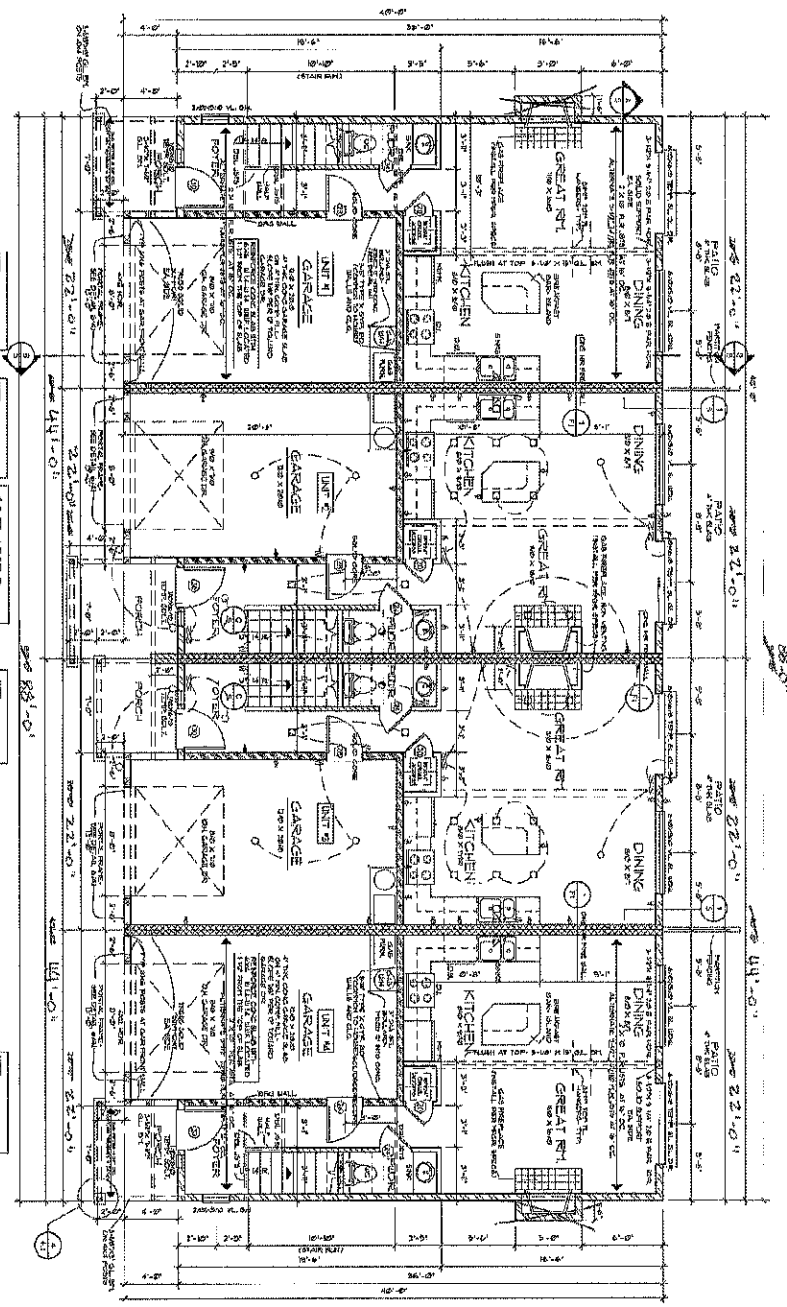
16. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

17. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

18. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

19. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.

20. CENTER FRONT UNIT'S CONSTRUCTION SHALL BE IDENTICAL TO THE CONSTRUCTION OF THE REAR UNIT'S.



### LOWER FLOOR PLAN

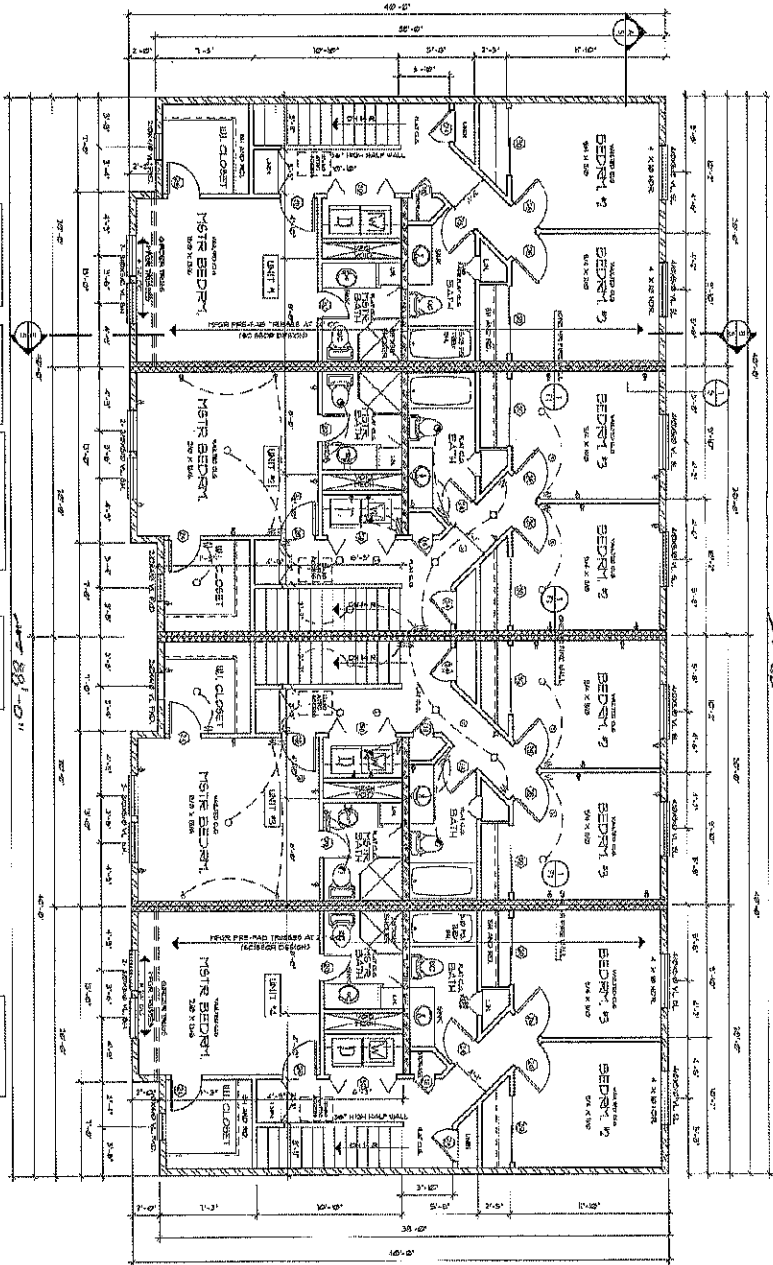
**NOTE:**  
 1. THESE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 2. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 3. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 4. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 5. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 6. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 7. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 8. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 9. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 10. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 11. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 12. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 13. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 14. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 15. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 16. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 17. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 18. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 19. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 20. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING

**NOTE:**  
 1. THESE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 2. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 3. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 4. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 5. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 6. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 7. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 8. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 9. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 10. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 11. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 12. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 13. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 14. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 15. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 16. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 17. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 18. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 19. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING  
 20. THE UNITS ARE NOT TO BE CONSIDERED AS PROVIDING

Unit 1 - <http://www.stocktondesign.com>  
 Unit 2 - <http://www.stocktondesign.com>  
 Unit 3 - <http://www.stocktondesign.com>  
 Unit 4 - <http://www.stocktondesign.com>  
 Unit 5 - <http://www.stocktondesign.com>  
 Unit 6 - <http://www.stocktondesign.com>  
 Unit 7 - <http://www.stocktondesign.com>  
 Unit 8 - <http://www.stocktondesign.com>  
 Unit 9 - <http://www.stocktondesign.com>  
 Unit 10 - <http://www.stocktondesign.com>

	<b>Building Designs</b> By <b>Stockton LLC, A.L.P.D.</b> Ph: 1.800.368.0821	THE DRAWING, SPEC AND CONTRACT SET FORTH IN THESE DRAWINGS AND THE SUPPLEMENTAL SCHEDULES OF MATERIALS, SPECIFICATIONS AND CONDITIONS OF CONTRACT SHALL BE THE ENTIRE AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE COPIED, REPRODUCED, DISTRIBUTED OR OTHERWISE MADE PUBLIC IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THAT OF A PROFESSIONAL ARCHITECT. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF ANY INFORMATION OR DATA OBTAINED FROM ANY SOURCE. THE CONTRACTOR SHALL VERIFY AND CONTROL ALL CONDITIONS AND DIMENSIONS PRIOR TO START OF WORK AND DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.

BUILDING LEGEND - GENERAL	
1. CONCRETE - TYPE AND FINISH	2. BRICK - TYPE AND FINISH
3. GYP. BOARD - TYPE AND FINISH	4. GYP. BOARD - TYPE AND FINISH
5. GYP. BOARD - TYPE AND FINISH	6. GYP. BOARD - TYPE AND FINISH
7. GYP. BOARD - TYPE AND FINISH	8. GYP. BOARD - TYPE AND FINISH
9. GYP. BOARD - TYPE AND FINISH	10. GYP. BOARD - TYPE AND FINISH
11. GYP. BOARD - TYPE AND FINISH	12. GYP. BOARD - TYPE AND FINISH
13. GYP. BOARD - TYPE AND FINISH	14. GYP. BOARD - TYPE AND FINISH
15. GYP. BOARD - TYPE AND FINISH	16. GYP. BOARD - TYPE AND FINISH
17. GYP. BOARD - TYPE AND FINISH	18. GYP. BOARD - TYPE AND FINISH
19. GYP. BOARD - TYPE AND FINISH	20. GYP. BOARD - TYPE AND FINISH
21. GYP. BOARD - TYPE AND FINISH	22. GYP. BOARD - TYPE AND FINISH
23. GYP. BOARD - TYPE AND FINISH	24. GYP. BOARD - TYPE AND FINISH
25. GYP. BOARD - TYPE AND FINISH	26. GYP. BOARD - TYPE AND FINISH
27. GYP. BOARD - TYPE AND FINISH	28. GYP. BOARD - TYPE AND FINISH
29. GYP. BOARD - TYPE AND FINISH	30. GYP. BOARD - TYPE AND FINISH
31. GYP. BOARD - TYPE AND FINISH	32. GYP. BOARD - TYPE AND FINISH
33. GYP. BOARD - TYPE AND FINISH	34. GYP. BOARD - TYPE AND FINISH
35. GYP. BOARD - TYPE AND FINISH	36. GYP. BOARD - TYPE AND FINISH
37. GYP. BOARD - TYPE AND FINISH	38. GYP. BOARD - TYPE AND FINISH
39. GYP. BOARD - TYPE AND FINISH	40. GYP. BOARD - TYPE AND FINISH
41. GYP. BOARD - TYPE AND FINISH	42. GYP. BOARD - TYPE AND FINISH
43. GYP. BOARD - TYPE AND FINISH	44. GYP. BOARD - TYPE AND FINISH
45. GYP. BOARD - TYPE AND FINISH	46. GYP. BOARD - TYPE AND FINISH
47. GYP. BOARD - TYPE AND FINISH	48. GYP. BOARD - TYPE AND FINISH
49. GYP. BOARD - TYPE AND FINISH	50. GYP. BOARD - TYPE AND FINISH
51. GYP. BOARD - TYPE AND FINISH	52. GYP. BOARD - TYPE AND FINISH
53. GYP. BOARD - TYPE AND FINISH	54. GYP. BOARD - TYPE AND FINISH
55. GYP. BOARD - TYPE AND FINISH	56. GYP. BOARD - TYPE AND FINISH
57. GYP. BOARD - TYPE AND FINISH	58. GYP. BOARD - TYPE AND FINISH
59. GYP. BOARD - TYPE AND FINISH	60. GYP. BOARD - TYPE AND FINISH
61. GYP. BOARD - TYPE AND FINISH	62. GYP. BOARD - TYPE AND FINISH
63. GYP. BOARD - TYPE AND FINISH	64. GYP. BOARD - TYPE AND FINISH
65. GYP. BOARD - TYPE AND FINISH	66. GYP. BOARD - TYPE AND FINISH
67. GYP. BOARD - TYPE AND FINISH	68. GYP. BOARD - TYPE AND FINISH
69. GYP. BOARD - TYPE AND FINISH	70. GYP. BOARD - TYPE AND FINISH
71. GYP. BOARD - TYPE AND FINISH	72. GYP. BOARD - TYPE AND FINISH
73. GYP. BOARD - TYPE AND FINISH	74. GYP. BOARD - TYPE AND FINISH
75. GYP. BOARD - TYPE AND FINISH	76. GYP. BOARD - TYPE AND FINISH
77. GYP. BOARD - TYPE AND FINISH	78. GYP. BOARD - TYPE AND FINISH
79. GYP. BOARD - TYPE AND FINISH	80. GYP. BOARD - TYPE AND FINISH
81. GYP. BOARD - TYPE AND FINISH	82. GYP. BOARD - TYPE AND FINISH
83. GYP. BOARD - TYPE AND FINISH	84. GYP. BOARD - TYPE AND FINISH
85. GYP. BOARD - TYPE AND FINISH	86. GYP. BOARD - TYPE AND FINISH
87. GYP. BOARD - TYPE AND FINISH	88. GYP. BOARD - TYPE AND FINISH
89. GYP. BOARD - TYPE AND FINISH	90. GYP. BOARD - TYPE AND FINISH
91. GYP. BOARD - TYPE AND FINISH	92. GYP. BOARD - TYPE AND FINISH
93. GYP. BOARD - TYPE AND FINISH	94. GYP. BOARD - TYPE AND FINISH
95. GYP. BOARD - TYPE AND FINISH	96. GYP. BOARD - TYPE AND FINISH
97. GYP. BOARD - TYPE AND FINISH	98. GYP. BOARD - TYPE AND FINISH
99. GYP. BOARD - TYPE AND FINISH	100. GYP. BOARD - TYPE AND FINISH



**UPPER FLOOR PLAN**

NOTE: 1. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 2. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 3. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 4. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 5. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 6. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 7. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 8. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 9. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 10. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 11. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 12. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 13. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 14. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 15. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 16. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 17. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 18. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 19. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 20. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 21. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 22. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 23. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 24. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 25. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 26. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 27. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 28. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 29. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 30. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 31. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 32. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 33. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 34. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 35. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 36. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 37. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 38. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 39. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 40. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 41. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 42. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 43. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 44. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 45. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 46. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 47. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 48. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 49. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 50. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 51. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 52. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 53. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 54. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 55. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 56. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 57. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 58. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 59. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 60. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 61. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 62. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 63. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 64. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 65. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 66. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 67. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 68. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 69. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 70. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 71. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 72. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 73. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 74. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 75. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 76. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 77. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 78. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 79. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 80. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 81. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 82. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 83. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 84. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 85. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 86. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 87. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 88. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 89. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 90. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 91. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 92. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 93. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 94. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 95. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 96. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 97. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 98. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 99. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR. 100. THE STUDIOS ARE TO BE CONSTRUCTED ON THE 1ST FLOOR.

Use Site - <http://www.stocktondesign.com>  
 E-11311 - [stockton@stocktondesign.com](mailto:stockton@stocktondesign.com)

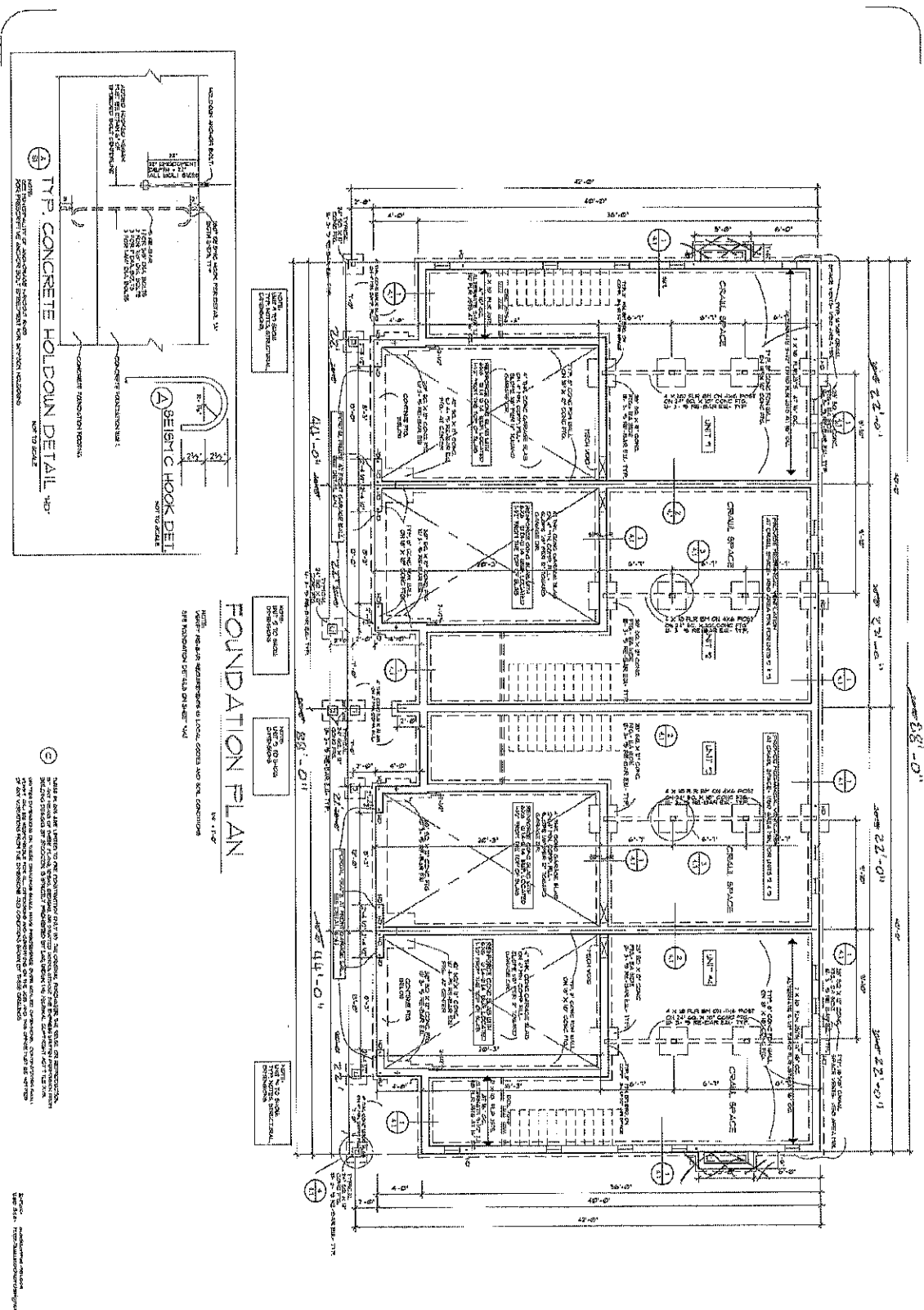
**A3**

Stockton Design  
 4-2015-8  
 4-2015-8  
 4-2015-8

Building Designs  
 By  
 Stockton LLC, A.I.B.D.  
 Ph: 1.800.366.0921

THE DRAWING, SPECIFICATIONS AND CONTRACT SET FORTH IN THESE DRAWINGS ARE THE PROPERTY OF STOCKTON DESIGN AND SHALL REMAIN THE PROPERTY OF STOCKTON DESIGN. NO PART OF THIS DRAWING OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STOCKTON DESIGN. CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND REQUIREMENTS TO BE SHOWN ON THIS DRAWING TO BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. STOCKTON DESIGN SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING OR SPECIFICATIONS. STOCKTON DESIGN SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING OR SPECIFICATIONS.





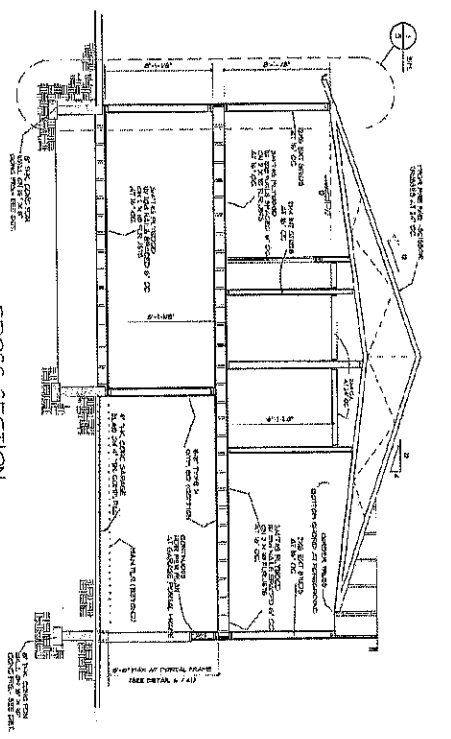
**A4**

DATE: 10/20/14  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]

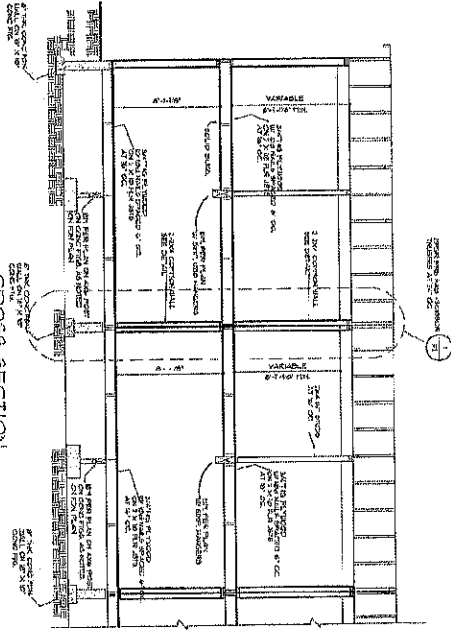
**Building Designs**  
 By  
**Stockton LLC. A.I.B.O.**  
 OFFICE# 1-800-308-9921

THE DESIGNER, ENGINEER, ARCHITECT OR CONSULTANT HAS REVIEWED THESE PLANS AND SPECIFICATIONS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE CITY OF STOCKTON, CALIFORNIA, LOCAL ORDINANCE 22.01.050 AND 22.01.051. THE DESIGNER, ENGINEER, ARCHITECT OR CONSULTANT HAS REVIEWED THESE PLANS AND SPECIFICATIONS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE CITY OF STOCKTON, CALIFORNIA, LOCAL ORDINANCE 22.01.050 AND 22.01.051. THE DESIGNER, ENGINEER, ARCHITECT OR CONSULTANT HAS REVIEWED THESE PLANS AND SPECIFICATIONS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE CITY OF STOCKTON, CALIFORNIA, LOCAL ORDINANCE 22.01.050 AND 22.01.051.

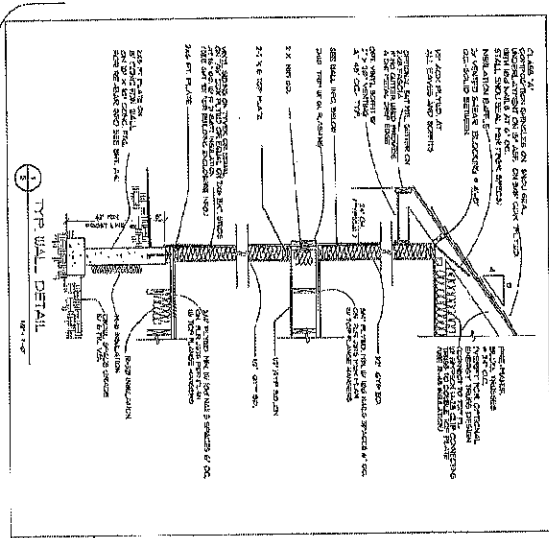
NO.	DATE	DESCRIPTION
1	10/20/14	ISSUED FOR PERMIT
2	10/20/14	ISSUED FOR PERMIT
3	10/20/14	ISSUED FOR PERMIT



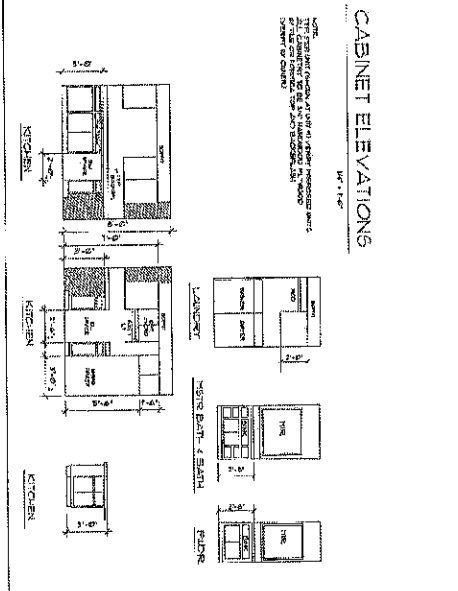
2 CROSS SECTION  
1/4" = 1'-0"



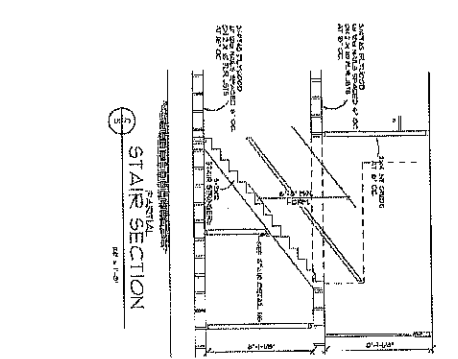
3 CROSS SECTION  
1/4" = 1'-0"



1 TYP. WALL DETAIL  
1/4" = 1'-0"



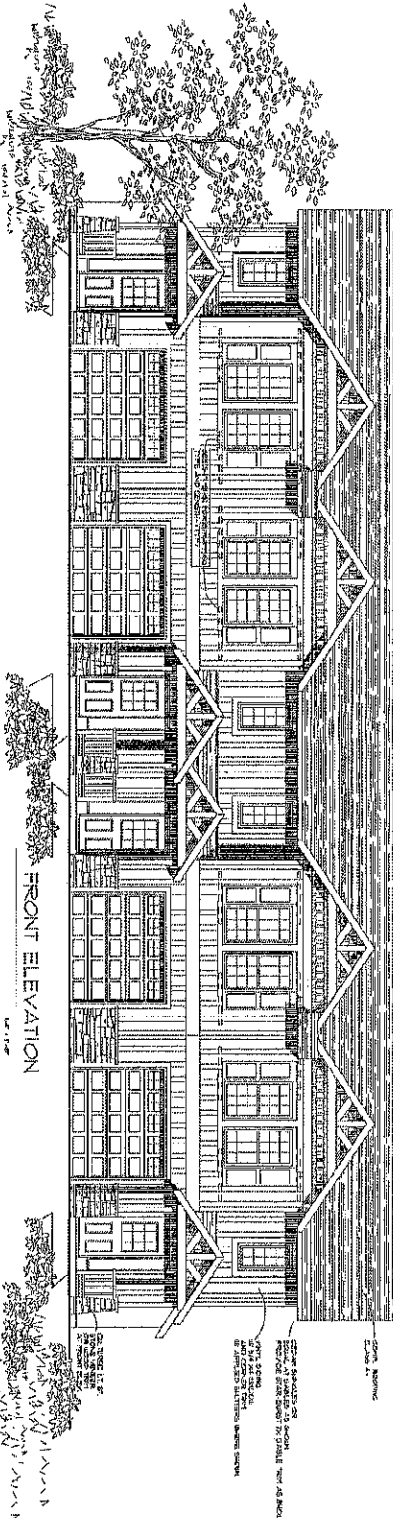
4 CABINET ELEVATIONS  
1/4" = 1'-0"



5 STAIR SECTION  
1/4" = 1'-0"

8. All work shall be in accordance with the specifications and notes on the drawings. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The contractor shall be responsible for the accuracy of all dimensions and materials shown on the drawings. The contractor shall be responsible for the quality of all workmanship and materials used in the construction of the project. The contractor shall be responsible for the safety of all workers and the public during the construction of the project. The contractor shall be responsible for the cleanup of the project site after completion of the work. The contractor shall be responsible for the removal of all debris and materials from the project site after completion of the work. The contractor shall be responsible for the payment of all taxes and fees associated with the project. The contractor shall be responsible for the insurance of all workers and the public during the construction of the project. The contractor shall be responsible for the maintenance of all records and documents related to the project. The contractor shall be responsible for the coordination of all subcontractors and vendors. The contractor shall be responsible for the communication of all project information to the owner and architect. The contractor shall be responsible for the completion of the project within the specified time frame and budget. The contractor shall be responsible for the satisfaction of the owner and architect. The contractor shall be responsible for the overall success of the project.

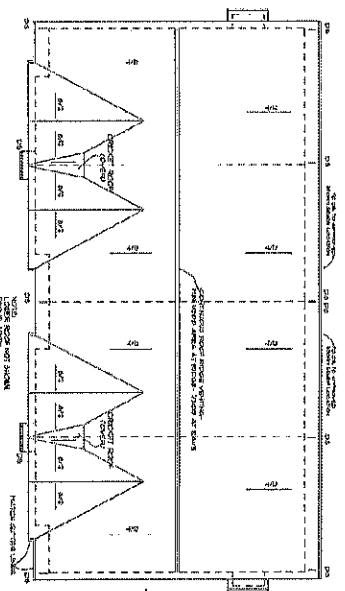
	<p><b>Building Designs</b> By <b>Stockton</b> A.L.B.D.</p>	<p>THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL WORKERS AND THE PUBLIC DURING THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP OF THE PROJECT SITE AFTER COMPLETION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEBRIS AND MATERIALS FROM THE PROJECT SITE AFTER COMPLETION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL TAXES AND FEES ASSOCIATED WITH THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSURANCE OF ALL WORKERS AND THE PUBLIC DURING THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL RECORDS AND DOCUMENTS RELATED TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SUBCONTRACTORS AND VENDORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMMUNICATION OF ALL PROJECT INFORMATION TO THE OWNER AND ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETION OF THE PROJECT WITHIN THE SPECIFIED TIME FRAME AND BUDGET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTION OF THE OWNER AND ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OVERALL SUCCESS OF THE PROJECT.</p>
	<p>Architect: _____ Date: _____</p>	<p>Contractor: _____ Date: _____</p>



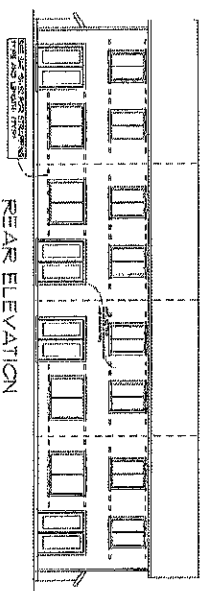
FRONT ELEVATION  
1/8" = 1'-0"

TYPICAL EXTERIOR MATERIALS  
1. BRICK  
2. STONE  
3. SIDING  
4. ROOFING

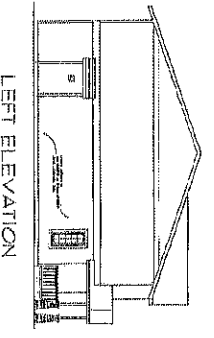
TYPICAL EXTERIOR MATERIALS  
1. BRICK  
2. STONE  
3. SIDING  
4. ROOFING



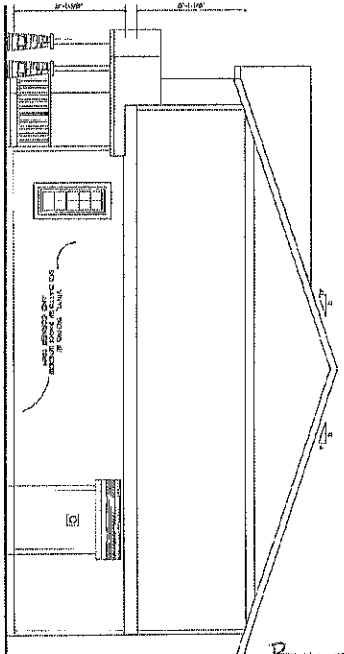
ROOF PLAN  
1/8" = 1'-0"



REAR ELEVATION  
1/8" = 1'-0"



LEFT ELEVATION  
1/8" = 1'-0"



RIGHT ELEVATION  
1/8" = 1'-0"

NOTES:  
1. ALL MATERIALS TO BE USED IN CONSTRUCTION SHALL BE THE CHOICE OF THE ARCHITECT AND SHALL BE SUBJECT TO THE APPROVAL OF THE LOCAL BUILDING DEPARTMENT.  
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.  
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

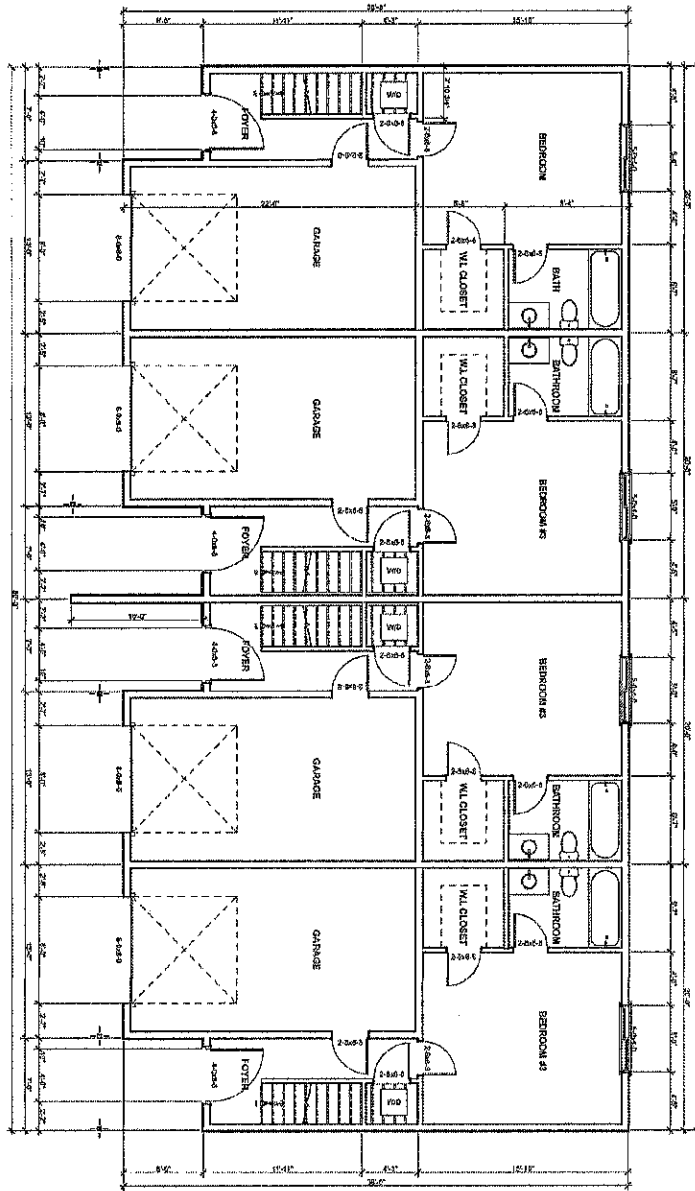
Web Site: <http://www.stocktondesign.com>  
E-Mail: [stockton@stocktondesign.com](mailto:stockton@stocktondesign.com)

BUILDING PLAN 'A'

Building Designs  
By  
Stockton A.I.B.D.  
Office - #1-800-366-0821

THE DESIGN IDEAS AND CONCEPTS SET FORTH IN THESE DRAWINGS ARE THE SOLE PROPERTY OF BUILDING DESIGNS BY STOCKTON. ANY USE OF SAID DRAWINGS WITHOUT THE WRITTEN CONSENT OF BUILDING DESIGNS BY STOCKTON IS STRICTLY PROHIBITED. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED, COPIED, DISTRIBUTED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BUILDING DESIGNS BY STOCKTON.

1 FIRST FLOOR PLAN



NOTES  
 1) ALL SQUARE FOOTAGE MEASUREMENTS ARE TAKEN FROM THE OUTSIDE OF THE STRUCTURAL WALL.

SQUARE FOOTAGE PER UNIT  
 1ST FLOOR 433 SQ. FT.  
 2ND FLOOR 433 SQ. FT.  
 LIVING TOTAL 866 SQ. FT.

GARAGE  
 1ST FLOOR 298 SQ. FT.  
 2ND FLOOR 298 SQ. FT.

Floor Plan Building 'A'

NO.	REVISION	DATE

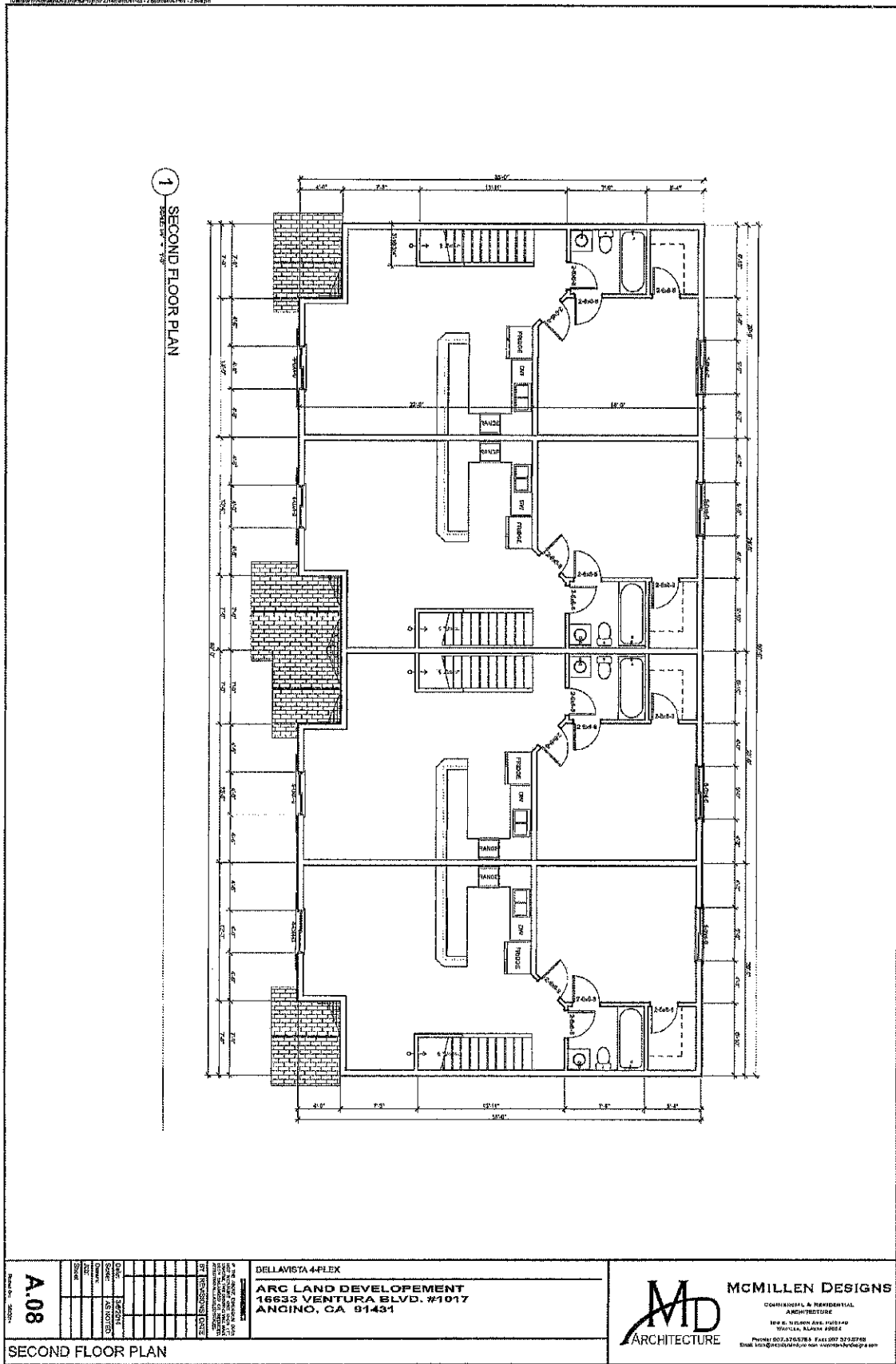
BELLAVISTA 4-PLEX  
 ARC LAND DEVELOPMENT  
 16633 VENTURA BLVD. #1017  
 ANCILO, CA 91431



**McMILLEN DESIGNS**  
 ARCHITECTURE

COMMERCIAL & RESIDENTIAL  
 ARCHITECTURE  
 1500 C. TULLY AVENUE, FLOOR 100  
 MARINA DEL MAR, CALIFORNIA 94028  
 PHONE: (415) 475-2728 FAX: (415) 475-2729  
 EMAIL: info@mcmlendesigns.com www.mcmlendesigns.com

FIRST FLOOR PLAN



A.08	DATE	3/23/2014
	SCALE	AS NOTED
REV	DESCRIPTION	
	DATE	
PREPARED BY: J. MCMILLEN CHECKED BY: J. MCMILLEN DATE: 3/23/2014		

BELLAVISTA 4-FLEX  
 ARC LAND DEVELOPMENT  
 16633 VENTURA BLVD. #1017  
 ANCILO, CA 91431

**MCMILLEN DESIGNS**  
 COMMERCIAL & RESIDENTIAL  
 ARCHITECTURE  
 100 E. VERNON AVE. SUITE 210  
 STANFORD, CALIFORNIA 94305  
 PHONE: 650.376.6788 FAX: 650.315.2748  
 Email: info@mcmillendesigns.com